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COPY



**JOURNAL of the PROCEEDINGS  
of the  
CITY COUNCIL  
of the  
CITY of CHICAGO, ILLINOIS**

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Regular Meeting -- Wednesday, July 17, 2024

at 10:00 A.M.

(Council Chamber -- City Hall -- Chicago, Illinois)

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**OFFICIAL RECORD.**

**VOLUME II**

**BRANDON JOHNSON**  
Mayor

**ANDREA M. VALENCIA**  
City Clerk

Continued from Volume I  
on page 14572



**COMMITTEE ON ZONING, LANDMARKS  
AND BUILDING STANDARDS.**

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APPOINTMENT OF HELEN SHILLER AS MEMBER OF ZONING BOARD OF APPEALS.

[A2024-0010857]

(Committee Meeting Held July 16, 2024)

The Committee on Zoning, Landmarks and Building Standards submitted the following report:

CHICAGO, July 17, 2024.

*To the President and Members of the City Council:*

Presenting a report for your Committee on Zoning, Landmarks and Building Standards which held a meeting on July 16, 2024, the following items were passed by a majority of the members present:

Page 1 contains the appointment of Swathi Staley as a member of the Zoning Board of Appeals.

Page 1 also contains the appointment of Helen Shiller as a member of the Zoning Board of Appeals.

Page 1 further contains Document Number SO2024-0010154 for the establishment of the Milwaukee Avenue Special Character Overlay District on North Milwaukee Avenue, between North Western Avenue and North Ridgeway Avenue.

Page 1 further contains Document Number SO2023-0005724 for the amendment of Municipal Code Title 17 by modifying various sections regarding indoor event venues.

Page 1 further contains the historical landmark designation for Hyde Park Union Church located in the 5<sup>th</sup> Ward at 5600 South Woodlawn Avenue.

Pages 1 through 8 contain various map amendments in the 6<sup>th</sup>, 8<sup>th</sup>, 21<sup>st</sup>, 25<sup>th</sup>, 27<sup>th</sup>, 29<sup>th</sup>, 32<sup>nd</sup>, 34<sup>th</sup>, 35<sup>th</sup>, 38<sup>th</sup>, 39<sup>th</sup>, 40<sup>th</sup>, 41<sup>st</sup>, 43<sup>rd</sup>, 47<sup>th</sup> and 48<sup>th</sup> Wards. Document Number O2024-0010038 will be held in committee and also noting that

Aldersperson Conway recused himself from voting under the provisions of Rule 14 on Document Number O2024-0010036.

Lastly, page 8 contains two large signs over 100 square feet in area and 24 feet above grade in the 2<sup>nd</sup> Ward.

I hereby move for approval of the appointment of Helen Shiller as a member of the Zoning Board of Appeals.

Sincerely,

(Signed) BENNETT R. LAWSON,  
*Vice-Chair.*

On motion of Aldersperson Lawson, the committee's recommendation was *Concurred In* and the said proposed appointment of Helen Shiller as a member of the Zoning Board of Appeals was *Approved* by yeas and nays as follows:

*Yeas* -- Alderspersons La Spata, Hopkins, Dowell, Robinson, Yancy, Hall, Mitchell, Harris, Beale, Chico, Lee, Ramirez, Quinn, Gutiérrez, Lopez, Coleman, Moore, Curtis, O'Shea, Taylor, Mosley, Rodríguez, Tabares, Scott, Sigcho-Lopez, Fuentes, Burnett, Ervin, Taliaferro, Cruz, Cardona, Waguespack, Rodríguez-Sánchez, Conway, Ramirez-Rosa, Villegas, Mitts, Sposato, Nugent, Vasquez, Napolitano, Reilly, Knudsen, Lawson, Gardiner, Clay, Martin, Manaa-Hoppenworth, Hadden, Silverstein -- 50.

*Nays* -- None.

Aldersperson Mitchell moved to reconsider the foregoing vote. The motion was lost.

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APPOINTMENT OF SWATHI STALEY AS MEMBER OF ZONING BOARD OF APPEALS.

[A2024-0010856]

(Committee Meeting Held July 16, 2024)

The Committee on Zoning, Landmarks and Building Standards submitted the following report:

CHICAGO, July 17, 2024.

*To the President and Members of the City Council:*

Presenting a report for your Committee on Zoning, Landmarks and Building Standards which held a meeting on July 16, 2024, the following items were passed by a majority of the members present:

Page 1 contains the appointment of Swathi Staley as a member of the Zoning Board of Appeals.

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Lastly, page 8 contains two large signs over 100 square feet in area and 24 feet above grade in the 2<sup>nd</sup> Ward.

I hereby move for approval of the appointment of Swathi Staley as a member of the Zoning Board of Appeals.

Sincerely,

(Signed) BENNETT R. LAWSON,  
*Vice-Chair.*

On motion of Alderperson Lawson, the committee's recommendation was *Concurred In* and the said proposed appointment of Swathi Staley as a member of the Zoning Board of Appeals was *Approved* by yeas and nays as follows:

Yeas -- Alderpersons La Spata, Hopkins, Dowell, Robinson, Yancy, Hall, Mitchell, Harris, Beale, Chico, Lee, Ramirez, Quinn, Gutiérrez, Lopez, Coleman, Moore, Curtis, O'Shea, Taylor, Mosley, Rodríguez, Tabares, Scott, Sigcho-Lopez, Fuentes, Burnett, Ervin, Taliaferro, Cruz, Cardona, Waguespack, Rodríguez-Sánchez, Conway, Ramirez-Rosa, Villegas, Mitts, Sposato, Nugent, Vasquez, Napolitano, Reilly, Knudsen, Lawson, Gardiner, Clay, Martin, Manaa-Hoppenworth, Hadden, Silverstein -- 50.

Nays -- None.

Alderperson Mitchell moved to reconsider the foregoing vote. The motion was lost.

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AMENDMENT OF CHAPTER 17-7 OF MUNICIPAL CODE BY ADDING  
NEW SECTION 17-7-1500 ESTABLISHING MILWAUKEE AVENUE SPECIAL  
CHARACTER OVERLAY DISTRICT ON N. MILWAUKEE AVE., BETWEEN  
N. WESTERN AVE. AND N. RIDGEWAY AVE.

(As Amended)

[SO2024-0010154]

(Committee Meeting Held July 16, 2024)

The Committee on Zoning, Landmarks and Building Standards submitted the following report:

CHICAGO, July 17, 2024.

*To the President and Members of the City Council:*

Presenting a report for your Committee on Zoning, Landmarks and Building Standards which held a meeting on July 16, 2024, the following items were passed by a majority of the members present:

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Lastly, page 8 contains two large signs over 100 square feet in area and 24 feet above grade in the 2<sup>nd</sup> Ward.

I hereby move for passage of the proposed substitute ordinance transmitted herewith.

Sincerely,

(Signed) BENNETT R. LAWSON,  
*Vice-Chair.*

On motion of Alderperson Lawson, the said proposed substitute ordinance transmitted with the foregoing committee report was *Passed* by yeas and nays as follows:

*Yeas* -- Alderpersons La Spata, Hopkins, Dowell, Robinson, Yancy, Hall, Mitchell, Harris, Beale, Chico, Lee, Ramirez, Quinn, Gutiérrez, Lopez, Coleman, Moore, Curtis, O'Shea, Taylor, Mosley, Rodríguez, Tabares, Scott, Sigcho-Lopez, Fuentes, Burnett, Ervin, Taliaferro, Cruz, Cardona, Waguespack, Rodríguez-Sánchez, Conway, Ramirez-Rosa, Villegas, Mitts, Sposato, Nugent, Vasquez, Napolitano, Reilly, Knudsen, Lawson, Gardiner, Clay, Martin, Manaa-Hoppenworth, Hadden, Silverstein -- 50.

*Nays* -- None.

Alderperson Mitchell moved to reconsider the foregoing vote. The motion was lost.

The following is said ordinance as passed:

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:**

**SECTION 1.** Chapter 17-7 of the Municipal Code of Chicago is hereby amended by adding a new Section 17-7-1500, as follows:

**17-7-1500 Milwaukee Avenue Special Character Overlay District.**

**17-7-1501 Boundaries.** The Milwaukee Avenue Special Character Overlay District generally consists of all lots adjacent to Milwaukee Avenue, between Western Avenue on the south and Ridgeway Avenue on the north, except that the overlay district shall not apply to Planned Developments approved prior to July 1, 2024, Parks and Open Space zoning districts, or areas, districts, places, buildings, structures, or works of art designated as Chicago Landmarks.

**17-7-1502 Purpose.** The purpose of the Milwaukee Avenue Special Character Overlay District is to preserve the unique and distinctive character of the Milwaukee Avenue commercial corridor and provide design guidelines for the rehabilitation of existing buildings and new construction. The distinctive character of the Milwaukee Avenue commercial corridor includes a diagonal street layout resulting in unique patterns and lot configurations, one- and two-part commercial block, enframed window wall, false front, freestanding, two-part vertical block, and residential building types, as well as Romanesque Revival, Queen Anne, Italian Renaissance, Tudor Revival, Beaux-Arts Classicism, Late Classical Revival, Neoclassical, Spanish Revival, Art Deco, Mid-Century Modern, and Commercial Vernacular architectural styles.

**17-7-1503 Publication.** Any *building* built, added, altered, or rehabilitated within the Milwaukee Avenue Special Character Overlay District must be consistent with the Milwaukee Avenue Urban Identity Design Guidelines published by the Department of Planning and Development ("Guidelines"). These Guidelines shall be published by ordinance and made available for view online on the Department of Planning and Development website. The Guidelines shall be applicable to:

1. New construction or exterior modifications to existing buildings requiring a building permit application,
2. New construction or exterior modifications requiring applications for Zoning Map Amendments.

**17-7-1504 District-specific Guidelines.** Design guidelines for rehabilitation, additions, alterations, and new construction in the Milwaukee Avenue Special Character Overlay District are detailed in the Guidelines. The Guidelines address various aspects of design for existing buildings and new construction. Proposed projects must be consistent with the Guidelines.

1. For existing *buildings*, these Guidelines set requirements for:
  - (a) Masonry repair or replacement
  - (b) Architectural metal cladding repair or replacement
  - (c) Storefronts
  - (d) Canopies
  - (e) Building lighting

- (f) Exterior facade repair or replacement
- (g) Entrances/doors to upper floors
- (h) Windows
- (i) Roofs/rooflines/cornices
- (j) Siting
- (k) Scale
- (l) Design and compatibility
- (m) Materials

2. For new construction, these Guidelines set requirements for:

- (a) Parking and services areas
- (b) Building setback and orientation
- (c) Height and scale
- (d) Massing
- (e) Building width
- (f) Materials
- (g) Ground floor entries and storefronts
- (h) New or replacement canopies
- (i) Building lighting
- (j) Articulation at upper floor facades and rooflines

**17-7-1505 Administrative Adjustments.** In addition to the *administrative adjustments* authorized by Section 17-13-1000, the Zoning Administrator or their designee is authorized to approve an administrative adjustment to waive or modify any district-specific guideline specified in Section 17-7-1504. Such an administrative adjustment may be approved only when the Zoning Administrator or their designee determines that the proposed adjustment meets the following criteria:

1. The proposed adjustment results in a development quality equal to or better than what would have been required without the adjustment; and
2. The proposed adjustment will be in keeping with the established character of the Milwaukee Avenue Special Character Overlay District; and
3. The proposed adjustment meets the general approval criteria of Section 17-13-1007-B.

**17-7-1506 Prohibited Uses.** The following uses are expressly prohibited within the boundaries of the Milwaukee Avenue Special Character Overlay District:

1. *Strip centers*;
2. *Drive-through facilities*;
3. *Vehicle sales and service* uses involving any outdoor storage of vehicles or goods or car washes;
4. *Gas stations*; and

6. *Residential storage warehouses.*

**17-7-1507 Character Buildings.** Character buildings are buildings that have been identified as having a unique historical, architectural, or other impact on the district environment. Rehabilitation of identified Character Buildings is a priority in accordance with Section 17-7-0601-A. For the purposes of this Section, the following buildings have been identified as Character Buildings. The Appendix to the Guidelines may provide additional information regarding Character Buildings identified in this Section.

<b>Building Address</b>
1950-1956 N Milwaukee Ave
1958 N Milwaukee Ave
1960 N Milwaukee Ave
1965 N Milwaukee Ave
2016-2030 N Milwaukee Ave
2040-2044 N Milwaukee Ave
2043 N Milwaukee Ave
2046-2048 N Milwaukee Ave
2066 N Milwaukee Ave
2092 N Milwaukee Ave
2094 N Milwaukee Ave
2100 N Milwaukee Ave
2101 N Milwaukee Ave
2122-2124 N Milwaukee Ave
2165-2171 N Milwaukee Ave
2206 N Milwaukee Ave
2208 N Milwaukee Ave
2214 N Milwaukee Ave
2226 N California Ave
2280 N Milwaukee Ave
2300-2302 N Milwaukee Ave
2301-2313 N Milwaukee Ave
2315 N Milwaukee Ave
2317-2319 N Milwaukee Ave
2320-2322 N Milwaukee Ave
2323 N Milwaukee Ave
2327 N Milwaukee Ave
2332 N Milwaukee Ave
2333 N Milwaukee Ave
2337 N Milwaukee Ave
2339 N Milwaukee Ave
2341 N Milwaukee Ave
2344 N Milwaukee Ave
2345 N Milwaukee Ave

2349 N Milwaukee Ave
2351 N Milwaukee Ave
2355 N Milwaukee Ave
2357 N Milwaukee Ave
2363 N Milwaukee Ave
2367 N Milwaukee Ave
2381-2385 N Milwaukee Ave
2392 N Milwaukee Ave
2403 W Homer St
2410-2414 N Milwaukee Ave
2413 N Milwaukee Ave
2417 N Milwaukee Ave
2418 N Milwaukee Ave
2419 N Milwaukee Ave
2421 N Milwaukee Ave
2423 N Milwaukee Ave
2427 N Milwaukee Ave
2432 N Milwaukee Ave
2441 W Armitage Ave
2443-2447 N Milwaukee Ave
2449-2451 N Milwaukee Ave
2451 N Sacramento Ave
2453 N Milwaukee Ave
2455-2457 N Milwaukee Ave
2471-2475 N Milwaukee Ave
2515 N Milwaukee Ave
2521 N Milwaukee Ave
2523 N Milwaukee Ave
2525 N Milwaukee Ave
2529-2531 N Milwaukee Ave
2620 N Milwaukee Ave
2624 N Milwaukee Ave
2628 N Milwaukee Ave
2630 N Milwaukee Ave
2636-2656 N Milwaukee Ave
2639-2641 N Milwaukee Ave
2643-2651 N Milwaukee Ave
2653 N Milwaukee Ave
2655 N Milwaukee Ave
2664-2718 N Milwaukee Ave
2715-2729 N Milwaukee Ave
2731-2739 N Milwaukee Ave
2821 N Milwaukee Ave

2822 N Milwaukee Ave
2829 N Milwaukee Ave
2831 N Milwaukee Ave
2832-2834 N Milwaukee Ave
2833-2837 N Milwaukee Ave
2839-2841 N Milwaukee Ave
2840 N Milwaukee Ave
2843-2845 N Milwaukee Ave
2854 N Milwaukee Ave
2864-2866 N Milwaukee Ave
2867 N Milwaukee Ave
2868 N Milwaukee Ave
2869 N Milwaukee Ave
2871 N Milwaukee Ave
2874 N Milwaukee Ave
2875 N Milwaukee Ave
2880 N Milwaukee Ave
2882 N Milwaukee Ave
2883 N Milwaukee Ave
2885 N Milwaukee Ave
2888 N Milwaukee Ave
2889 N Milwaukee Ave
2890 N Milwaukee Ave
2891 N Milwaukee Ave
2894-2896 N Milwaukee Ave
2898 N Milwaukee Ave
2909 N Milwaukee Ave
2912 N Milwaukee Ave
2915 N Milwaukee Ave
2918 N Milwaukee Ave
2919 N Milwaukee Ave
2922 N Milwaukee Ave
2923 N Milwaukee Ave
2924 N Milwaukee Ave
2928 N Milwaukee Ave
2930 N Milwaukee Ave
2934 N Milwaukee Ave
2935 N Milwaukee Ave
2943 N Milwaukee Ave
2953 N Milwaukee Ave
2955 N Milwaukee Ave
2956-2972 N Milwaukee Ave
2957 N Milwaukee Ave

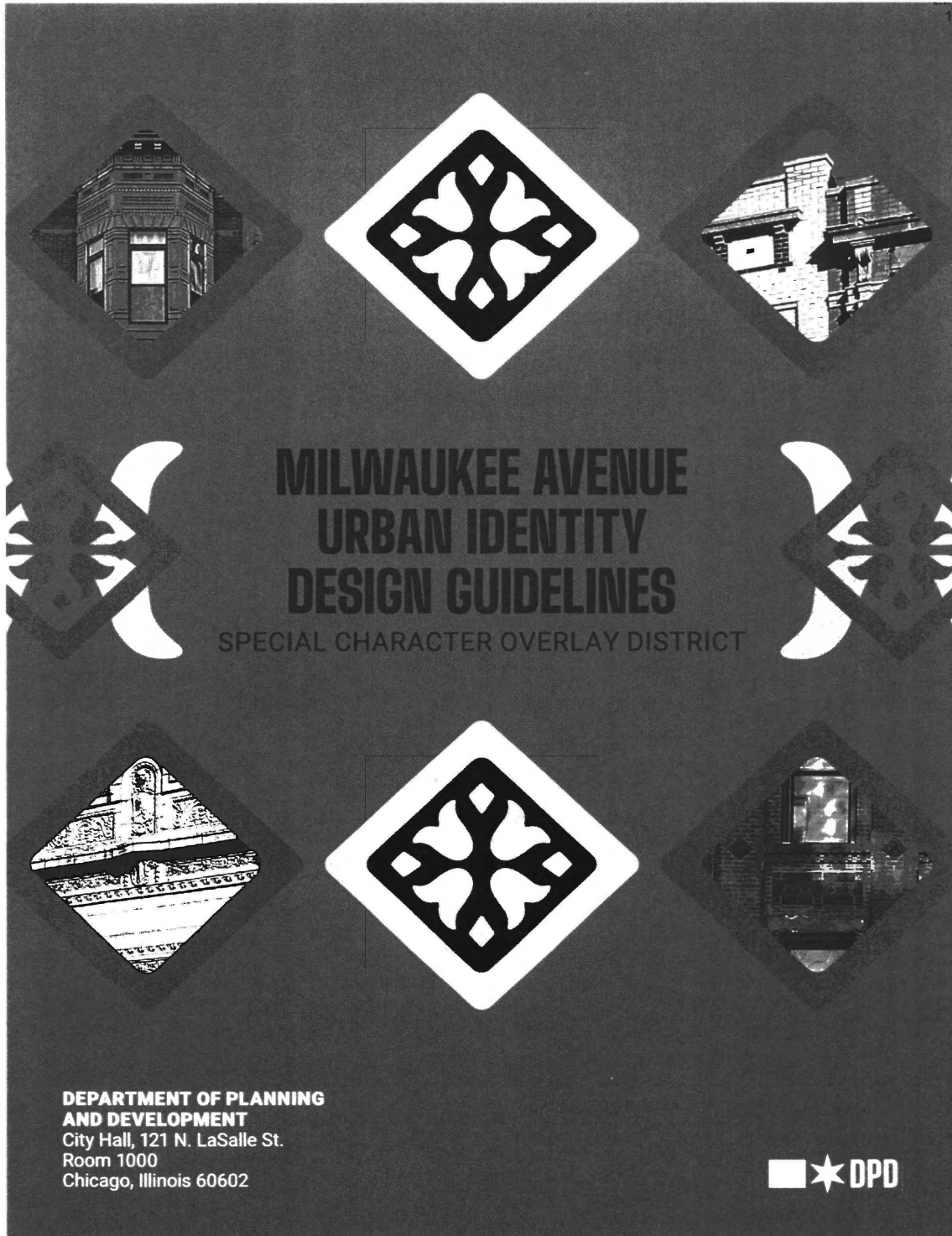
2978 N Milwaukee Ave
2988 N Milwaukee Ave
3002-3010 N Milwaukee Ave
3004 N Elbridge Ave
3350 W Diversey Ave

**17-7-1508 Demolition.** An application for the demolition of a Character Building, shall include an affidavit certifying that the applicant has provided written notice to the local alderman at least thirty (30) days prior to filing the application. This notice shall include: (a) the street address of the existing Character Building; and (b) the name and mailing address of the applicant.

**SECTION 2.** The Guidelines attached to this ordinance as Exhibit A shall be incorporated as part of this ordinance.

**SECTION 3.** This ordinance shall be in full force and effect upon passage and approval. This ordinance shall apply only to permit and zoning map amendment applications submitted after the effective date of this ordinance.

*Exhibit "A".*



**DEPARTMENT OF PLANNING  
AND DEVELOPMENT**  
City Hall, 121 N. LaSalle St.  
Room 1000  
Chicago, Illinois 60602





**Figure 1.** Character building in the Milwaukee Avenue SCOD

1



**Figure 2.** Bird's-eye view of the Milwaukee Avenue SCOD (Scott Shigley)

# INTRODUCTION



# OVERVIEW



Developed by the Department of Planning and Development (DPD), the Milwaukee Avenue Special Character Overlay District (SCOD) Design Guidelines provide specific guidelines and recommendations to preserve and complement the character and built environment of the Milwaukee Avenue commercial corridor.

The SCOD covers an approximately two-mile stretch of Milwaukee Avenue, from Western Avenue on the south to Ridgeway Avenue on the north, within the Logan Square and Avondale Community Areas. The corridor is comprised of nearly 250 buildings, a majority with ground floor commercial uses, which have created an active, diverse, and vibrant commercial corridor at the heart of Chicago's Northwest Side.

The design guidelines will help maintain and enhance the unique character and sense of place of the Milwaukee Avenue SCOD by providing specific standards for the rehabilitation of existing buildings, alongside guidelines for new infill development to ensure new construction is compatible and respectful of the existing built environment. The design guidelines will also work as a complement to other City design resources and regulations, including the Zoning Ordinance, Landscape Ordinance, and the Complete Streets Chicago Design Guidelines, among others.

## WHAT IS A SCOD?

A Special Character Overlay District (17-7-0600), or SCOD, is intended to enhance and preserve the unique physical character of properties within its boundaries, identified as overlays on the City's zoning map. A SCOD can be established for a neighborhood – or in this particular study, a corridor – with unique physical characteristics that are not as cohesively present in other areas of the city.

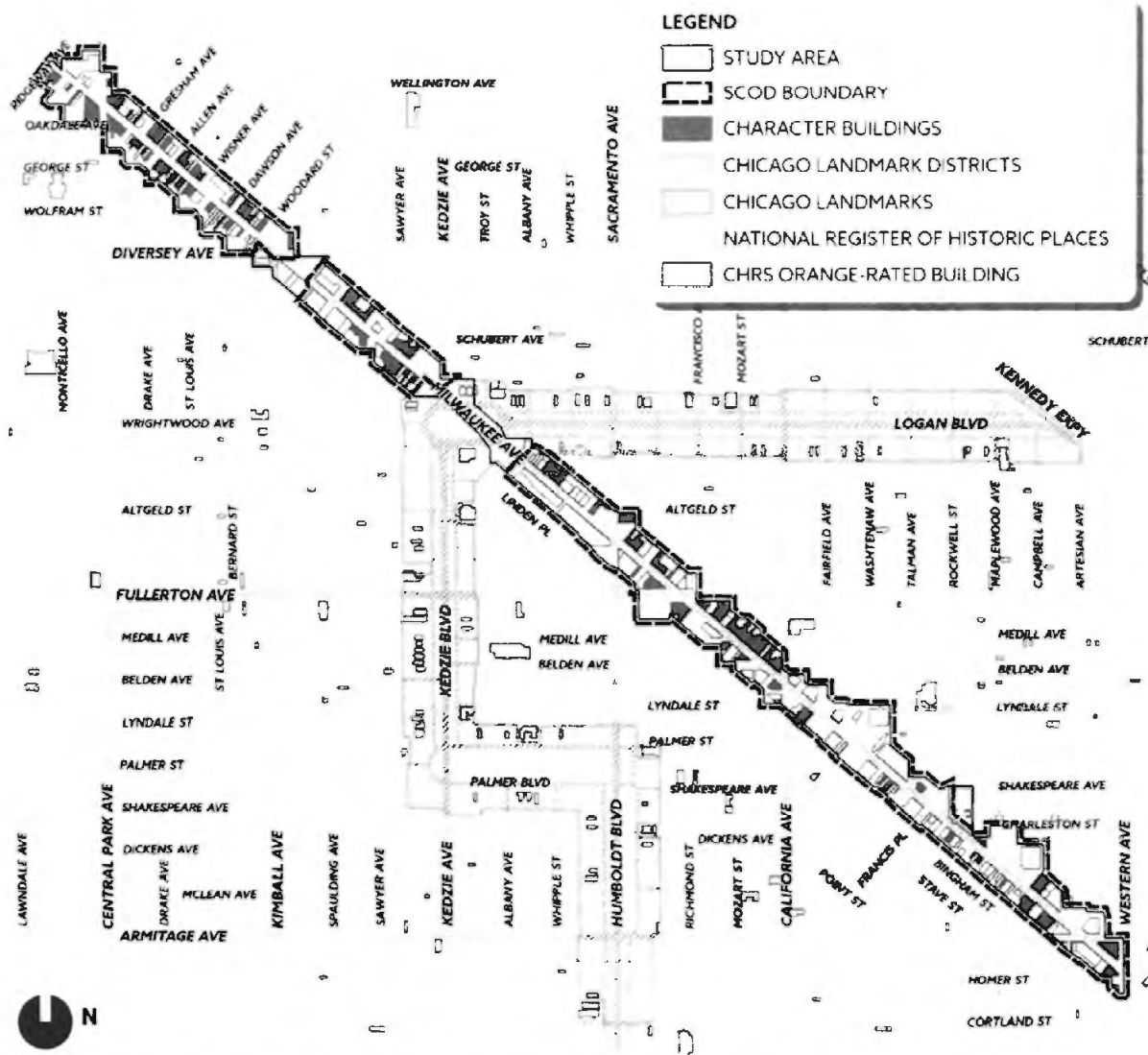
Such unique or distinctive physical characteristics may come in the form of:

1. Size, shape, or lot configurations that deviate greatly from the platting pattern found in other parts of the city;
2. Building types or architectural styles that conflict with base zoning district standards, yet make a positive contribution to the physical character or livability of an area;
3. Environmental or other physical features that would prevent reasonable development under applicable zoning standards;
4. An identifiable and cohesive neighborhood unit<sup>1</sup> possessing similar development patterns and physical characteristics (for example, building features, site design, land use patterns, and natural or streetscape characteristics); or,
5. May be located adjacent (that is, as a buffer area) to an existing Chicago Landmark District.

Through the authorized regulations and standards, defined in 17-7-0603, a SCOD can guide current or future developments and reduce visual conflicts between new construction and existing development.

Per 17-7-0602, an area will be eligible for designation as a SCOD if at the time of application, it is located within any R, B, C, D, or M zoning district, and contains at least four contiguous acres of land area.

<sup>1</sup> A neighborhood unit is an integrated and planned urban area related to the larger community of which it is a part.



INTRODUCTION

Figure 3. Milwaukee Avenue Corridor SCOD. The SCOD boundaries shown above are intended for reference only. Please consult the City's Zoning Ordinance and Zoning Map for the official SCOD boundaries.

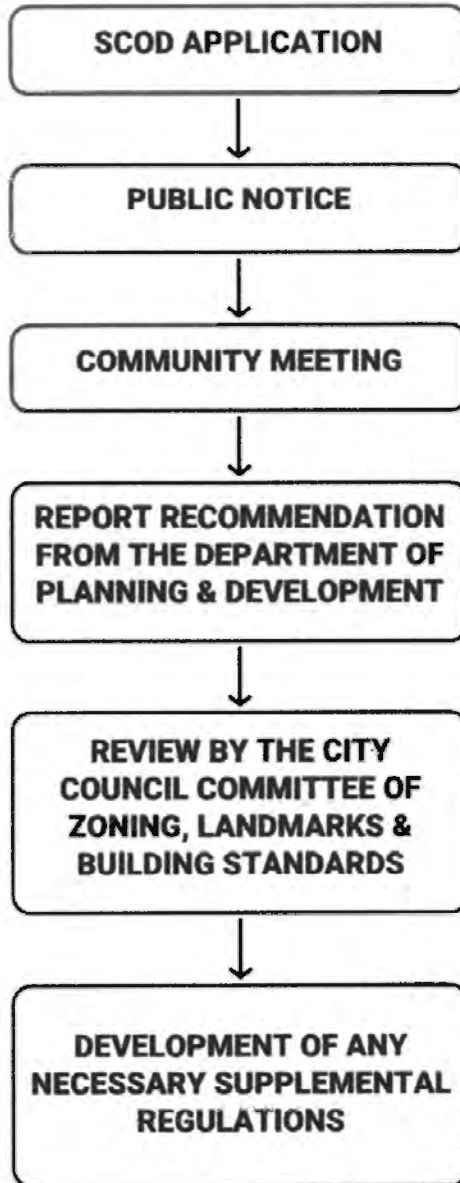
There are seven existing Special Character Overlay Districts in Chicago: Norwood Park SD1 and SD2, North Southport, Longwood Drive, Roscoe Street, and Sheridan Park North

and South. Milwaukee Avenue is the eighth SCOD and the first district to include a set of comprehensive design guidelines since the 2020 revisions to the City's SCOD legislation.



### REGULATORY PROCESS OF A SCOD

To establish a Special Character Overlay District, the following process must be completed (17-13-0500):



**WHAT IS THE VALUE OF A SCOD?**

- Provide a mechanism during the permit application process for design review of proposed alterations and future development to address the inconsistency of new development;
- Help to maintain and complement the characteristics of Milwaukee Avenue’s built environment and development patterns;
- Create overlay district regulations that supplement the zoning regulations of the applicable base districts to address the above-mentioned goals;
- Provide a community process for determining aesthetic goals and design guidelines of the SCOD designation for future City Council approval, and provide a resource for property owners to understand the expectations of the community.



**GOALS FOR THE MILWAUKEE AVENUE CORRIDOR SCOD:**

- 1** Maintain and complement the character of the Milwaukee Avenue Corridor built environment;
- 2** Provide guidelines and identify resources to rehabilitate and maintain existing buildings and for new infill development;
- 3** Improve the aesthetic relationship between new construction and the existing built environment;
- 4** Establish design guidelines for the corridor with input from the community that will provide tools, resources, and direction for renovations, redevelopment, and new construction along the corridor;
- 5** Identify focus areas within the larger corridor and individual opportunity sites, and,
- 6** Identify opportunities for Equitable Transit-Oriented Development (ETOD) to support the type of density needed to support mixed-income developments that include affordable housing.

**THE MILWAUKEE AVENUE CORRIDOR SCOD WILL NOT:**

- |  |  |  |  |
|--|--|--|--|
| <ol style="list-style-type: none"> <li><b>1</b> Propose changes to existing Chicago Landmark properties and Chicago Landmark District boundaries;</li> </ol> | <ol style="list-style-type: none"> <li><b>2</b> Propose changes to the existing Demolition Delay Ordinance, which only impacts buildings that are identified as “red” or “orange” rated, as identified in the Chicago Historic Resources Survey (CHRS);</li> </ol> | <ol style="list-style-type: none"> <li><b>3</b> Impact ongoing public or private improvements whose application is submitted prior to a SCOD designation; or,</li> </ol> | <ol style="list-style-type: none"> <li><b>4</b> Prohibit the demolition of character buildings.</li> </ol> |
|--|--|--|--|

# EXISTING REGULATIONS AND POLICIES

INTRODUCTION

In addition to the proposed Milwaukee Avenue SCOD Ordinance and boundary, other regulations will need to be adhered to when proposing new developments, additions, or rehabilitations within the SCOD boundary. Information on some of the relevant regulations and policies are outlined below:

## DESIGN EXCELLENCE: NEIGHBORHOOD DESIGN GUIDELINES

The SCOD design guidelines also follow the City of Chicago's Design Excellence initiative, which was adopted by the Chicago Plan Commission in March 2022 and comprises a range of policies and processes that shape the City's framework for planning, implementation, and evaluation of development. The SCOD guidelines address the six categories (sustainability, program, site design, public realm, massing, and facade) identified in the Design Excellence: Neighborhood Design Guidelines.

## CONNECTED COMMUNITIES ORDINANCE (CCO)

The Chicago City Council adopted the Connected Communities Ordinance (CCO) in July 2022 to implement many of the recommendations from the 2020 Equitable Transit-Oriented Development (ETOD) Policy Plan by promoting development that will help residents live more conveniently, affordably, and sustainably while spurring economic development across the city.



**Figure 4.** Connected Communities Ordinance (Chicago Plan Commission 2021)

The ordinance includes regulations and requirements for parking, density and affordability, "parking swap" bonuses, people-friendly design, inclusionary application zoning processes, and accessibility zoning bonuses.

## AFFORDABLE REQUIREMENTS ORDINANCE (ARO)

Residential developments that receive City Council approval for entitlement, City Land Sale, or financial assistance are subject to the Affordable Requirements Ordinance (ARO). The ARO was first adopted in 2007, and after the latest revisions in 2021, the ordinance addresses issues of displacement in neighborhoods seeing rapid development and outlines community preservation areas in communities where there is evidence of displacement based on housing market and demographic changes. The ARO allows off-site units to be built in any part of the city lacking affordable housing and within transit-oriented development (TOD) zones. The ARO increases accessibility standards and encourages developers to create deeply affordable housing and family-sized affordable units. The entire study area of the proposed Milwaukee Avenue Corridor SCOD is part of a community preservation area and the Milwaukee corridor affordable housing pilot area.



**Figure 5.** Affordable Requirements Ordinance (ARO 2021)

## PEDESTRIAN STREETS

Pedestrian (P) Streets are intended to preserve and enhance the character of streets and intersections by promoting transit, economic vitality, pedestrian safety, and comfort. Portions of Milwaukee Avenue are classified as a P Street. This means it is "widely recognized as [one of] Chicago's best examples of pedestrian-oriented shopping districts." Some features that qualify Milwaukee Avenue as a P Street include a high concentration of existing stores and restaurants and a continuous pattern of buildings with storefronts that have doors or entrances abutting the sidewalk.

In accordance with Section 17-3-308-2 of the Zoning Ordinance, in B and C districts, any new construction located within 2,640 feet of a CTA or METRA rail station entrance or exit (which encompasses the entire SCOD) must comply with the standards and regulations for Pedestrian Streets in Section 17-3-0504, even if the project is not located along a designated pedestrian street, with the following exceptions:

- Section 17-3-308-H Prohibited Uses does not apply to projects not located along a pedestrian street.
- Section 17-3-308-C Transparency does not apply to land uses designated in a non-commercial use group.

## SUSTAINABLE DEVELOPMENT POLICY

Put in place in 2004 and revised in 2016, the Chicago Sustainable Development Policy requires the incorporation of sustainable elements within development projects that receive financial assistance or special approvals from the City. The updated Sustainable Development Policy includes a menu of strategies, each with different point values, from which development teams can choose. New construction projects are required to achieve 100 points, while renovations are required to reach 25 or 50 points depending on the type of renovation work proposed.

## DEMOLITION DELAY ORDINANCE

Any buildings or structures that are designated or preliminarily designated as a Chicago Landmark or within a Chicago Landmark District are governed by the Chicago Landmarks Ordinance and not the SCOD Ordinance. For all other existing buildings in the SCOD, including character buildings and buildings rated "red" or "orange" in the Chicago Historic Resources Survey (CHRS), demolition permit applications must follow the noticing process identified in the SCOD Ordinance or the Demolition Delay Ordinance respectively. Once the required noticing process has been completed and the demolition applications are approved, any new construction will be required to follow the SCOD guidelines.

## VINTAGE SIGN ORDINANCE

The Vintage Sign Ordinance, adopted 2023, provides a pathway for legalizing and maintaining nonconforming signs, including abandoned nonconforming signs, that represent important elements of the City's heritage and enhance the character of the community.

# COMMUNITY ENGAGEMENT PROCESS

INTRODUCTION

A robust community engagement process, including working group meetings, interviews, and community meetings, was conducted to build a collective understanding of the built environment and understand the multiple perspectives and differing values and priorities of the diverse community members and stakeholders within the SCOD boundaries and surrounding communities.

### Working Group Member Organizations:

#### City Departments:

- Chicago Department of Planning & Development (DPD), Zoning Bureau

#### Elected Officials:

- 1st ward, Ald. Daniel La Spata
- 32nd ward, Ald. Scott Waguespack
- 35th ward, Ald. Carlos Ramirez-Rosa

#### Advocates: Special Interest Groups:

- Chicago Metropolitan Agency for Planning (CMAP)
- Avondale Chamber of Commerce
- Logan Square Chamber of Commerce
- Greater Northwest Chicago Development Corporation

#### Community-Based Organizations:

- Avondale Neighborhood Association
- Greater Goethe Neighborhood Association
- Logan Square Preservation
- Milwaukee Avenue Alliance
- Palenque LSNA (Liberating Spaces through Neighborhood Action)
- Northwest Arts Connection



Figure 6. Community meeting #2

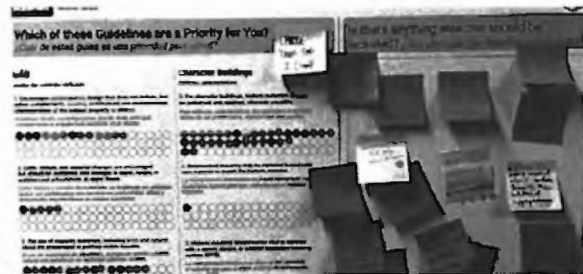


Figure 8. Community meeting #3

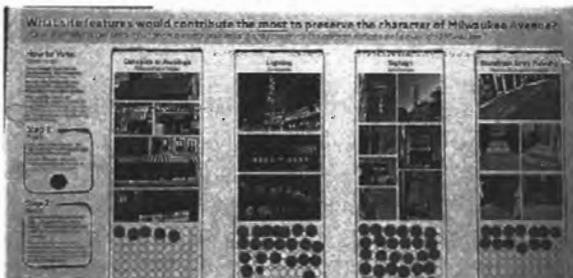
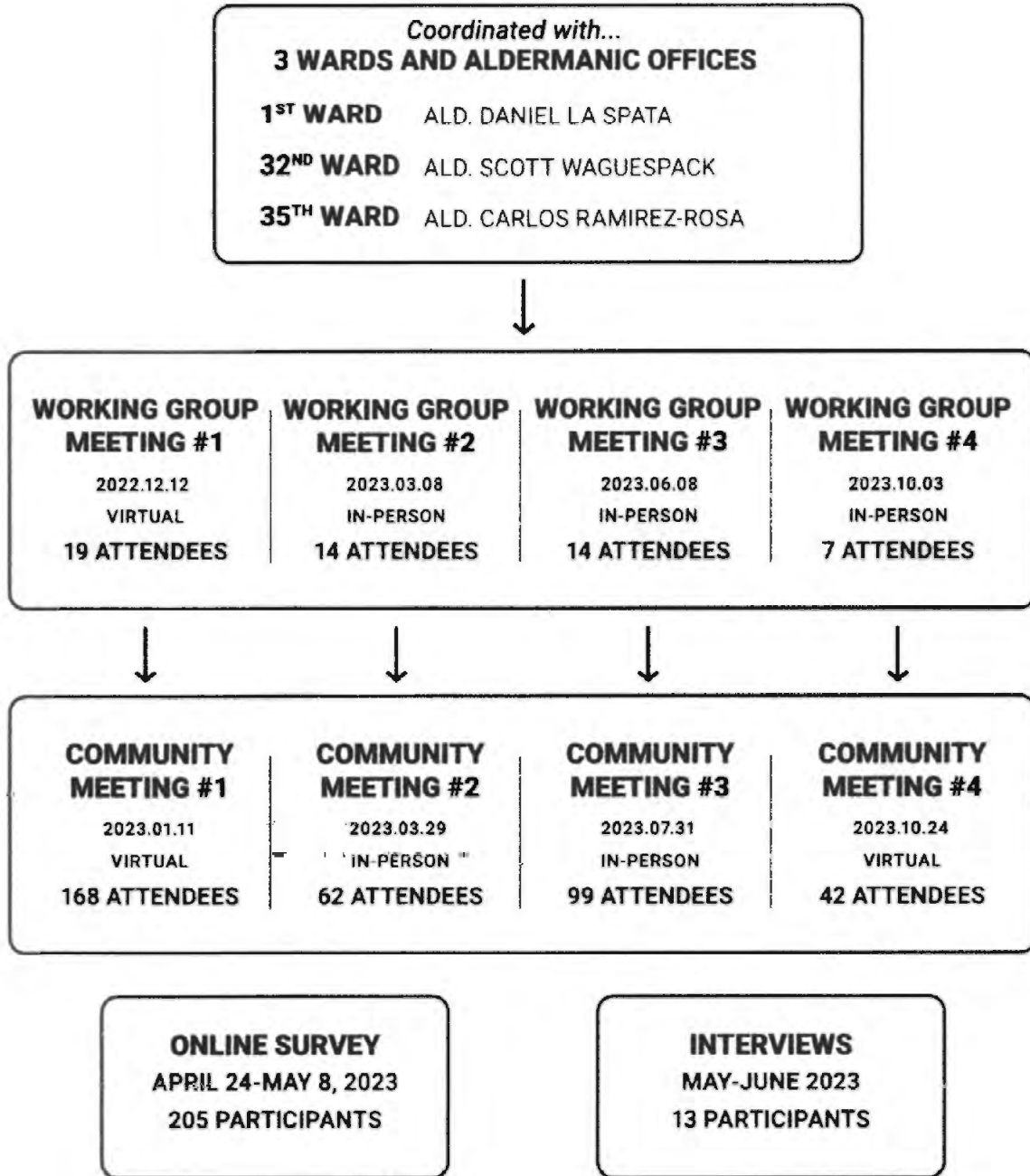


Figure 7. Community meeting #2



Figure 9. Community meeting #3



INTRODUCTION

Figure 10. Engagement infographic

# NEIGHBORHOOD OVERVIEW

INTRODUCTION



**Figure 11.** Milwaukee and Kimball avenues c. 1960 (Chicago History Today)

## LAND ACKNOWLEDGMENT

*The City of Chicago is located on land that is and has long been a center for Native peoples. The area is the traditional homelands of the Anishinaabe, or the Council of the Three Fires: the Ojibwe, Odawa and Potawatomi Nations. Many other Nations consider this area their traditional homeland, including the Myaamia, Ho-Chunk, Menominee, Sac and Fox, Peoria, Kaskaskia, Wea, Kickapoo, and Mascouten. The City specifically acknowledges the contributions of Kitihawa of the Potawatomi in fostering the community that has become Chicago.*

## HISTORY OF MILWAUKEE AVENUE

Milwaukee Avenue has served as one of the city's core commercial centers for nearly 150 years, though its origins date to several hundred years earlier when it was established as a Native American trail. Native Americans inhabited this land for thousands of years before European settlement began in earnest during the early 1830s. Since its settlement by European immigrants and first-generation Chicagoans during the mid-1800s, the neighborhood's periods of growth and development were propelled by improvements in transportation infrastructure. First, the Northwestern Plank Road (known later as the Milwaukee Plank Road and then Milwaukee Avenue) opened in 1849 to connect Chicago with Wheeling and approximately followed the path of present-day Milwaukee Avenue. In 1869, the first major improvement to the community came in the form of the Chicago Boulevard System, a unified system of large parks connected by boulevards in an arc that surrounded what was then the City of Chicago. Together, the boulevards connected Humboldt Park in the west with the Lincoln Park

Commission's Diversey Parkway and Lincoln Park, situated along Lake Michigan. In the study area, a visual point of the boulevard system is Logan Square itself, located where Logan and Kedzie Boulevards and Milwaukee Avenue meet.

Following the Great Chicago Fire of 1871, the population of the area expanded rapidly as it remained outside of the boundaries of Chicago, and fire limits, where moderately priced frame houses were immediately available. Waves of settlement by Chicago's early immigrant population from Scandinavia and Germany in the area that would become Logan Square and from Poland in present-day Avondale were catalyzed by Chicago's rapidly developing transit network outside of the central business district and the newly available, inexpensive housing to the north and south of Milwaukee Avenue. The area continued to thrive with the arrival of the Chicago & North Western Railway in 1873, which brought the community jobs and new industries, such as clothing and furniture. The following year, the Steinhouse's Citizen's Omnibus Line was established on Milwaukee Avenue and provided horse-drawn coaches from the central business district to North and Damen avenues. The growth of the 1870s also brought new demographic groups into the area. One of the most significant communities established was the Dawson Subdivision composed of 20 African American families centered around the Allen Church.

As the area continued to flourish toward the end of the 19th century, development extended north along Milwaukee Avenue following the Metropolitan West Side Elevated Railroad, which connected downtown with the West Side of the city. With the presence of the elevated line, new residential development appeared along the community's boulevards, and commercial enterprises flanked Milwaukee Avenue.



**Figure 12.** 2625 N Milwaukee Avenue in 1936 (Logan Square Preservation)



**Figure 13.** 2301 N Milwaukee Avenue in 1906 (Logan Square Preservation)



INTRODUCTION

The rapid arrival of immigrants to Milwaukee Avenue along these new transportation lines generated an economic boom which made Milwaukee Avenue among the largest commercial districts in Chicago, outside of the Loop. By 1890, a small commercial center had formed at the intersection of Milwaukee and Western Avenues. Soon commercial storefronts, including grocery stores, banks, drug stores, hardware stores, clothing, and bakeries, alongside social halls and entertainment venues, lined Milwaukee Avenue.

Beginning in the early 20th century with the advent of the automobile and continuing into the mid-20th century, repair shops, showrooms, and garages were constructed on Milwaukee Avenue, creating the third-largest concentration of automobile-oriented businesses in the city, along with South Michigan Avenue and Edgewater Motor Rows.

New development continued post-World War I with an influx of Poles and Russian Jews, followed by a boom in housing construction. By 1930, foreign-born residents constituted nearly 30% of the population, which had now reached 162,607 between Logan Square and Avondale. As waves of new immigrants arrived in the community, German, Scandinavian, and some earlier Polish residents began to move farther northwest into Irving Park, Portage Park, and Jefferson Park.

With the onset of the Great Depression in 1929, growth in the community was stifled as the population began to decline in the 1930s, and the built environment subsequently began to deteriorate. In the late 1950s, the construction of the Kennedy Expressway isolated portions of the community in the northeast which led to a further decline in population as residents moved away. In the following decade, the community saw the first signs of a resurgence that has lasted into the 21st century, spurred by the founding of the Logan Square Neighborhood Association, which focused on improving housing and community spirit in 1963. Also, beginning in the 1960s, the community's demographics began to shift following an influx of Hispanic immigrants from Puerto Rico, Cuba, South and Central America, and Mexico, helping to stabilize the area's population and contributing to its vibrancy and ethnic and economic diversity that continues to define the corridor's sense of place and character today.



**Figure 14.** 2601 N Milwaukee Avenue c. 1980 (Logan Square Preservation)

# MILWAUKEE AVENUE'S BUILT ENVIRONMENT AND URBAN IDENTITY

The following sections define individual components of Milwaukee Avenue's built environment, including both the public realm and architecture, which contribute to the dynamic and vibrant character and sense of place along the corridor.

## STREETSCAPE AND PUBLIC REALM

Within the public realm, several consistent characteristics contribute to the corridor's distinct sense of place, including the streetwall, pedestrian infrastructure, streets and sidewalks, and open spaces and landscaping. Additionally, there are several local or building-specific characteristics that impact the public realm, including building lighting, building artwork, and signage. These broader characteristics of

the public realm are described below, while the building-specific features are further discussed in the "Design Guidelines" beginning on page 18 of this report as they more closely relate to the design guidelines developed for the SCOD.

## Streetwall

Milwaukee Avenue's broader setting and site context are defined by the presence of a solid streetwall with few gaps. Milwaukee Avenue's streetwall is primarily comprised of low-rise buildings (one to three stories in height) and taller structures at primary intersections. The mixed-use buildings are densely clustered and have first-floor commercial/retail storefronts. While the integrity of the streetwall remains high, there are some gaps due to vacant lots, surface parking lots, and strip malls.



Figure 15. Milwaukee Avenue streetwall (Scott Shigley)

INTRODUCTION

### Streets, Sidewalks, and Pedestrian Infrastructure

The streets and sidewalks of Milwaukee Avenue are pedestrian-focused, with narrower traffic lanes and protected and unprotected bike lanes. From Western to California Avenues, Milwaukee Avenue is approximately 45 feet wide, and from California to Central Park Avenues, it is approximately 40 feet wide, with protected bike lanes in the southern half of the study area. In each segment, approximately 12 to 14 feet of the overall street width is dedicated to on-street parking, which runs parallel to Milwaukee Avenue.

Sidewalk widths vary slightly throughout the study area, between 12 and 14 feet wide. The only deviation from this is the length of the sidewalk flanking Milwaukee Avenue through Logan Square Park, which is only nine feet wide.

Additional infrastructure dedicated to pedestrians is composed of older concrete and wood benches and the standard "U" shaped bike racks that are located along Milwaukee Avenue. Newer bike racks have been added near California Avenue and between Western and Armitage Avenues. Protected bike lanes, flanking either side of Milwaukee Avenue, extend approximately from Armitage Avenue on the south to California Avenue on the north. Unprotected bike lanes continue farther north to Logan Boulevard.

Many of the buildings are built to the public right-of-way property line (only 17 buildings, 7.2%, are set back from the public right-of-way).

### Landscaping

Landscaping is limited in the study area. It is predominantly limited to smaller trees that may have once had grates that have been removed and replaced with mulch or left as an unplanted opening in the sidewalk. Additionally, at the northwest and southwest corners of the intersection of Western and Milwaukee Avenues, planters have been installed.



**Figure 16.** Pedestrian infrastructure along Milwaukee Avenue (Scott Shigley)



**Figure 17.** Sidewalks along Milwaukee Avenue (Scott Shigley)

## Open Spaces and Boulevards

As a commercial corridor defined by the built environment and presence of a solid streetwall, there are limited areas of open space (e.g., parks and plazas). Near the center of the study area, Milwaukee Avenue intersects with Logan and Kedzie boulevards. At the center of this intersection is the oval-shaped Logan Square, bifurcated by Milwaukee Avenue. Both the boulevards and square are landscaped with mature trees, saplings, and grass lawns. On the east side of the park is the historic Logan Square Comfort Station, a small one-story Tudor Revival building that abuts the public right-of-way. The west side of the square is composed of a formal plaza for the Centennial Monument.

Immediately to the northwest of Logan Square Park is the Paseo Prairie Community Garden, a small garden composed of raised planting beds between mature trees.

Additional open spaces in the study area are Fireman's Park and Solidarity Triangle at the northeast and northwest corners of Diversey and Milwaukee avenues, respectively. Fireman's



**Figure 18.** Boulevard system (Scott Shigley)

Park is defined by curving walkways encircling mature trees and formal planting beds, whereas Solidarity Triangle features Woodard Plaza with sweeping, low, concrete retaining walls with built-in seating surrounded by flower beds and young trees.

Lastly, three sites immediately adjacent to the SCOD boundaries, located at the southwest corner of Sacramento Boulevard and Linden Place and the southwest corner of Milwaukee Avenue and Logan Square Boulevard (2550 N Milwaukee Ave /3127 W Logan Blvd ), have been rezoned for public open space use and are in the planning process.

## Transportation

The Milwaukee Avenue SCOD is served by several transit routes, including the Chicago Transit Authority's (CTA) O'Hare Branch of the Blue Line 'L' with stops at Western Avenue, California Avenue, and Logan Square, in addition to several CTA bus routes, including:

- #56 Milwaukee Avenue
- #49 Western Avenue
- #73 Armitage Avenue
- #94 California Avenue
- #74 Fullerton Avenue
- #82 Kimball Avenue
- #76 Diversey Avenue

Both the Blue Line 'L' and the #56 Milwaukee Avenue bus routes are Transit Served Location (TSL) Routes which extend all Transit-Oriented Development (TOD) incentives, provided under the Connected Communities Ordinances (CCO), to all parcels within the Milwaukee Avenue SCOD.



## BUILDING TYPES

Buildings along Milwaukee Avenue can be categorized first by their type and second by an architectural style. Building types have been organized by commercial and residential uses. Several commercial types have been identified, with the most predominant being the late-19th century/early 20th century, one- and two-story commercial building. The rarest types are the gable-front and false-front buildings, which reflect early to mid-19th-century frame building development in the corridor.

Commercial buildings are typically freestanding or joined by party walls, with the commercial business on the first floor and offices or residences above. The commercial building, as a form, almost always fits on its entire lot and is built to the sidewalk. In a traditional business district, commercial buildings are densely clustered together on small blocks, oriented to the street and sidewalk.

One residential building type was identified. This type is a mixed-use building with ground floor commercial and upper floor residential, which range in height from low-rise to mid-rise. The low-rise, multi-unit dwelling is the most common residential type in the corridor and follows a more traditional multi-unit dwelling form (e.g., flats) instead of traditional mixed-use building forms.

Illustrated descriptions of each type identified within the boundaries of the SCOD are provided in the Appendix of this report.

## ARCHITECTURAL STYLES

For this report, architectural styles were only documented for character buildings. Eleven styles were identified, ranging from popular Victorian Era styles to late-19th and early-20th century revival styles such as Romanesque Revival, Queen Anne, Late Classical Revival, and Beaux Arts Classicism to the modern styles of the mid-20th century, though the most predominant style identified was "Commercial Vernacular."

Illustrated descriptions of each architectural style found within the boundaries of the SCOD are provided in the Appendix of this report.

## CHARACTER BUILDINGS OF MILWAUKEE AVENUE

During the creation of this document, buildings were evaluated for their contribution to the character of Milwaukee Avenue and were identified as character or non-character buildings. Buildings or districts previously designated as City of Chicago Landmarks are not included within the boundaries of the SCOD.

Character buildings date from the historic development (c. 1870-1960) of the corridor and possess features that help define the physical attributes of the study area. These features may include original use, architectural style, building type, massing, scale, number of stories, building orientation, setting, materials, and architectural ornamentation at the primary facades. To date, this study has identified 125 character buildings. Additional information on each character building, including date of construction, original/historic use, architect (if known), and architectural style are provided in "Character Building Database" on page 72.

The remaining buildings in the study area were identified as non-character buildings. These buildings are typically more recent buildings (built after the corridor's historic development period) or are older buildings that have been highly altered and no longer possess its physical characteristics and character-defining features (e.g., materials, design, workmanship, etc.) that contribute to Milwaukee Avenue's sense of place.



Figure 19. 2875 N Milwaukee Avenue

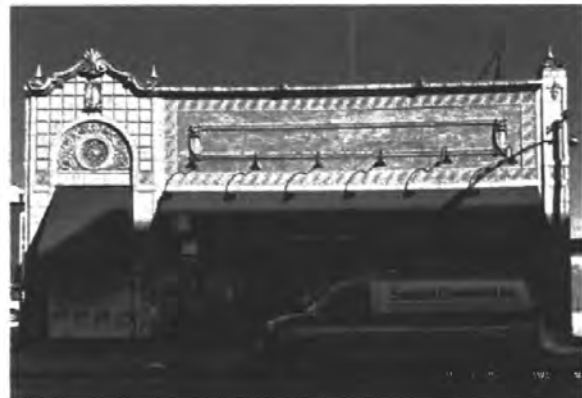


Figure 20. 2475 N Milwaukee Avenue



Figure 21. 2832 N Milwaukee Avenue

# 2



**Figure 22.** Bird's-eye view of the Milwaukee Avenue SCOD (Scott Shigley)

# DESIGN GUIDELINES



# GUIDING PRINCIPLES

The following design guidelines provide illustrative guidance for rehabilitation, additions, alterations, and new construction in the SCOD. Driving the design guidelines are three primary guiding principles developed based on the existing regulations and ordinances for the SCOD and data collection, including fieldwork of existing conditions and community engagement, as defined on page 6 and page 8, respectively.

The guiding principles aim to enhance the historic and character-defining built environment of the district. They encourage appropriate rehabilitation while supporting a maximization of height and density and compatible, but differentiated new construction through creative and contemporary designs that retains the pedestrian scale, building uses, and a strong sense of place.



1. Maintain character-defining features, including character buildings and their individual architectural components, that contribute to the SCOD's sense of place and contextual built environment. While demolition of character buildings cannot be prohibited with a SCOD designation, appropriate rehabilitation is encouraged.



2. Provide for flexibility in implementation through design guidelines. The guidelines are not intended to freeze the district's future development but instead support context-sensitive and complementary new construction, repairs, and sympathetic improvements.



3. Maintain and improve upon the unique character of the streetscape in the SCOD.
  - a. Preserve the compact, walkable, and pedestrian-oriented nature of the SCOD.
  - b. Provide streetscapes with pleasant walking environments.
  - c. Maintain the historic mixed-use development pattern of the district.
  - d. Enhance the existing streetwall with engaging storefront designs and active ground floor uses.

# HOW-TO GUIDE

The following design guidelines are organized into two categories for existing buildings and new construction. The existing building guidelines apply to all buildings constructed prior to the establishment of the SCOD. New construction guidelines will apply to all buildings constructed after the establishment of the SCOD.

Each set of guidelines is organized by individual design components (e.g., materials,

heights, windows, storefronts, etc.) of the built environment. Additional best practices and resources are provided beginning on page 129.

A separate development review checklist will be provided for those required guidelines outlined in the following sections that a project must meet in order to receive approval under the SCOD review and permit process.



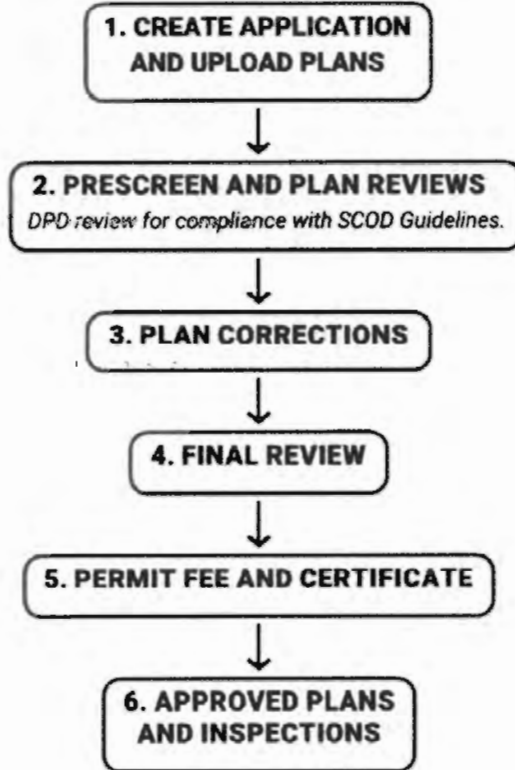
## Zoning Map Amendments

Zoning Map Amendments to follow City of Chicago Zoning Ordinance 17-13-0300



## As-of-Right Permit Applications

to follow City of Chicago Department of Buildings Standard Plan Review



# GUIDELINES FOR EXISTING BUILDINGS



DESIGN GUIDELINES

## GENERAL EXTERIOR FACADE

### MATERIALS

In the SCOD, the use of material, color, and texture is a prominent character-defining feature of the corridor's built environment. Primary materials used on existing buildings in the SCOD are red, orange, cream, tan, or white glazed brick for front/primary facades and Chicago common brick at the side and rear facades, which has created an overall uniformity in the corridor. There is limited use of Indiana limestone and terra cotta to clad primary facades, but instead, it is more commonly used in the SCOD for architectural detailing. Additionally, architectural metal is common in the SCOD as ornamentation/features.



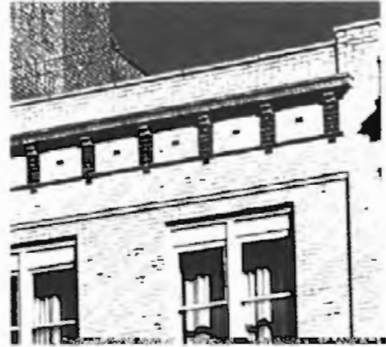
**Figure 23.** Milwaukee Avenue streetwall of existing buildings (Scott Shigley)



**Figure 24.** Face brick



**Figure 26.** Chicago common brick



**Figure 28.** Glazed brick



**Figure 25.** Indiana limestone



**Figure 27.** Metal cladding



**Figure 29.** Terra cotta

1

MASONRY REPAIR OR REPLACEMENT

1.1

Existing masonry should be retained when possible or replaced with new, matching masonry.

1.2

Repointing (tuckpointing) should match the original or existing in joint width, color, tooling, profile, and mortar composition.

1.3

Terra cotta or limestone can be patched and cracks repaired with matching color and finish. Replace terra cotta or limestone in-kind or with a substitute materials such as cast concrete or glass-fiber reinforced concrete (GFRC) that closely match the original in color, texture and finish.

1.4

It is not appropriate to clad or cover original masonry with a veneer, stucco, or exterior insulation finishing system (EIFS).

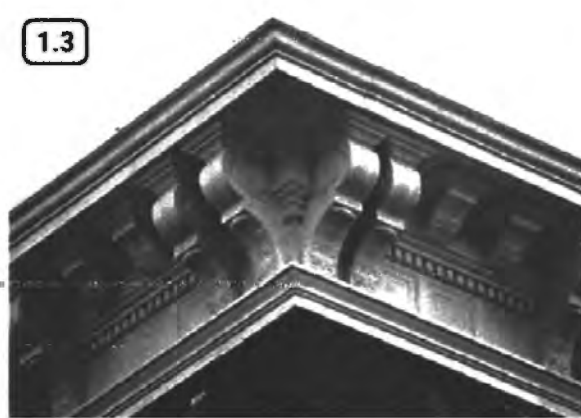
For Additional Best Practices and Resources, see page 129 in the Appendix of this document

DESIGN GUIDELINES



1.2

✓ Figure 30. Acceptable tuckpointing



1.3

✓ Figure 32. Acceptable substitute material: glass fiber reinforced concrete (GFRC) for terra cotta



1.2

✓ Figure 31. Acceptable tuckpointing



1.4

✗ Figure 33. Unacceptable cladding over existing masonry

**2 ARCHITECTURAL METAL CLADDING REPAIR OR REPLACEMENT**

**2.1** The repair and retention of original architectural metal cladding is permitted and encouraged.

**2.2** Replace original architectural metal in-kind or with a substitute material (e.g., tin-plated steel, reinforced polyester, zinc, GFRC, or aluminum) to closely match the original detailing, color and finish.

For Additional Best Practices and Resources, see page 129 in the Appendix of this document.

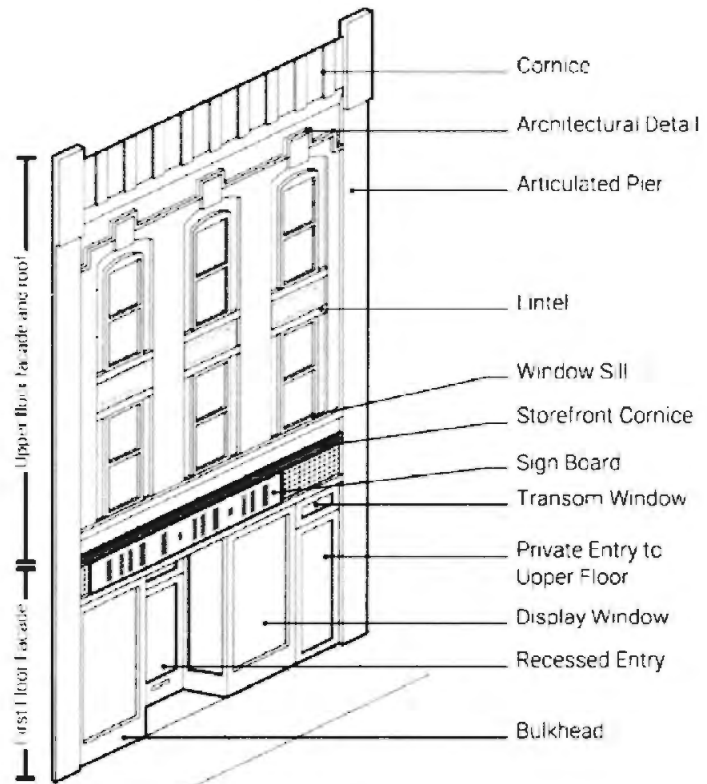


**Figure 34.** Example of character-defining, historic, architectural metal

**FIRST FLOOR FACADES**

**STOREFRONTS**

Throughout the SCOD, storefronts are located on the first floor. Historic storefronts are comprised of the components shown in Figure 35.



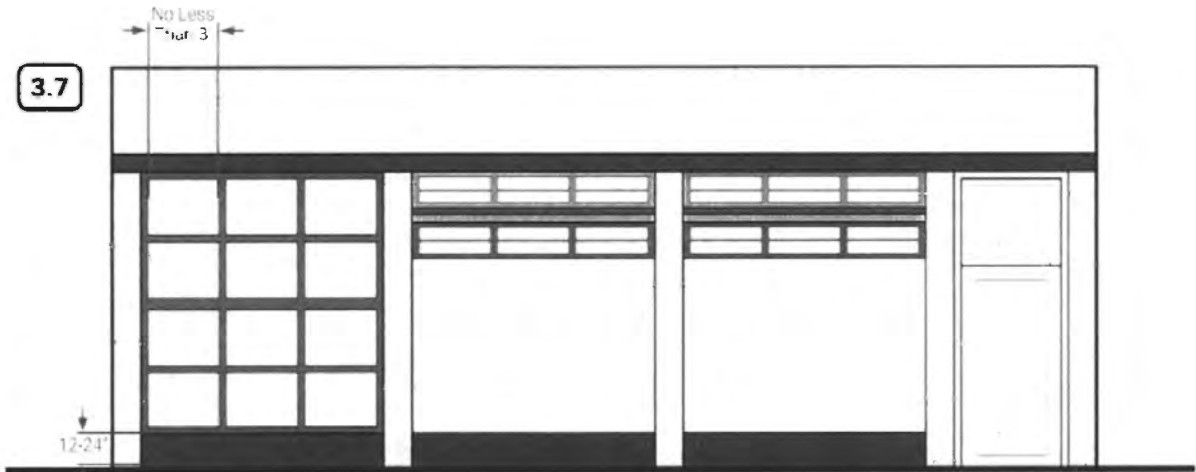
**Figure 35.** Historic storefront configuration

**3****STOREFRONTS**

- 3.1** The repair and retention of a historic storefront and/or individual components as they exist is permitted and encouraged.
- 3.2** The new storefront should include individual components found in typical historic storefronts, such as the storefront lintel or cornice, transoms, display windows with a minimum spacing of vertical mullions at 36 inches apart, bulkhead with a minimum height of 12 inches and maximum height of 24 inches, and/or recessed entrance, but not replicate specific historic stylistic details. See Figure 36 on page 26. Slight variations to the provided dimensions for display windows and bulkheads can be considered depending on conditions of the subject building.
- 3.3** Storefronts recessed more than twenty-four inches from the front facade may be allowed, provided that the recessed space is utilized for landscaping, outdoor dining, or a similar purpose.
- 3.4** Recessed entrances within storefronts are permitted and encouraged to allow for improvements that contribute to the public realm, including tiled floors and ceiling-mounted lighting, but the entrance depth may not exceed the entrance width per 17-3-0504-B-2-(b). See Figure 73 and Figure 76 on page 41 for further information.
- 3.5** Avoid the use of incompatible replacement materials, including vinyl and aluminum siding, concrete block, exterior insulation and finish systems (EIFS), mirrored or tinted glass, and rough-hewn wood siding. New materials such as double pane insulated glazing and aluminum frames and doors are acceptable replacement options.
- 3.6** New storefronts should be constructed within the original masonry opening of the building.
- 3.7** Fully operable storefronts are allowed within the masonry opening of the storefront. The operable storefront glazing panels should be at least three feet wide.
- 3.8** Avoid Mansard roofs, false gables, and shake shingles at new storefronts as they break the traditional pattern of solids and voids by covering up the large storefront opening. Design guidelines have been provided for canopies on page 42.
- 3.9** A minimum of 60% of the street-facing building facade between four feet and 10 feet in height must be comprised of clear, non-reflective windows that allow views of indoor commercial space or product display areas (Section 17-3-0504-C-1 Transparency). The bottom of any window or product display window used to satisfy this requirement may not be more than four and a half feet above the adjacent sidewalk (Section 17-3-0504-C-2 Transparency). Product display windows used to satisfy this requirements must have a minimum height of four feet and be internally lighted (Section 17-3-0504-C-3 Transparency).
- 3.10** Storefront openings shall not be infilled with solid materials and storefront replacements will need to meet the above guidelines.

DESIGN GUIDELINES

DESIGN GUIDELINES



✓ **Figure 36.** Acceptable operable storefront



✓ **Figure 37.** Acceptable existing example of a rehabilitated storefront



✓ **Figure 38.** Acceptable example of a new storefront that retained character-defining features of the original storefront



✗ **Figure 39.** Unacceptable example of a mansard roof that obscures the original front facade of the building

**4 CANOPIES**

4.1 For canopy guidelines, refer to page 42 in New Construction.

**5 BUILDING LIGHTING**

5.1 For building lighting guidelines, refer to page 42 in New Construction.

## RETENTION OF THE EXTERIOR FACADE

A “facadectomy” is a term used to describe the preservation of a building’s facade while simultaneously constructing a new internal structure either behind or within the original front-facing elevation’s shell. This approach allows for the retention of the

existing facade of a building while updating or completely reconstructing its interior. Facadectomies are often used to balance the retention of architectural features with the need for modernization or new construction.

**6**

**EXTERIOR FACADE REPAIR OR REPLACEMENT**

**6.1**

Facadectomies are discouraged in lieu of the rehabilitation or adaptive reuse of the existing building. For the projects that are proposing facadectomies, the rehabilitation of retained facade(s) must meet the design guidelines for existing buildings beginning on page 22. New construction incorporating an existing original facade must meet the design guidelines for new construction beginning on page 34.



✓ **Figure 40.** Acceptable example of a facadectomy



✓ **Figure 42.** Acceptable example of a facadectomy



✗ **Figure 41.** Unacceptable example of a facadectomy as the facade has not been integrated into a new development, but left as an unoccupiable portion of a building and the storefront infilled with brick and a fake storefront frame



✗ **Figure 43.** Not acceptable as the upper floors of the new construction are not adequately setback from the historic facade

MILWAUKEE AVENUE URBAN IDENTITY DESIGN GUIDELINES

## ENTRANCES/DOORS TO UPPER FLOORS

Entrances and doors contribute to the character of the building through their size, placement, materials, and detail.

### 7 ENTRANCES/DOORS TO UPPER FLOORS

- 7.1 Building openings, including doors and associated transoms, should be maintained in their historic/existing location. Openings on primary facades should not be altered, relocated, enlarged, or reduced in size. Original door openings that have been previously infilled may be reopened to the original design.
- 7.2 If the doors will be replaced, install newly painted wood or aluminum doors that are compatible with the style of the building and/or existing storefront.
- 7.3 Avoid flush, louvered, "colonial style," and highly decorative doors. Paneled doors and doors with glazing are appropriate and encouraged.
- 7.4 Glazing should be clear and not mirrored, reflective, or dark-tinted while meeting low-e/tempered and laminate glazing requirements under the City of Chicago building code.

For Additional Best Practices and Resources, see page 134 in the Appendix of this document.



✓ **Figure 44.** Acceptable example of a historic door to upper floors



✓ **Figure 45.** Acceptable example of a replacement door in a historic opening



✗ **Figure 46.** Unacceptable example of a flush door



✗ **Figure 47.** Unacceptable example of a residential "colonial style" door

Additionally, there are several historic conditions located at entrances to storefronts or doors to upper floors that may require alterations to meet local and federal accessibility standards including steps at storefront entrances, narrow

entrances, and self-operated entrances. Permit applicants are encouraged to coordinate with the Mayor's Office of People with Disabilities (MOPD) in advance of their permit application submission.

## **UPPER FLOOR FACADES, WINDOWS, AND ROOFS**

The upper floor facades of character buildings are typically articulated differently than the first floor facade, which is dedicated to the commercial storefront. On the upper floors, the design is expressed through the rhythm of

window openings, the design and detailing of windows which reflect the period, style, or regional characteristics, and the roof form and architectural detailing at the roof line.

### **8**

#### **WINDOWS**

##### **8.1**

The repair and retention of historic windows and details such as arched tops, hoods, or other decorative elements is permitted and encouraged.

##### **8.2**

Original window and masonry openings should be retained. The creation of new, non-historic masonry window openings on the primary facades or the alteration of existing window openings on primary facades is not permitted, except to meet building code requirements or to be consistent with the predominant character and size of windows in the SCOD.

##### **8.3**

Wood windows can be replaced with wood, aluminum-clad wood, vinyl-clad wood, vinyl, or fiberglass windows. Steel windows can be replaced in-kind or with aluminum windows. The original configuration/operation type of the window should be replicated and simulated divided lites may be used to replicate original true divided lites.

##### **8.4**

Existing double-hung, fixed, or casement windows should not be replaced with any type of projecting window, such as bay, bow, or oriel windows.

##### **8.5**

Windows should not include a tint or mirrored finish.

##### **8.6**

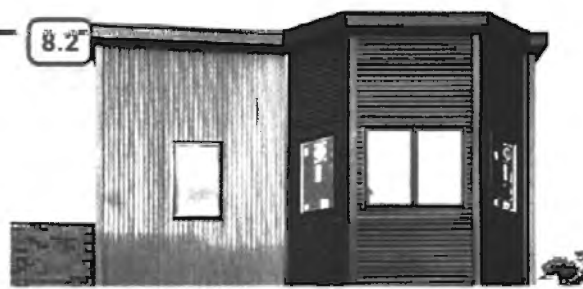
Shutters, balconies, or false balconies (e.g., Juliet balconies) were predominately not historically found in the SCOD and are not permitted unless verified by historic photographs or original architectural drawings.

For Additional Best Practices and Resources, see page 134 in the Appendix of this document.





✓ **Figure 48.** Acceptable example of new windows in preserved masonry openings



✗ **Figure 50.** Unacceptable reconfiguration of upper floor window openings



✓ **Figure 49.** Acceptable example of a historic building with limited window openings. The adjacent Figure 51 illustrates how window openings were sensitively added to the primary facade as part of the building's reuse



✓ **Figure 51.** Acceptable example of how window openings were sensitively added to the primary facade as part of the building's reuse

9

**ROOFS/ROOFLINES/CORNICES**

9.1

Replacement roofing, gutters, and chimneys should be compatible with the historic or existing building in material and configuration.

9.2

A distinctive architectural feature at the roof line of many of Milwaukee Avenue's character buildings is an elaborate masonry, wood, or metal cornice, sometimes crowned with a masonry shaped parapet or metal pediment. This unique character-defining feature should be repaired or replaced in-kind or with substitute materials consistent with the original finish, design and profile. If a cornice has been previously removed, it may be replaced, using historic documentation or other similar building types as a guide, in wood, metal, brick, or modern materials like fiberglass and lightweight cement.

9.3

New or replacement roofs of built-up roofing for flat roofs are appropriate. Slate tiles or composite slate tiles, asphalt shingles that are simple, flat, and smooth, and in an appropriate color, as well as painted, terne-coated metal also in an appropriate color, are suitable for pitched roofs (e.g., gable, Mansard, etc.).



**Figure 52.** Examples of existing cornices in the district



**Figure 53.** Examples of existing cornices in the district

## **ADDITIONS TO EXISTING BUILDINGS**

The following guidelines apply to rooftop additions to existing buildings. Rear and side additions should reference the Guidelines for New Construction beginning on page 34 of this document. Rooftop additions can include both habitable and non-habitable structures, such as rooftop additions, mechanical penthouses, and green roofs. Rear, side,

and rooftop additions to existing buildings are encouraged to maximize height and density within the corridor while maintaining a compatible scale with the existing built environment. These guidelines are intended to advise on the contextually appropriate design of additions within the SCOD.

### **10**

#### **SITING**

##### **10.1**

Rooftop additions should be sited to minimize the visual impact to the primary facades of an existing building. An addition should be set back at least 10 feet from the Milwaukee Avenue facade. In limited instances, a setback either greater or less than 10 feet, depending on the scale of the existing building and the scale of the rooftop addition may be appropriate. Generally, the smaller the rooftop addition is compared to the size of the existing building, the smaller the setback that would be needed to clearly show subordinate relationship and vice versa.

##### **10.2**

The primary facade of an addition should be of a similar width as the existing building. Furthermore, the primary facade of an addition should remain unbroken unless utilizing an articulation strategy per the guidelines on page 44 of this document.

### **11**

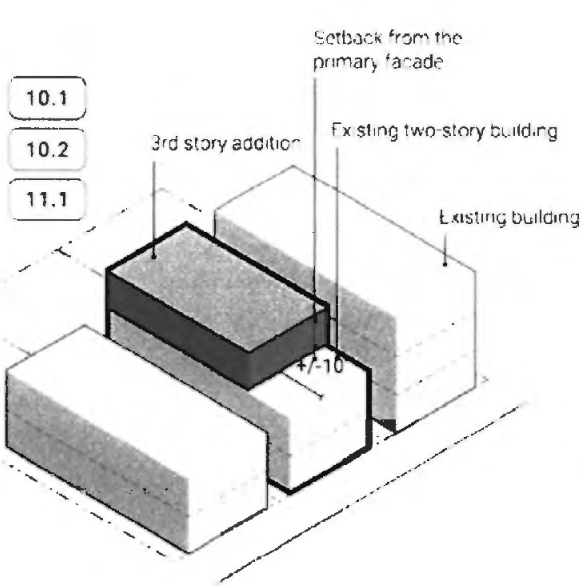
#### **SCALE**

##### **11.1**

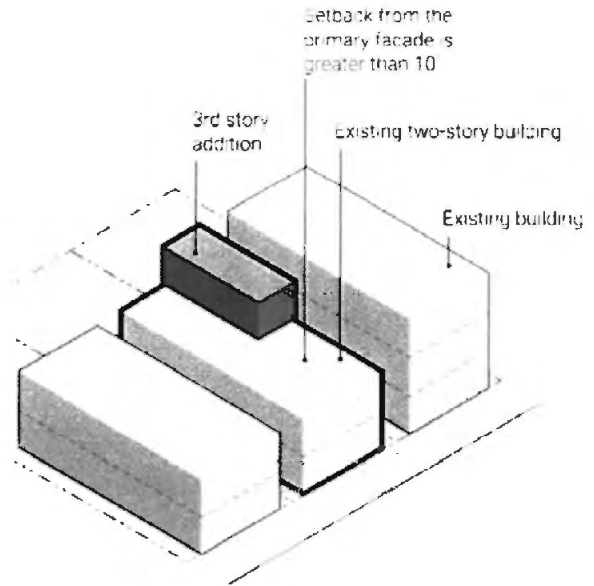
The height of a rooftop addition should be less than (or equal to) the existing height of the building, per the maximum height allowed under the existing zoning. In limited instances, the height of the rooftop addition may exceed the height of the building, depending on the size and scale of the existing building and the depth of the addition's setback.



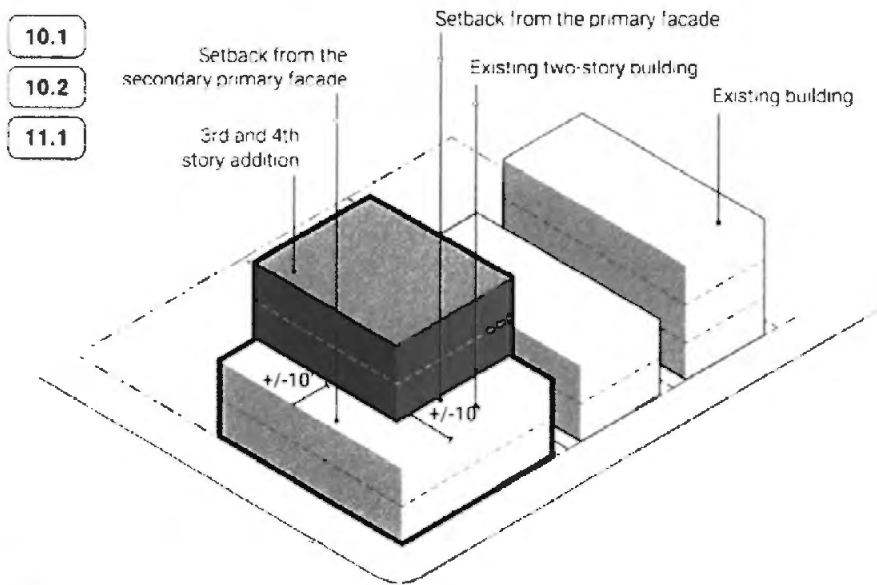
DESIGN GUIDELINES



✓ **Figure 54.** Acceptable siting and scale for an addition to an existing building



✗ **Figure 55.** Unacceptable siting and scale for an addition to an existing building



✓ **Figure 56.** Acceptable siting and scale for an addition to a corner existing building

**12 DESIGN AND COMPATIBILITY**

- 12.1** Additions that are visible from Milwaukee Avenue or from an intersecting cross street must comply with the new construction guidelines for articulation at upper floor facades and rooflines on page 44.
- 12.2** Additions that do not alter, change, obscure, damage, or destroy any significant architectural features, including distinctive materials, features, and finishes of the existing building are permitted and encouraged.
- 12.3** Additions should be visually compatible, such as by aligning the location and proportion of windows, but differentiated from the existing building. Rooftop additions that copy the design of existing buildings are discouraged.

**13 MATERIALS**

- 13.1** All additions must comply with the new construction design guidelines for materials on page 39.  
For Additional Best Practices and Resources, see page 134 in the Appendix of this document.



✓ **Figure 57.** Acceptable example of a design for an addition to an existing building



✗ **Figure 59.** Unacceptable example of an addition as the addition has a projecting roofline that does not minimize its visibility (Apartments.com)



✓ **Figure 58.** Acceptable example of a design for an addition to an existing building



✗ **Figure 60.** Unacceptable example of a design for an addition to an existing building due to incompatible materials and design of fenestration/recesses (Loonnet)

# GUIDELINES FOR NEW CONSTRUCTION

DESIGN GUIDELINES

The following design guidelines are intended to direct and promote contemporary architecture that is compatible of the SCOD's historic context and existing character buildings.

## PARKING AND SERVICE AREAS

Parking and service areas, such as utility, trash, and delivery areas, are necessary to the operations of a building and need to be thoughtfully integrated into the overall site design without detracting from the character of the SCOD.

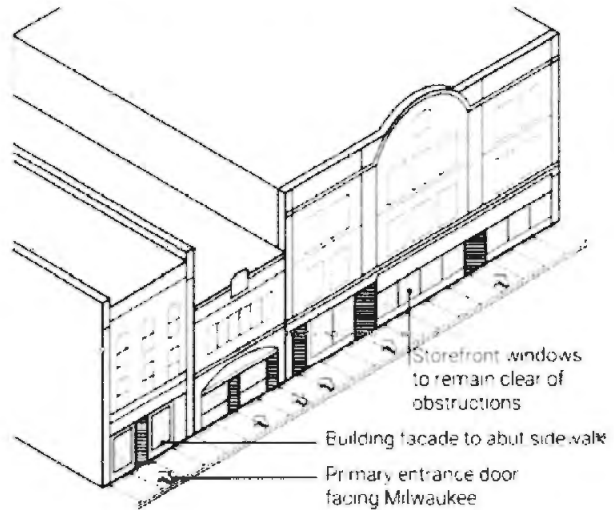


Figure 61. Examples of key design principles

### 14

### PARKING AND SERVICE AREAS

#### 14.1

Vehicle access to lots must come from an alley. No new curb cuts or driveways are allowed from areas designated in the zoning code as a pedestrian street (Section 17-3-0504-G Driveways and Vehicle Access).

#### 14.2

Service areas, such as those for dumpsters, loading docks, and mechanical equipment, should be located away from the street and away from residential buildings and entrances. Landscaping and walls should be used to screen such areas/activities from view.

#### 14.3

All off-street parking spaces must be enclosed or located to the rear of the principal building and not be visible from the right-of-way (Section 17-3-0504-F Parking Location).

#### 14.1

#### 14.2

#### 14.3

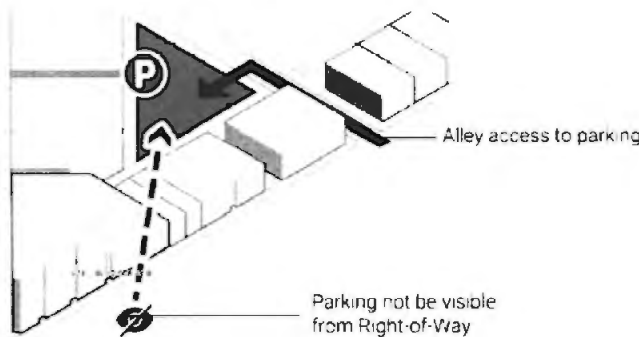


Figure 62. Acceptable parking and service area location

### **BUILDING SETBACK AND ORIENTATION**

Most buildings are oriented to Milwaukee Avenue, and primary entrances face the street, though there are several corner buildings located at intersections that maintain their primary orientation to Milwaukee Avenue and have a secondary orientation/entrance to the cross street.

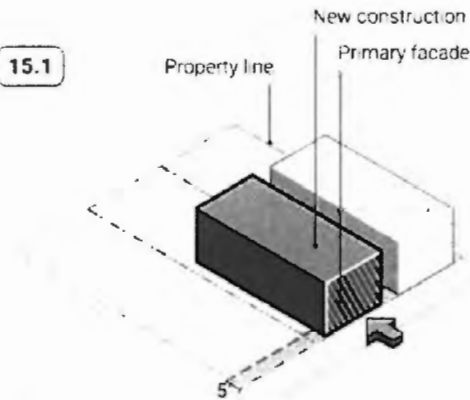
DESIGN GUIDELINES

#### **15 BUILDING SETBACK AND ORIENTATION**

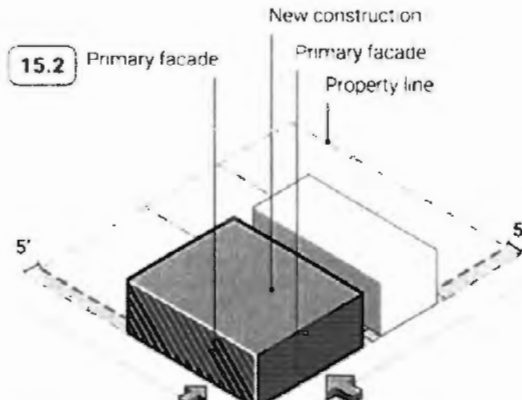
**15.1** The entire building facade that faces a street must abut the sidewalk or be located within five feet of the sidewalk (17-3-0504-B-1 Building Location). These building location standards do not apply to permitted arcades, public plazas or parks, entries to through-block connections, or recessed entries. Recessed entries are subject to the following standards:

- The entrance width may not exceed 12 feet or 5% of the building's street-facing facade width;
- The entrance depth may not exceed the entrance width; and
- The entrance may not exceed two stories in height (17-3-0504-B-2 Building Location).

**15.2** New construction located on a corner site must have two primary facades, each facing the streets along which the building is located. In designing corner buildings, consider providing greater visual emphasis at the corner with more architectural detailing, designing both street facades as "front" facades.



**Figure 63.** Acceptable setback and orientation at mid-block lots



**Figure 64.** Acceptable setback and orientation at corner-block lots



### HEIGHT AND SCALE

Existing buildings along Milwaukee Avenue range in height from one to 12 stories, with the predominant heights being two (104 buildings, or 43.8%), one (58 buildings, or 24.5%), and three (51 buildings, or 21.5%) stories. Buildings of four to seven stories (22 buildings, or 9.3%) are intermixed throughout the corridor, and there is one development completed in 2016 that is 11 and 12 stories. Heights throughout the study area are evenly dispersed, except from approximately Belden Avenue to Western Avenue, the predominant heights are lower, as 44% of the buildings in this segment are only one story.

New construction is subject to the existing height restrictions outlined in Section 17-3-0408-A of the Chicago Zoning Ordinance. All parcels currently zoned a -3 in the corridor may take advantage of the building height increase for

Transit-Served Locations under section 17-3-0408-B of the Chicago Zoning Ordinance with approval of a Type I Zoning Map Amendment.

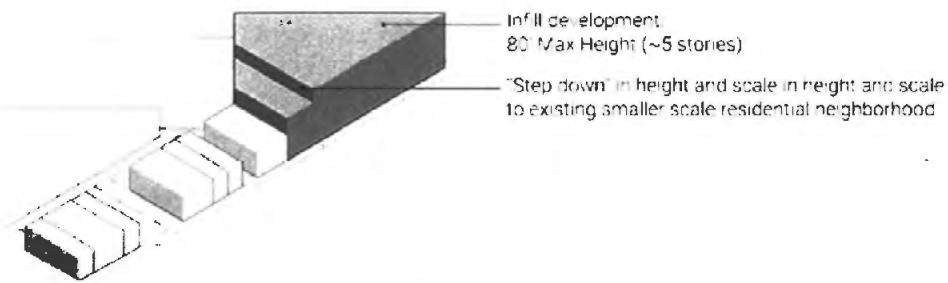
The design guidelines encourage new developments to take advantage of the building height increase, as the increase in height is compatible with the existing low-to-mid-rise character of the Milwaukee Avenue corridor and meets the community's goals for an increase in affordable housing within the SCOD.

Parcels that are not currently zoned a -3 may apply for a zoning map amendment to be eligible for the building height increase for Transit-Served Locations. Taller structures proposed to exceed the -3 zoning, will also be considered depending on their location and context, such as at major intersections.

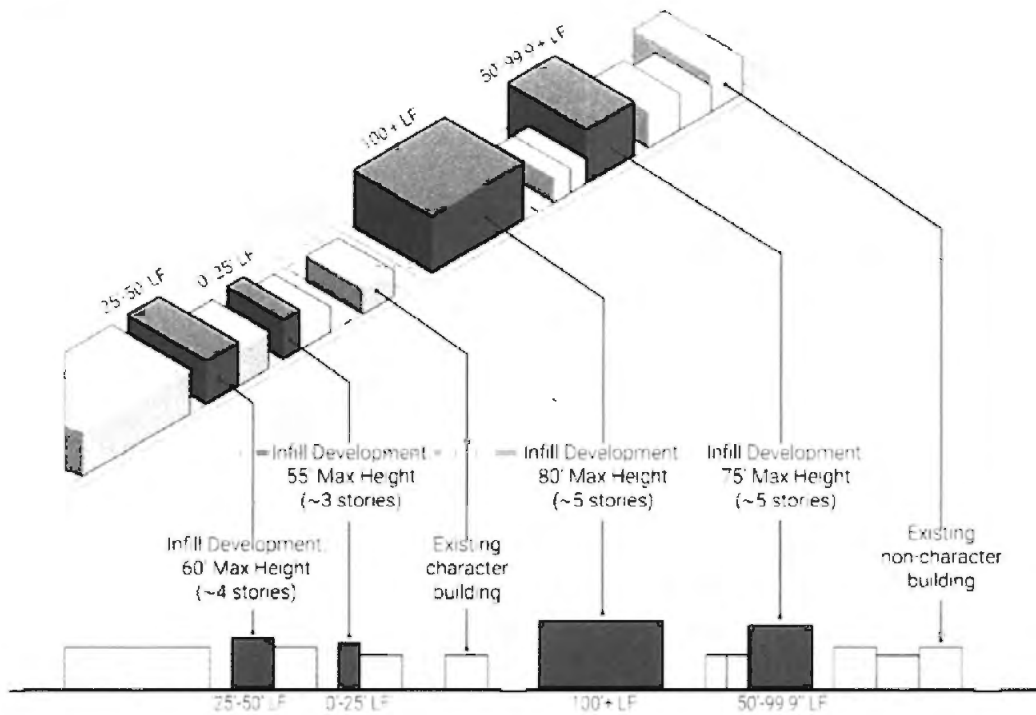
## 16 HEIGHT AND SCALE

- 16.1 The height of new infill development should not exceed the allowable maximum heights under section 17-3-0408, Building Height of the Chicago Zoning Ordinance. New developments which seek to exceed the allowable maximum heights will be subject to the regulations and review process for Planned Developments under Chapter 17-8 of the Chicago Zoning Ordinance.
- 16.2 New developments located within a half block of major intersections are encouraged to take advantage of the building height increase for Transit-Served Locations under Section 17-3-0408-B of the Chicago Zoning Ordinance.
- 16.3 New buildings 80 feet or taller which require approval of a Planned Development should set back the face of upper floors several feet behind lower floors. This encourages human-scaled design by responding to adjacent building height, street width, and pedestrian experience. Leverage these tower setbacks to optimize views and natural light.
- 16.4 Buildings should "step down" in height and scale when adjacent to existing, smaller-scale residential neighborhoods located immediately outside of the SCOD boundaries. Step-downs can help improve transitions between higher-density redevelopment and lower-density neighborhoods.

16.4



✓ **Figure 65.** Acceptable step down in height and scale



✓ **Figure 66.** Acceptable infill development maximum heights per 17-3-0408 building height

\*Average floor to floor height of 20' for first floor, and 13' for upper floors

\*\*Planned Developments (PD's) will be reviewed on a case by case basis

DESIGN GUIDELINES

MILWAUKEE AVENUE URBAN IDENTITY DESIGN GUIDELINES

### **MASSING AND BUILDING WIDTH**

Massing in the district is predominantly the shape of a rectangle or square, with select deviations through the use of projecting bays or wings, bay or oriel windows, and towers or turrets.

Almost half of the lots (47.7%) along Milwaukee Avenue in the SCOD are a uniform 25 feet wide, creating a strong visual rhythm throughout the

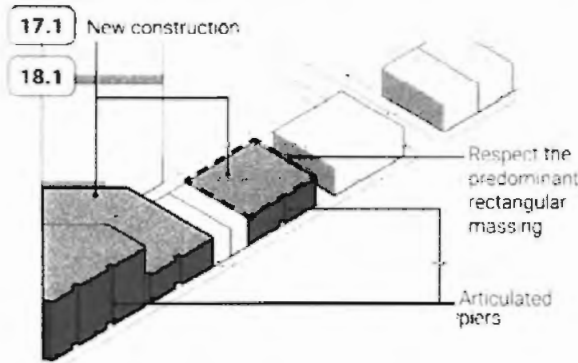
corridor. The next most standard building width is 50 feet, or the space of two lots (24.3%). The remaining 28% of lots in the district are wider than 50 feet and vary widely in width, but maintain a continuity with the adjacent buildings through the use of vertical breaks or "bays" at the primary facade that reflect the typical 25-foot building width present on Milwaukee Avenue.

#### **17 MASSING**

**17.1** New construction forms should respect the predominant rectangular massing forms of the district. Any curved or angled planes should be used in a subordinate manner. Articulated corners (e.g., chamfered) of buildings located on corner lots are encouraged. Massing may also articulate elements of the particular floorplan (such as setback elements on corners, recessed or semi-recessed balconies) or the functional elements of a building (such as lift cores and stairways etc.) that can be expressed/recessed as part of an overall articulation strategy per the guidelines provided on page 44 of this document.

#### **18 BUILDING WIDTH**

**18.1** New construction should respect and seek to retain this visual rhythm by designing a rhythmic division of the facade (e.g., articulated piers, material changes, etc.) to repeat this existing dynamic created by the standard building and lot widths within the SCOD. New construction must take into consideration its context within the block and maintain the continuity of the block.



**✓ Figure 67.** Acceptable forms and rhythm of new construction



**✓ Figure 68.** Acceptable examples of curved or angled planes used in a subordinate manner

### MATERIALS

The following design guidelines encourage contemporary design that does not imitate but rather complements the existing architectural and environmental characteristics of the SCOD through the use of appropriate materials for new infill construction.

DESIGN GUIDELINES

#### 19 MATERIALS

- 19.1 The use of masonry materials, including brick and natural stone, is encouraged at facades that are highly visible from Milwaukee Avenue. Similar to the existing buildings in the SCOD, architectural metal may be used for limited cladding or facade articulation.
- 19.2 Materials that are incompatible with the district should not be used on primary facades, including glass block, concrete block, rough wood, exterior insulation and finish systems (EIFS), and vinyl siding.
- 19.3 While glass curtain walls are not extensively found in the SCOD, they are a prominent material option for contemporary architecture and can be used in a compatible manner with the existing character of the district. Full height and full facade glass curtain walls are discouraged, as they would disrupt the character of the SCOD. Instead, glass curtain walls should be used to both clad and articulate portions of the facade in conjunction with more compatible materials such as masonry.
- 19.4 Color, texture, and material changes are encouraged but should be combined with changes in depth, height, or architectural articulations on upper floors.



✓ **Figure 69.** Acceptable example of materials used at the primary facade



✗ **Figure 71.** Unacceptable example of materials used at the primary facade



✓ **Figure 70.** Acceptable example of new material, texture, and articulation used at a primary facade of new construction that compliments the historic built environment



✓ **Figure 72.** Acceptable example of materials used at the primary facade

## GROUND FLOOR ENTRIES AND STOREFRONTS

A majority of storefronts in the corridor retain their original configurations and/or individual original components, such as bulkheads, recessed entries, display windows, storefront cornice, and transoms, though the individual components may be newer.

**20**

### GROUND FLOOR ENTRIES AND STOREFRONTS

**20.1**

Storefront entrances should be located approximately every 25 to 50 feet to maintain the existing rhythm of ground floor entries within the SCOD. In limited instances, a distance less than 25 feet or greater than 50 feet, may be appropriate based on unique block/site parameters or building design.

**20.2**

Storefront windows and entries should remain clear of obstructions and necessary piers, pilasters, or columns should be integrated into the new storefront design. New storefronts should include elements commonly found in existing storefronts, avoiding direct replication of specific historic stylistic details. These elements include, but are not limited to: storefront lintel or cornice, transoms, display windows with a minimum width of 36 inches between vertical mullions, columns and bulkhead with a minimum height of 12 inches and a maximum height of 24 inches.

**20.3**

Buildings must have a primary entrance door facing Milwaukee Avenue. Entrances at building corners facing Milwaukee Avenue may be used to satisfy this requirement. Primary facades should include building entrances including doors to individual shops or businesses, lobby entrances, entrances to pedestrian-oriented plazas or courtyard entrances to a cluster of shops or businesses (Section 17-3-0504-D Doors and Entrances).

**20.4**

Storefronts recessed more than twenty-four inches from the front facade may be allowed, provided that the recessed space is utilized for landscaping, outdoor dining, or a similar purpose.

**20.5**

Recessed entrances within storefronts are permitted and encouraged to allow for improvements that contribute to the public realm, including tiled floors and ceiling-mounted lighting, but the entrance depth may not exceed the entrance width per 17-3-0504-B-2-(b). See Figure 73 and Figure 76 on page 41 for further information.

**20.6**

A minimum of 60% of the street-facing building facade between four feet and 10 feet in height must be comprised of clear, non-reflective windows that allow views of indoor commercial space or product display areas (Section 17-3-0504-C-1 Transparency). The bottom of any window or product display window used to satisfy this requirement may not be more than four and a half feet above the adjacent sidewalk (Section 17-3-0504-C-2 Transparency). Product display windows used to satisfy this requirements must have a minimum height of four feet and be internally lighted (Section 17-3-0504-C-3 Transparency).

**20.7**

Fully operable storefronts are acceptable. Operable storefront glazing panels should not be less than three feet wide, and meet the previous design guideline 20.6 regarding the transparency of a new storefront.

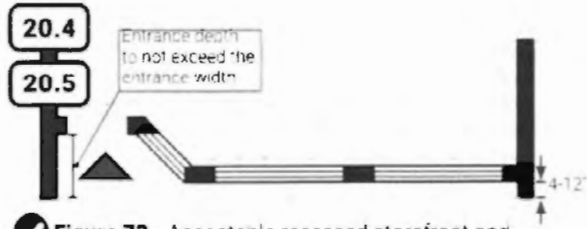
**20.8**

Avoid the use of materials that were unavailable or uncommon in the SCOD or are incompatible replacement materials, including vinyl and aluminum siding, concrete block, exterior insulation and finish systems (EIFS), mirrored or tinted glass, and rough-hewn wood siding. New materials such as double pane insulated glazing and aluminum frames and doors are acceptable replacement options.

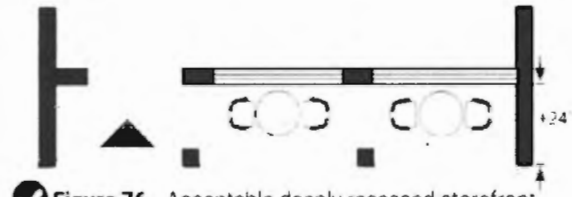
**20.9**

Avoid Mansard roofs, false gables, and shake shingles at new storefronts as they break the traditional pattern of solids and voids by covering up the large storefront opening. Design guidelines have been provided for canopies on page 42.

For Additional Best Practices and Resources, see page 135 in the Appendix of this document



✓ **Figure 73.** Acceptable recessed storefront and recessed entry within storefront



✓ **Figure 76.** Acceptable deeply recessed storefront



✓ **Figure 74.** Acceptable example of rhythm of ground floor entries, storefronts, and upper floors (Miller + Miller)



✓ **Figure 77.** Acceptable example of deeply recessed storefront and entry



✓ **Figure 75.** Acceptable example of a recessed storefront (Choose Chicago)



✗ **Figure 78.** Unacceptable example of fake storefront in new construction designed to screen ground floor parking

DESIGN GUIDELINES

### CANOPIES

A canopy is a roof-like structure of a permanent nature that projects from the wall of a building, typically mounted above a masonry opening, and extends over the public way to protect a main entrance. Canopies are not common in the SCOD, although historically canopies were used sparingly at more prominent buildings (e.g., theaters). All canopies must comply with these design guidelines, must comply with the Chicago Zoning Ordinance and the Chicago Building Code, and must obtain a permit for the use of the public right of way from the City of Chicago Department of Business Affairs and Consumer Protection.

#### 21 NEW OR REPLACEMENT CANOPIES

- 21.1 Sloped canopies clad in aluminum, shakes, or shingles are not permitted.
- 21.2 Waterfall, concave, box, or other exaggerated-shaped canopies are not permitted.
- 21.3 New canopies should be designed to be integrated into the architectural design of the building. Canopies should be mounted within masonry openings and not obscure or overlap character-defining features (e.g., window or door surrounds).



Figure 79. Example of a historic canopy. The adjacent Figure 80 is an unacceptable example of a replacement canopy.



✘ Figure 80. Unacceptable example of a replacement canopy (Bryn Mawr Belle Shore Apartments)



✔ Figure 81. Acceptable example of a new canopy

### BUILDING LIGHTING

Building lighting in the study area is rare (approximately 15 instances) and typically consists of rectilinear or cylindrical sconces and wall-mounted “gooseneck” lighting. The following guidelines are intended to promote a high quality of lighting in the SCOD to assure that lighting installations are subtle and appropriate and avoid over-lighting, glare, and light pollution

from up-lighting. The lighting should maximize energy efficiency in new and replacement installations. New technology is encouraged to be aesthetically integrated into the architectural design of the building. Ground-level and/or first-floor exterior lighting should enhance safety and security while adding a pedestrian-scale element to the public way character.

**22 BUILDING LIGHTING**

- 22.1** Appropriate New Exterior Lighting for Buildings and Specific Installation Guidelines:
- Concealed, minimal lighting targeted to illuminate architectural features, storefronts, and signs. The type of lighting equipment used, such as downlights or uplights, will be dependent upon each building, the targeted architectural features, and how the exterior will allow for the concealment of the equipment.
  - Exterior mounted sconces or pendant lighting.
  - Except for decorative lighting, most of the building-mounted light fixtures shall be full cutoff and/or constructed so that no light rays are emitted by the installed fixture at angles above the horizontal plane.
  - Decorative lighting shall be permitted, provided that most of the light is cast against the building surface.

**22.2** Types of lighting not permitted include: industrial wall pack lights, animated, flashing, or "rope" lighting; and unshielded lights, lamps, or floodlights that produce glare and light trespass. Additionally, lights that flash, move, revolve, blink, flicker, vary in intensity, change color, or use intermittent electrical pulsation, except holiday lighting, are not permitted.

For Additional Best Practices and Resources, see page 135 in the Appendix of this document

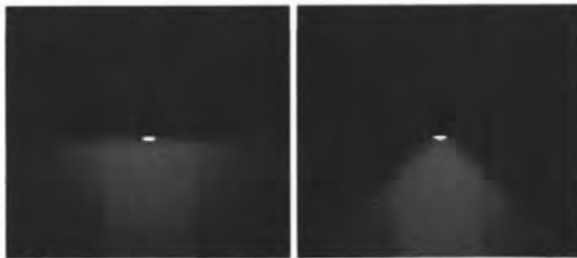
DESIGN GUIDELINES



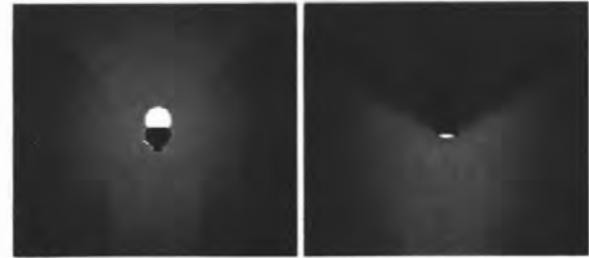
✓ **Figure 82.** Acceptable example of exterior building lighting



✓ **Figure 84.** Acceptable example of exterior building lighting



✓ **Figure 83.** Acceptable examples of exterior lighting that do not emit light rays above the horizontal plane



✗ **Figure 85.** Unacceptable examples of exterior lighting that emit light rays above the horizontal plane



### ARTICULATION AT UPPER FLOORS

In addition to the visual rhythm created by the uniform widths of buildings in the SCOD, a visual continuity of the buildings is achieved through the expression of the bays and structural systems. The design of new construction should derive inspiration from the expression of bays on existing buildings in the SCOD so that the rhythmic characteristics pattern, predominant shape, and built form found along Milwaukee Avenue are maintained. Existing buildings in

the SCOD often also reveal a horizontal rhythm created by the repetition of various architectural elements, including a band of transoms or storefront lintels at the tops of storefronts, upper floor cornice lines, and the repetition of second-floor window sills and hoods. Wherever horizontal rhythms are found, new construction should reflect the horizontal rhythms expressed in the existing and character buildings along Milwaukee Avenue.

#### 23

#### ARTICULATION AT UPPER FLOOR FACADES AND ROOFLINES

##### 23.1

Building facades shall be articulated at a minimum of every 25 to 50 feet. Facade articulation may include, but is not limited to breaks in the vertical plane through setbacks and height changes, color or material changes, minor wall offsets, changes in the horizontal plane, and architectural features.

##### 23.2

For buildings three stories and above, provide clear differentiation between the base, middle, and top of buildings to define and add interest in the building's form from the street. Use this structure to promote continuity with the surrounding buildings, public realm, and open spaces at each level, with the highest degree of continuity at the base.

##### 23.3

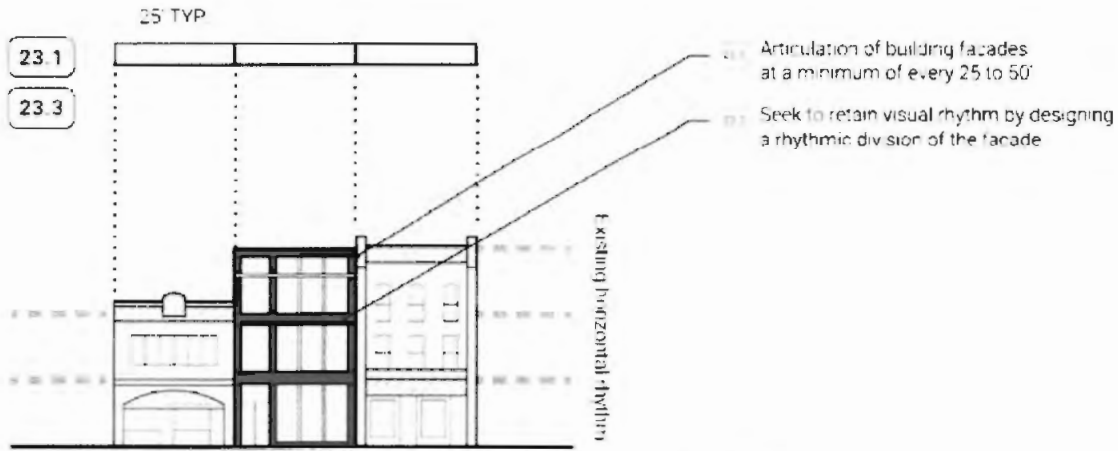
New construction should respect and seek to retain this visual rhythm by designing a rhythmic division of the facade (e.g., articulated piers, material changes, etc.) to repeat this existing dynamic created by the standard building and lot widths within the SCOD.

##### 23.4

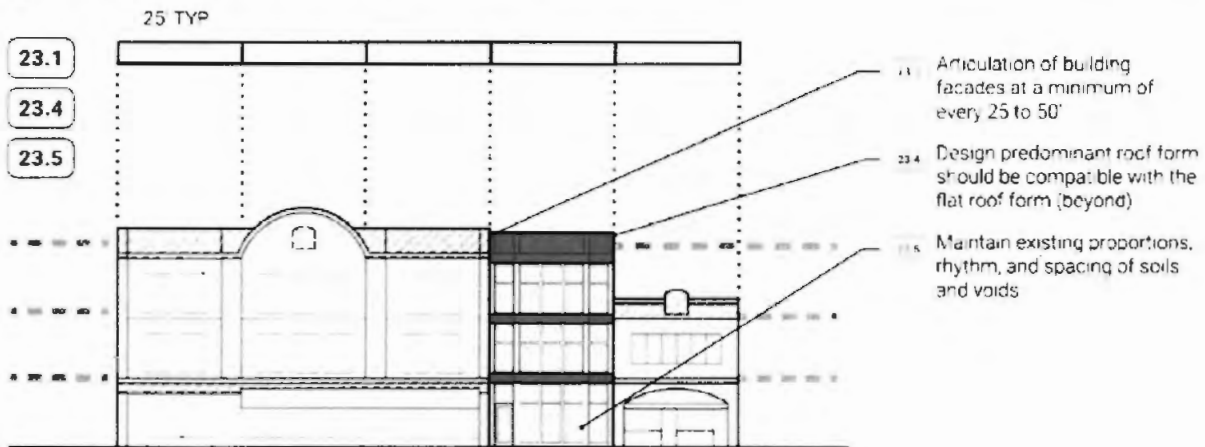
The majority of roofs in the SCOD are flat and hidden behind a parapet that often incorporates decorative features such as an intricate brick pattern or wood or pressed metal cornice. The design of the predominant roof forms for new construction should be compatible with and follow the flat roof form found on surrounding/ adjacent buildings within the SCOD.

##### 23.5

New construction should maintain the existing proportions, rhythm, and spacing of windows/solids and voids currently within the SCOD. This may be achieved through various design options, including the location of a window opening within each structural bay that encompasses the majority of the bay for masonry buildings, or through the mullion design of a glass curtain wall system that reflects the rhythm and spacing of windows found in the existing built environment of the SCOD.



✓ **Figure 86.** Acceptable example of facade articulation at upper floor facades



✓ **Figure 87.** Acceptable example of facade articulation at upper floor facades



✓ **Figure 88.** Acceptable example of facade articulation in new construction



✗ **Figure 89.** Unacceptable example of facade articulation in new construction



✓ **Figure 90.** Acceptable example of facade articulation in new construction

DESIGN GUIDELINES

Additionally, a key component of articulation at upper floor facades is the use, proportions, rhythm, and spacing of windows. Windows fixed or double hung windows within masonry walls are typical for the upper floors, creating a visual, symmetrical rhythm of windows throughout the SCOD. The resultant solid-to-void relationship is characterized by the first floor having a majority of its surface as "void" or window, and the upper floors having a majority of its surface as "solid" punctuated by repeated "voids" or windows.



✓ **Figure 91.** Acceptable example of upper floor articulation which maintains the rhythm of solids and voids in the district



✗ **Figure 92.** Unacceptable example of upper floor windows



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# 3



**Figure 93.** Bird's eye view of the Milwaukee Avenue SCOD at N Milwaukee Ave and W Fullerton Ave (Scott Shigley)

# FOCUS AREA VISIONING



# FOCUS AREA OVERVIEW

FOCUS AREA OVERVIEW




After the third community meeting, conceptual case studies were developed for the three identified focus areas along the Milwaukee Avenue SCOD Boundary, described in greater detail below.

The purpose of each focus area is to develop specific conceptual case studies that work in tandem with the overarching design guidelines for the SCOD to address key community intersections, transit-oriented development (TOD) hubs, opportunity sites, and high-density areas of remaining character buildings. To graphically illustrate proposed design guidelines, each conceptual case study includes site plan



enlargements, an aerial view, one to two bird's-eye views, sections or elevations, renderings, and conceptual massing diagrams or studies.

The design scenarios depicted in the massing diagrams for each case study are not proposed developments, but only an example of one of a variety of ways how the design of a development may meet the above described key principles and design guidelines of the SCOD discussed on pages 20-47, respectively. The following sections provide a brief overview of the location and existing conditions of each focus area, as well as a short description on the selected case study site.




## TALMAN TO CAMPBELL

-  23 NON-CHARACTER BUILDINGS
-  12 CHARACTER BUILDINGS
-  1 LANDMARK

## SACRAMENTO TO CALIFORNIA

-  18 NON-CHARACTER BUILDINGS
-  40 CHARACTER BUILDINGS
- 

## RIDGEWAY TO KIMBALL

-  31 NON-CHARACTER BUILDINGS
-  46 CHARACTER BUILDINGS
- 

*Ground-floor vacancy refers to commercial zoned storefronts without a tenant at the time of the Corridor Survey (February 2023)*



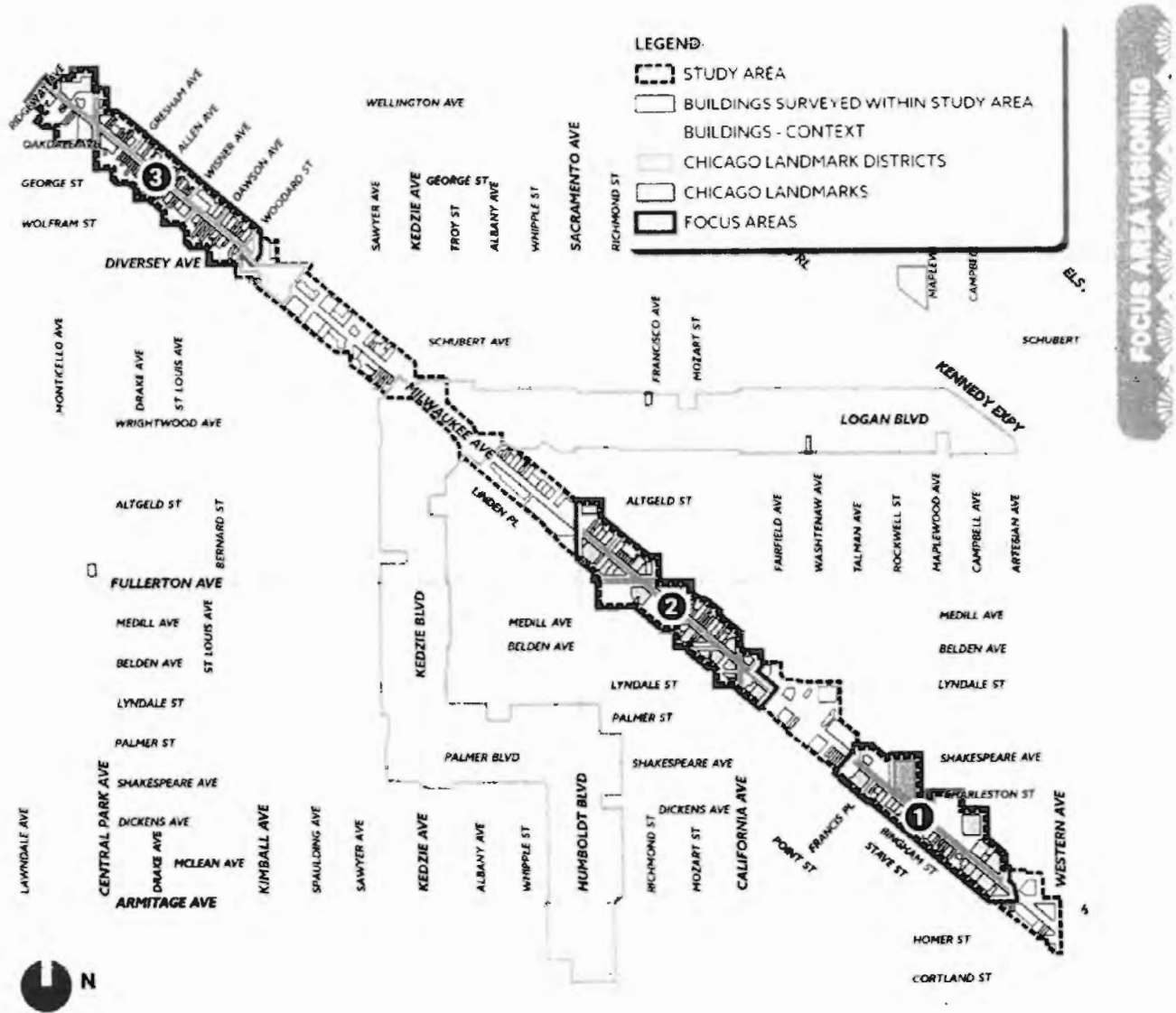
Figure 94. Focus area 1 bird's-eye view (Scott Shigley)



Figure 95. Focus area 2 bird's-eye view (Scott Shigley)



Figure 96. Focus area 3 bird's-eye view (Scott Shigley)



# FOCUS AREA 1: TALMAN TO CAMPBELL

FOCUS AREA VISIONING

Located near the far southern end of the SCOD is focus area 1, which spans from Campbell Avenue to Talman Avenue. This focus area is centered around the ongoing redevelopment of the landmarked Congress Theater, which is undergoing an \$88 million redevelopment that includes a full rehabilitation of the venue with retail and restaurant space, as well as a new residential development on the open lot at Rockwell Street and Milwaukee Avenue. New developments, such as the John Pennycuff Memorial Apartments, and several locally owned, smaller businesses, including Village Discount and Pilot Brewing, also help to anchor the focus area.

Despite the new and ongoing development, the focus area is also defined by a predominance of non-character buildings, which encompass approximately 65% of the focus area, including Farmers Produce and CVS Pharmacy sites which sit empty. These sites also contribute to a significant percentage of the vacant

storefronts in the focus area, approximately 31%, which could benefit from rehabilitation/reuse recommendations. This area also has the highest number of parking lots that serve as potential development sites.

Sites 3 and 4 on Figure 98 also known as the former CVS site, were selected as the case study for focus area 1. The site is composed of four lots, and if consolidated, would create a large site with significant frontage along Milwaukee Avenue. A portion of the site also spans one block along Maplewood Avenue and is immediately adjacent to the lower scale residential neighborhood. The site has never been developed to its full potential, as historically it was an open-air market and then most recently a CVS, with more surface parking occupying the site than the building itself. Eventually, if this site is redeveloped, it will have a significant impact on the Milwaukee Avenue streetscape and built environment, making it an ideal case study for focus area 1.

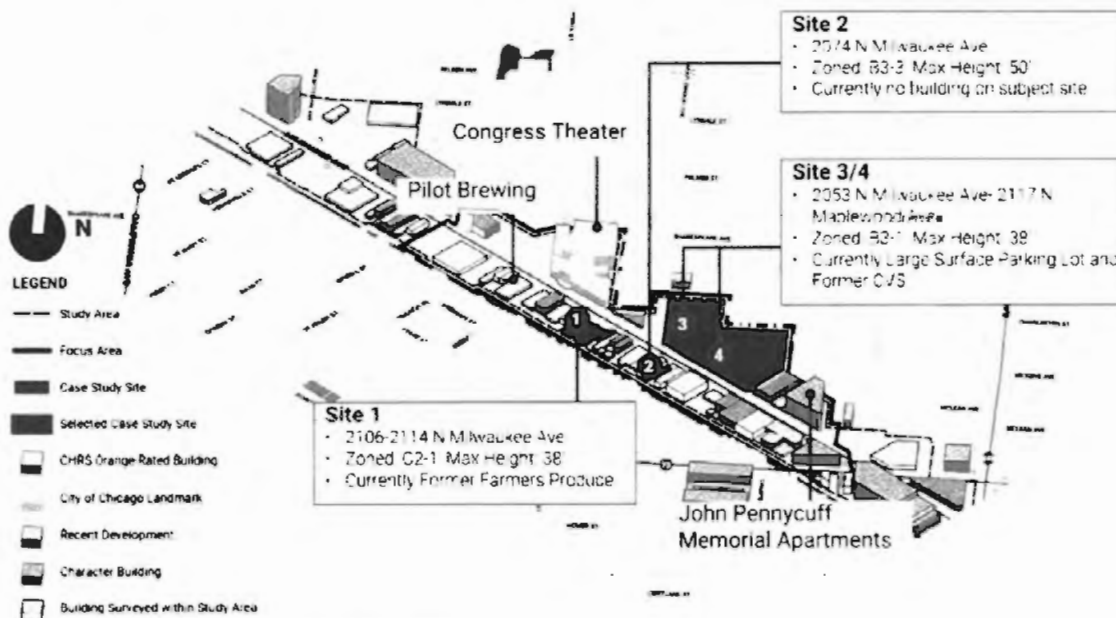


Figure 98. Focus area 1 existing conditions

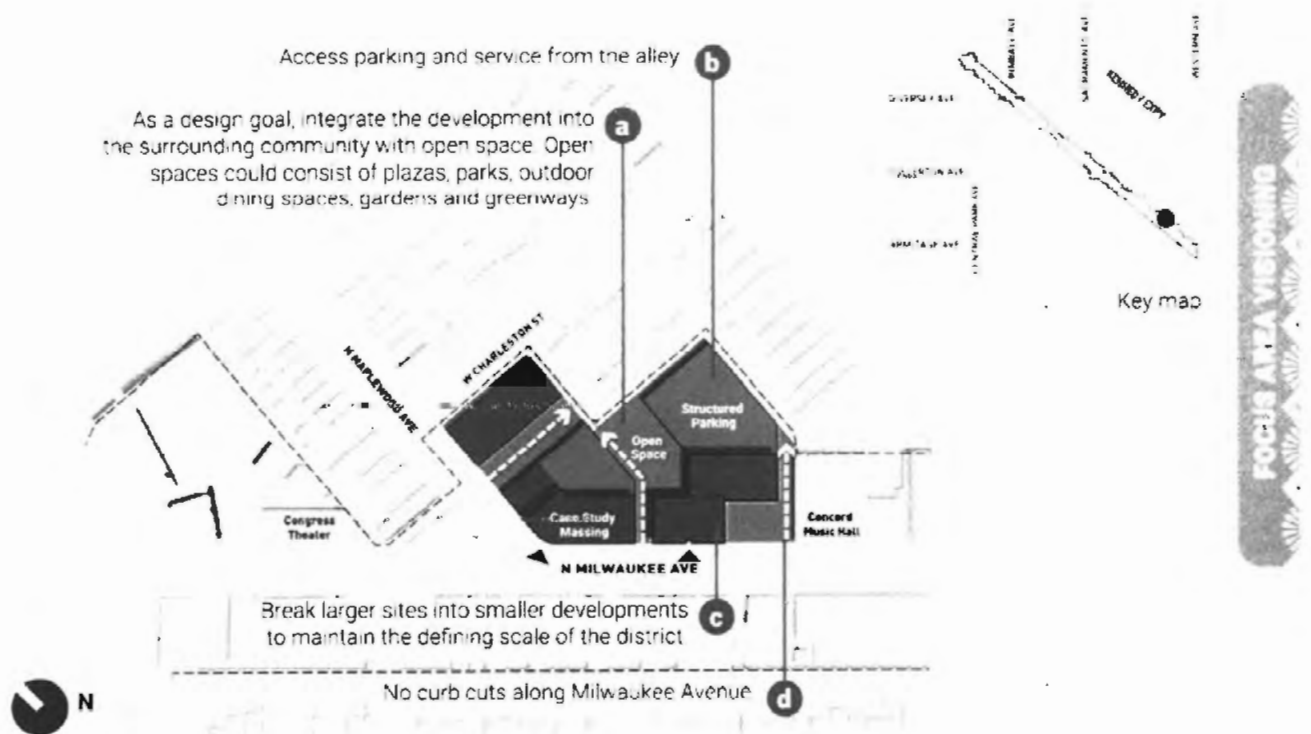


Figure 99. Selected case study plan sites 3 (left) and 4 (right)

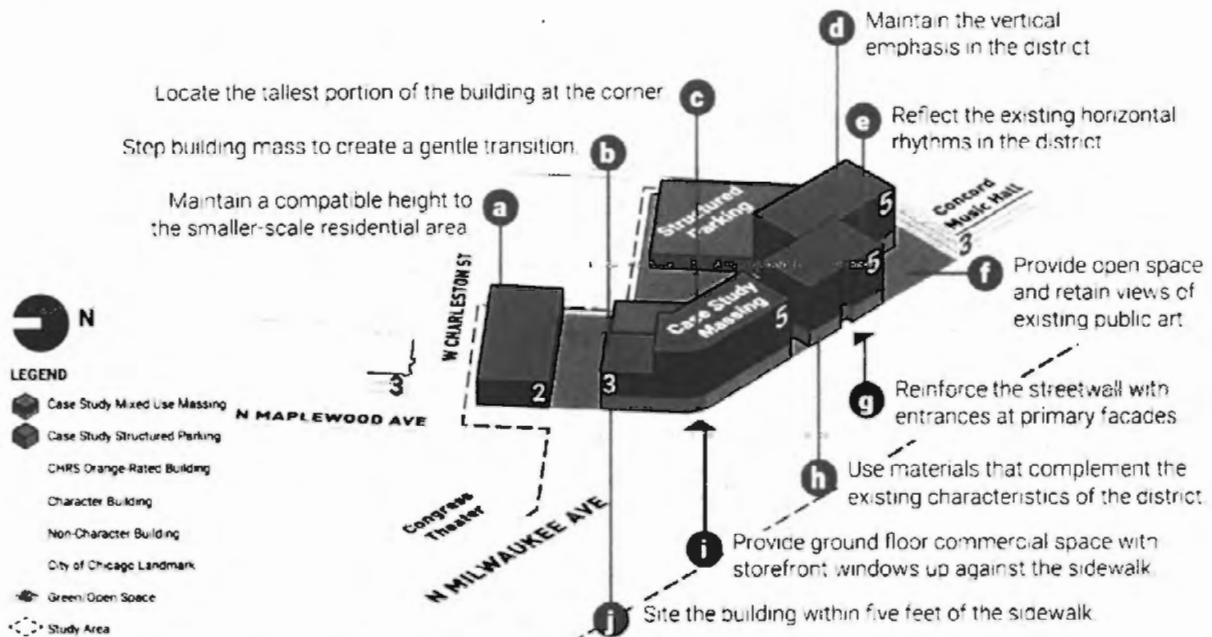


Figure 100. Selected case study axon sites 3 (left) and 4 (right)

# FOCUS AREA 2: SACRAMENTO TO CALIFORNIA

FOCUS AREA 2: SACRAMENTO TO CALIFORNIA

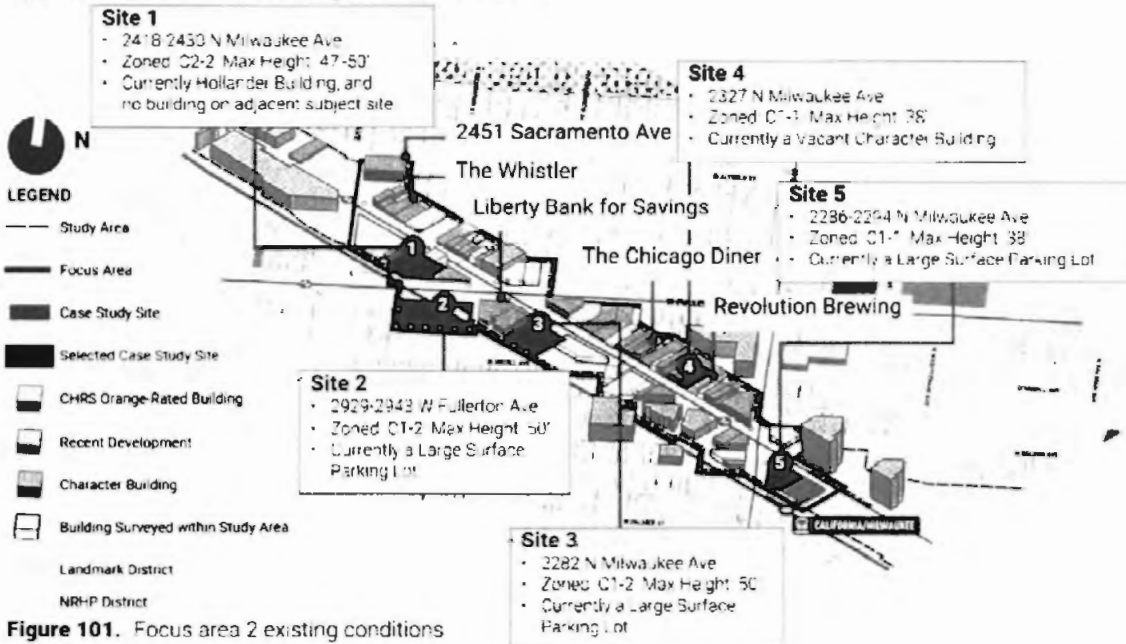
Focus area 2 extends from California Avenue to Sacramento Avenue to encompass the key intersections of California and Milwaukee avenues and Milwaukee and Sacramento avenues, which have seen an influx of development interest over recent years due to their proximity to the California and Logan Square Blue Line stations, respectively.

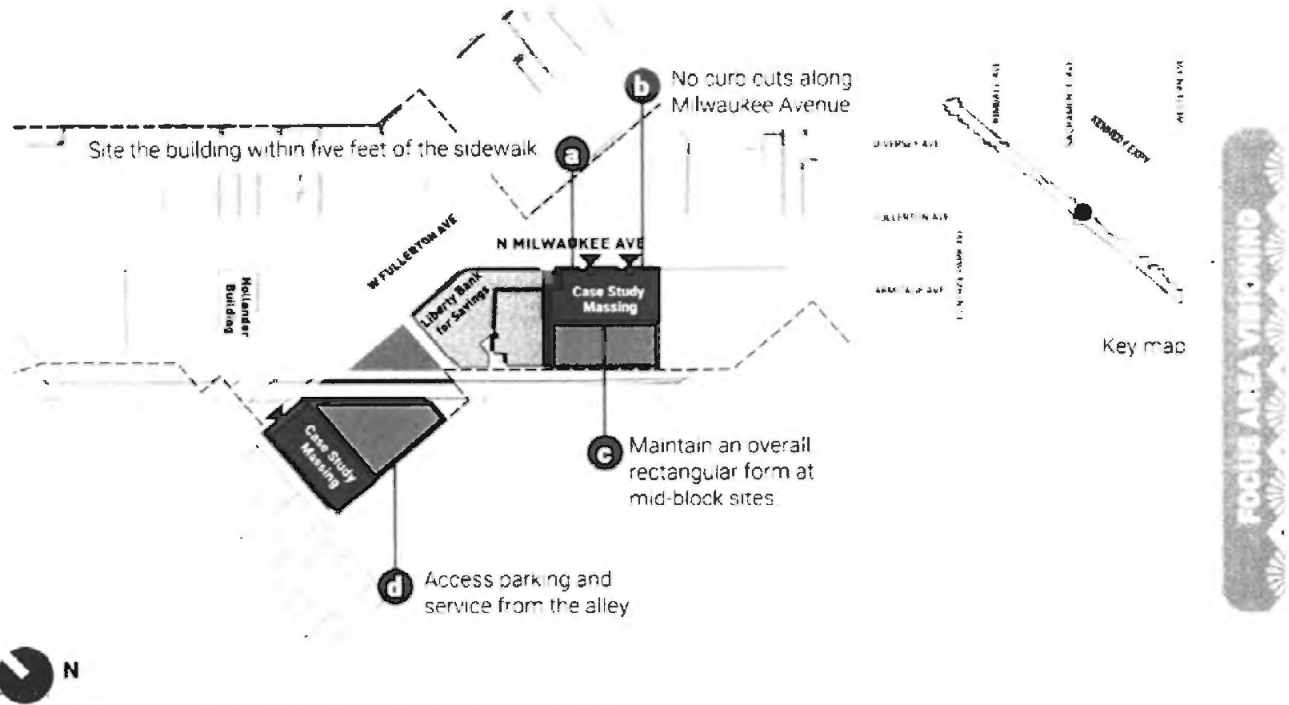
This focus area also retains one of the highest density of character buildings at nearly 70%, and nearly every building has a ground floor retail storefront for a total of 76 retail storefronts, with an approximately 13% vacancy rate. Although redevelopment of vacant sites, alongside the consistent use and rehabilitation of character buildings, has benefited the focus area, it still has ample underutilized surface parking lots ideal for redevelopment. These parking sites require careful planning and foresight to ensure maximum residential density while also ensuring complimentary design of the existing character within the corridor. These sites also provide an opportunity to take advantage of the corridor's

Transit-Served Location (TSL) designation and to increase affordable residential opportunities in the neighborhood.

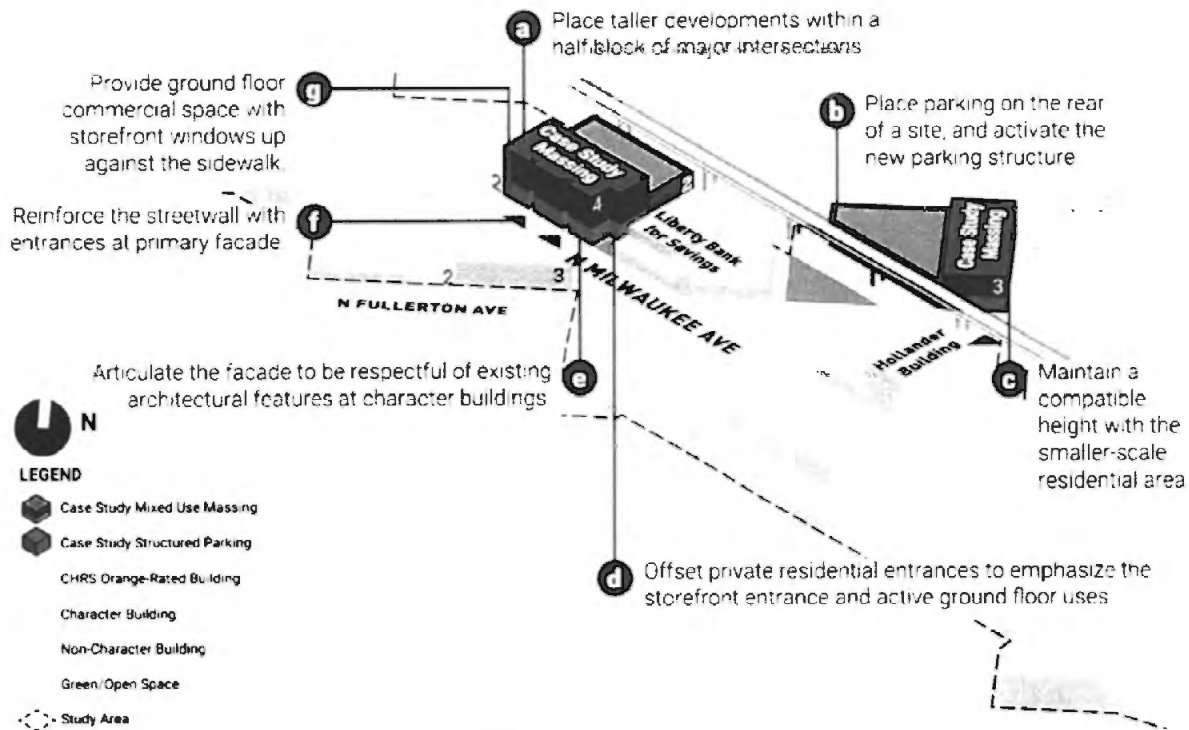
The entirety of focus area 2 is also located within an existing P Street designation, which spans from Central Park Avenue to Rockwell Street/ Francis Place, and is representative of Chicago's best examples of pedestrian-oriented shopping districts.

For focus area 2, sites 2 and 3 were selected from Figure 101 and were selected as the case study. Site 2 represents a complex site, composed of a uniquely shaped lot and located against the 'L' tracks. Site 3 was then selected as an example of a larger mid-block site located within a half block of a major intersection where a slight increase in height and density is encouraged. Together, both sites illustrate the opportunity to utilize key design principles applicable to sites throughout the SCOD, making them a practical case study for focus area 2.





**Figure 102.** Selected case study plan: sites 2 (left) and 3 (right)



**Figure 103.** Selected case study axon: sites 2 (right) and 3 (left)

# FOCUS AREA 3: RIDGEWAY TO KIMBALL

FOCUS AREA 3: RIDGEWAY TO KIMBALL

At the northern end of the SCOD boundary is focus area 3, which extends north of Kimball Avenue to Ridgeway Avenue to include the prominent intersection of Central Park and Milwaukee Avenues. The focus area is characterized by several new low-density developments at 2858, 2860, 2931, 2932, and 2945 Milwaukee Ave., plus a high density of mixed-use character buildings, some of which have been recently rehabilitated, such as 2934 N Milwaukee Ave. (which currently houses the 35th Ward Office) and 2875 N Milwaukee Ave. (Monarch Thrift Shop).

Despite this reinvestment, the focus area has a high storefront vacancy rate of nearly 40% of the 93 individual storefronts. Several storefronts also appear to have been converted to ground floor residential use within the B2 zoning district, as residences are only allowed between Kimball Avenue and Central Park Avenue within the SCOD. Despite these vacancies and an interruption in the Milwaukee Avenue streetwall by the strip mall at the intersection of Wisner

and Milwaukee Avenues, focus area 3 is located within an existing Pedestrian Streets designation and illustrates a well-intact pedestrian-oriented shopping district.

The case study for focus area 3 focuses on sites 1, 5, and 6, which were chosen for several distinct features, including their proximity to the Milwaukee-Kimball-Diversey Landmark District and their ability to serve as a transition from the landmark district, as well as their location near a major intersection where an increase in height and density is encouraged.

Specifically for sites 1 and 5, both case studies include character buildings and the potential for constructing sensitively-designed additions, while preserving their character-defining architectural features and increasing their height and/or density. Site 6 was specifically selected as it presents a unique challenge due to its location surrounded by buildings, without access to an alley, with primary facades on both Milwaukee and Diversey avenues.

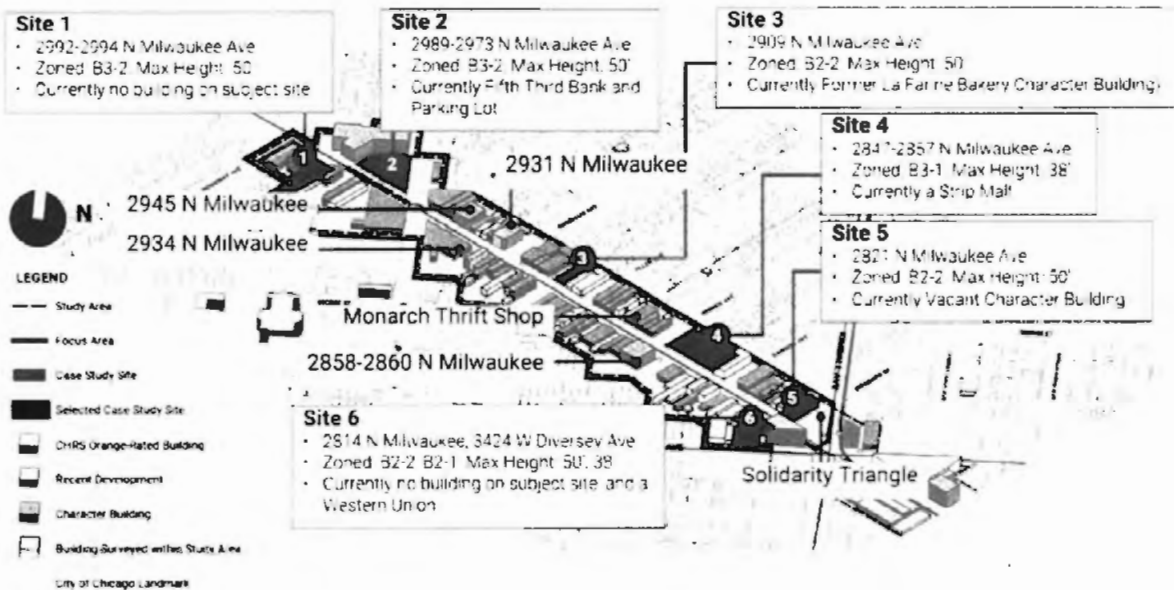


Figure 104. Focus area 3 existing conditions

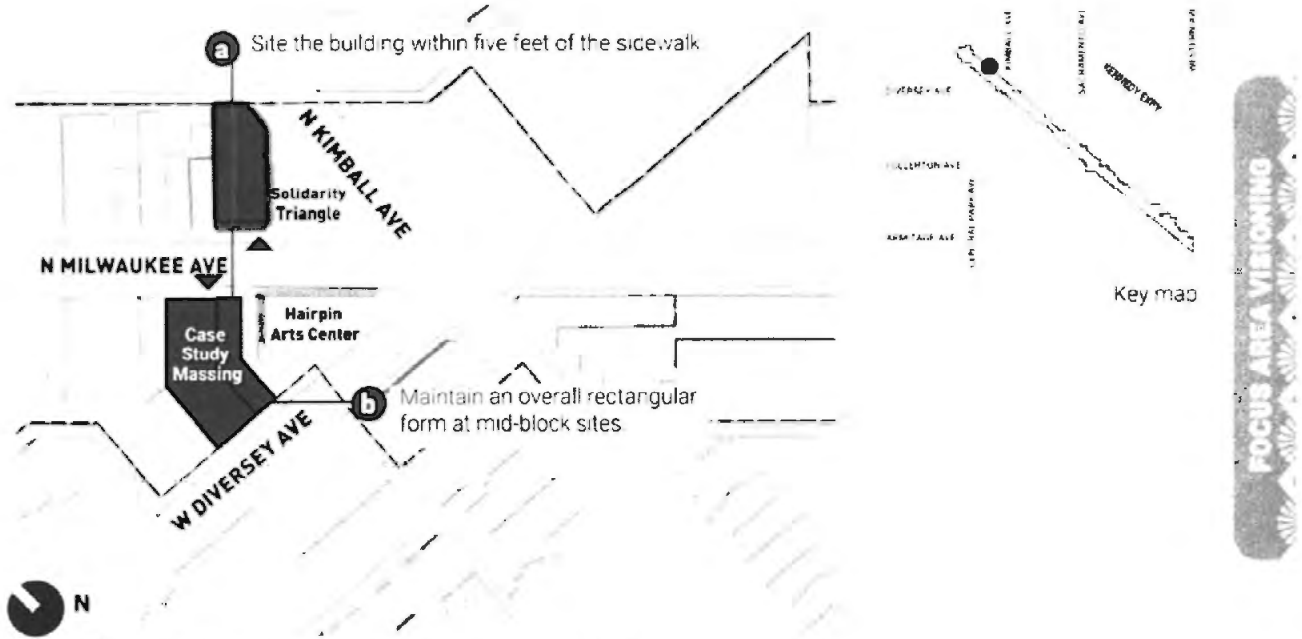


Figure 105. Selected case study plan sites 6 (bottom) and 5 (top)

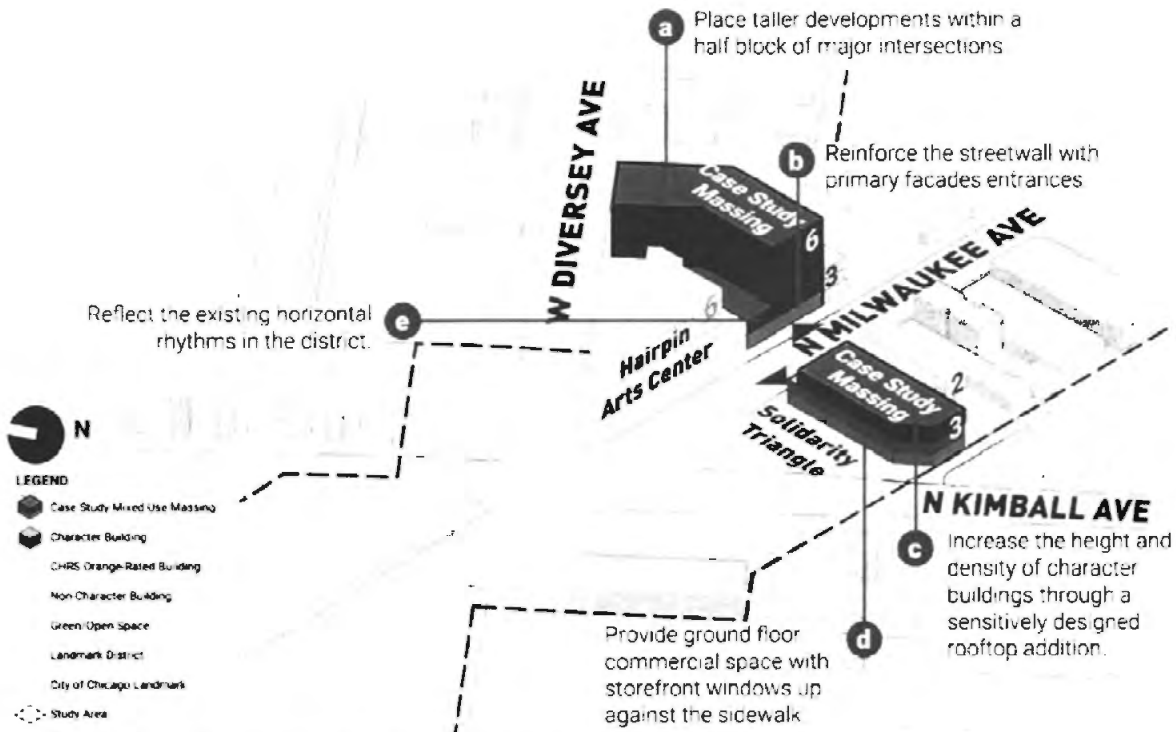


Figure 106. Selected case study axon sites 6 (top) and 5 (bottom)

FOCUS AREA VISIONING

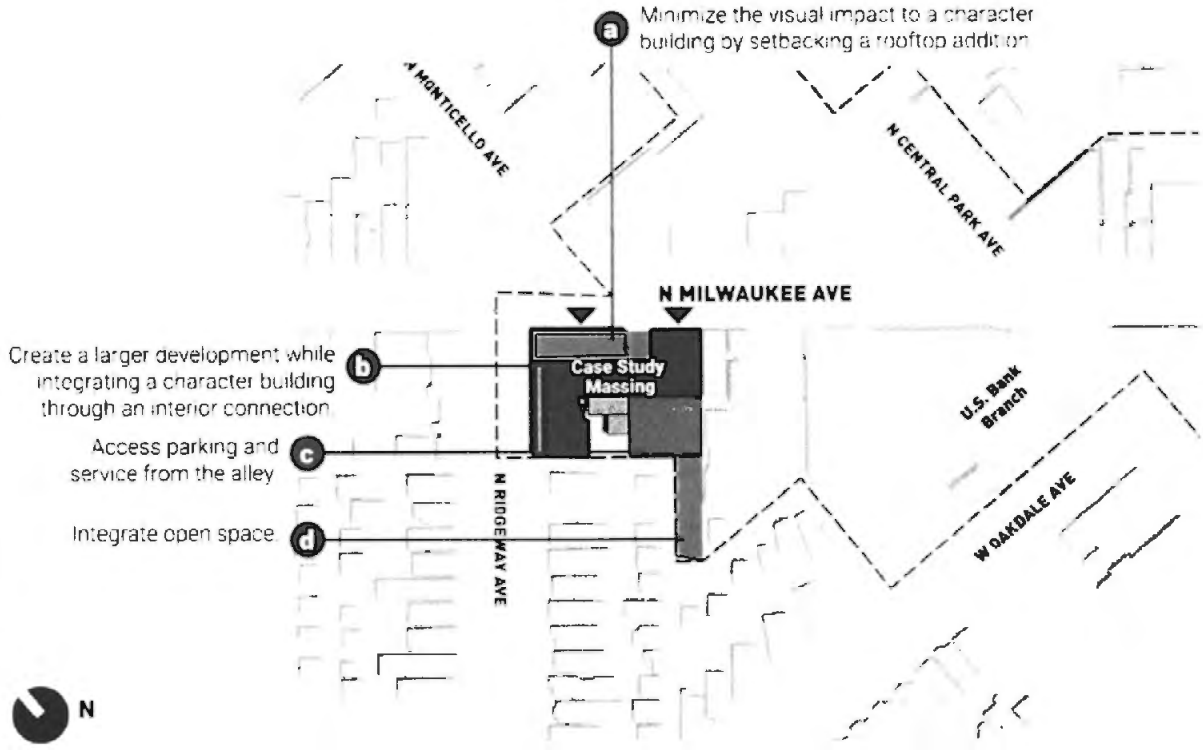


Figure 107. Selected case study plan, site 1

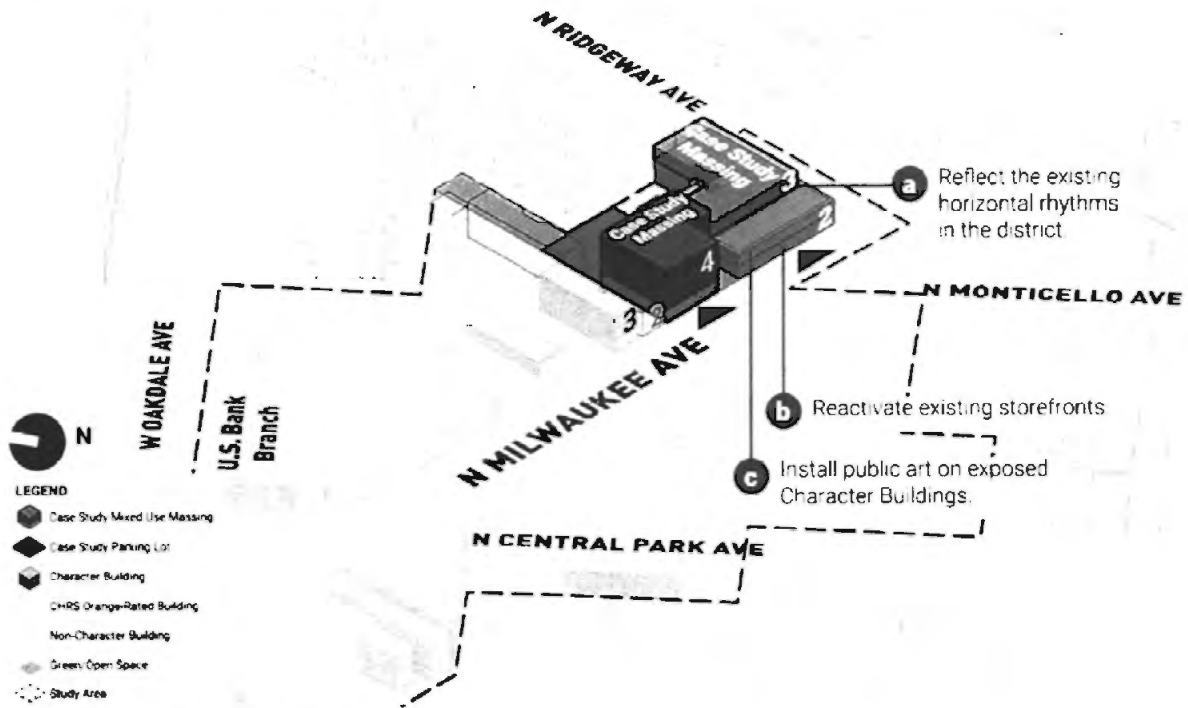


Figure 108. Selected case study axon, site 1

# 4

# APPENDIX



**Figure 109.** Character building in the Milwaukee Avenue SCOD (Scott Shigley)

# GLOSSARY

## Articulation

The intentional variation, rhythm, and modulation of architectural elements on a structure's facade. It involves creating visual interest and avoiding monotony by incorporating features like setbacks, projections, and changes in materials or textures. This enhances the aesthetic appeal and contributes to a well-balanced and visually engaging architectural design.

## Character Building

Character buildings date from the historic development of the community and have architectural features, craftsmanship, decorative details, rooflines and roof features, projections (e.g., bay windows), setting or streetscape features, or materials that are unique to the study area.

## Facade

The face of a building, especially the primary front that looks onto a street or open space.

## Facade, Primary

The plane of the exterior wall that is oriented to the public way (e.g., street) that has been given special architectural treatment.

Redevelopment is the construction of new buildings in an urban area, typically after demolishing the existing buildings. Redevelopment may also mean the action or process of developing an existing building into a new use, different from its original use.

## Historic Building

Historic is used in its standard definition as known or established in the past. When discussing buildings, a common threshold for "historic" is approximately 50 years of age.

## Infill Development

The development of vacant or underutilized lots within existing urban areas that are already largely developed.

## Massing

When referred to in an architectural sense, massing refers to the perception of the general shape and form as well as the size of a building.

### **Planned Development**

The Planned Development (PD) zoning designation is required for certain projects to ensure adequate public review, encourage unified planning and development, promote economically beneficial development patterns that are compatible with the character of existing neighborhoods, allow design flexibility, and encourage the protection and conservation of the city's natural resources. Planned developments may include one or more principal buildings, lots, and principal uses intended to be built over a period of time. The designation is required for numerous types of projects, including those that involve: air rights; airports and heliports; buildings that exceed the height thresholds of certain districts; expansion of existing planned developments; development within one hundred feet of a waterway; non-accessory parking in "D" zoning districts; institutional and campus-oriented projects, large residential, commercial, and industrial developments; power plants, water plants and wastewater plants; and spectator facilities with a seating capacity of 1,000 or more persons.

See Chapter 17-8 of the Chicago Zoning Ordinance for rules governing planned developments.

### **Rehabilitation / Renovation**

Rehabilitation/Renovation is defined as the process of reusing a historic or existing building for its original use or adaptively reusing the a building for a new compatible use. Either process acknowledges the need to repair, make alterations, and/or construct additions while preserving the character-defining architectural features of the property.

### **Replacement In Kind**

Replacing material "in kind" means to match the extant or removed material in type or species, style, dimension, texture, and detailing.

### **Streetwall**

A streetwall is created by a continuous line of buildings flanking a street.

### **Study Area**

The study area is the area within a set of geographic boundaries created to define the extent of analysis. For the Milwaukee Avenue SCOD, the study area is defined as Milwaukee Avenue from Western Avenue on the south to Ridgeway Avenue on the north.

### **Transit-Served Location (TSL)**

A TSL is defined as located within 2,640 feet of a CTA or METRA rail station entrance or exit or within 1,320 feet of a CTA bus line corridor roadway segment listed in Table 17-17-0400-B. Prescribed distances are subject to change as the ordinance is amended over time.

# SUMMARY OF EXISTING CONDITIONS ANALYSIS

APPENDIX

The following section provides a summary of the data collected during the fieldwork and research phase for the SCOD, which provided the basis for the creation of this document, alongside the feedback and input received during the community engagement process.

## SUMMARY OF PREVIOUS EFFORTS AND PLANNING DOCUMENTS

The project team reviewed several ongoing planning efforts and previous studies in and around the study area. The design guidelines proposed for the Milwaukee Avenue Corridor SCOD will highlight the previous recommendations that align with this effort and re-evaluate those that have been affected by new developments, zoning changes, and new ordinances, and have been implemented since their creation. These documents are illustrated along a timeline in Figure 110 with their plan name, date, team, focus, and study area.

Other documents and imagery referenced by the project team - not illustrated in the timeline - included historical images of the Milwaukee Corridor provided by Logan Square Preservation (LSP), Logan Square Boulevards and Milwaukee-Diversey-Kimball Landmark Districts, The Chicago Neighborhood Initiative: Revitalizing Our Marketplace, Addressing Parking Challenges: Innovative Parking Solutions for a Vibrant Community, Here to Stay Community Land Trust, and the Milwaukee Avenue Polish Heritage Corridor.

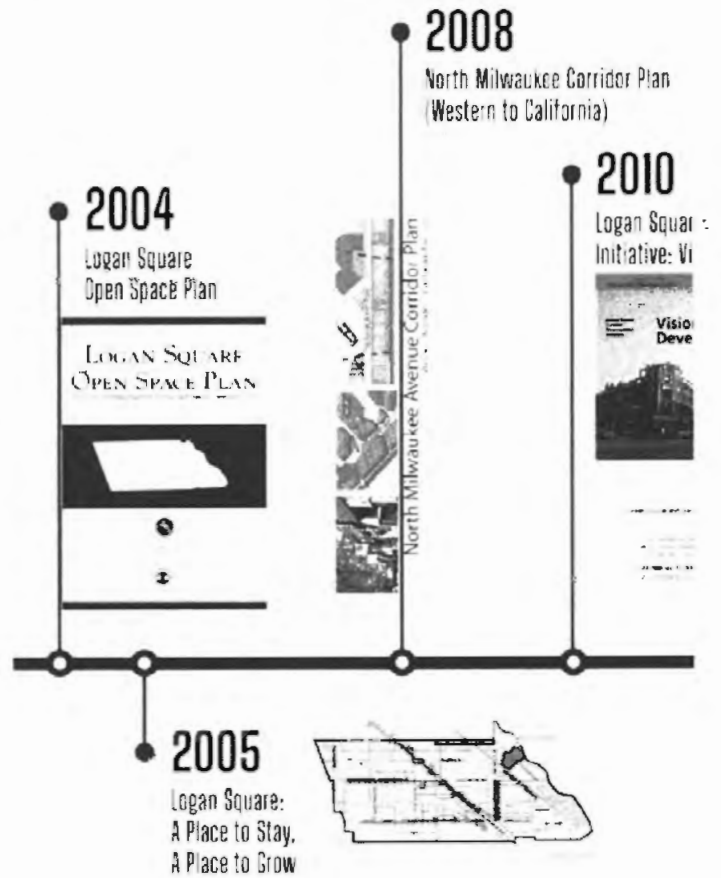
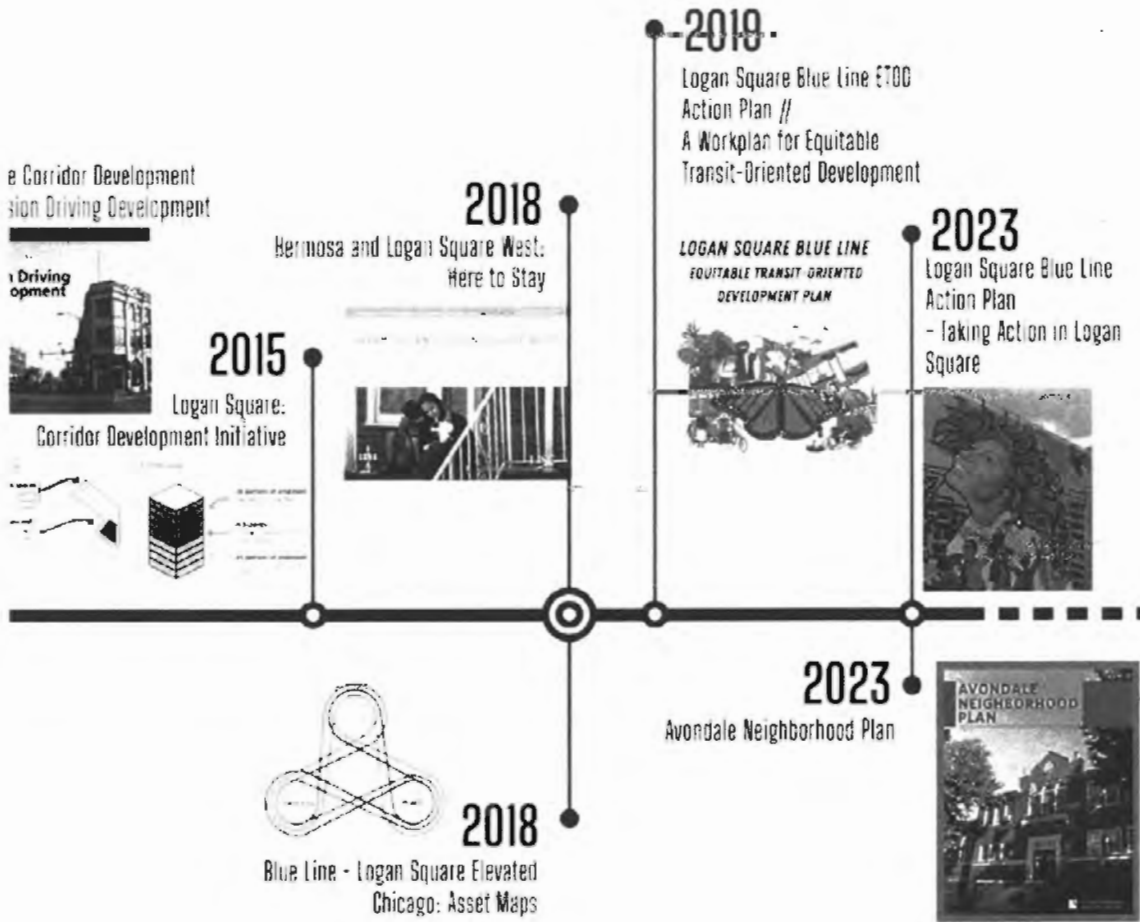


Figure 110. Timeline graphic of previous efforts & planning documents

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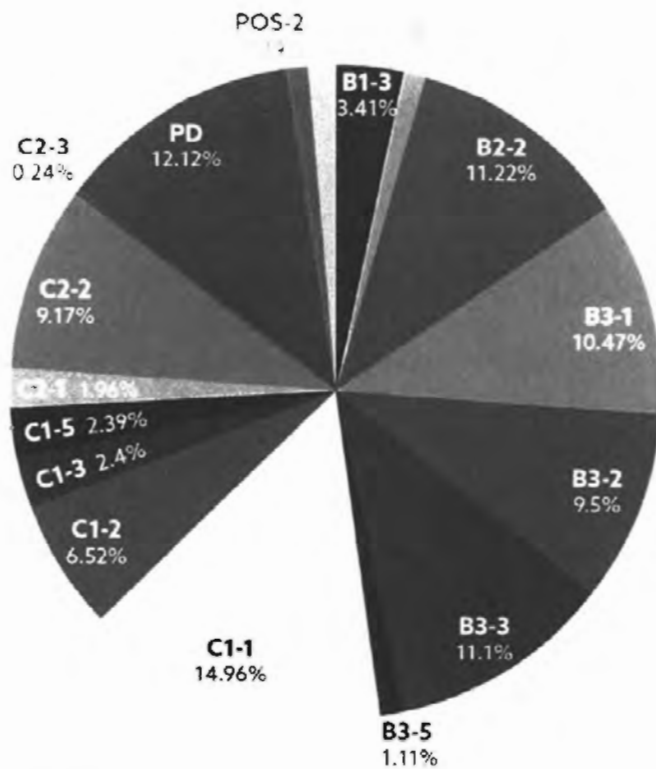




### ZONING OVERVIEW

Milwaukee Avenue is widely known as the main commercial corridor for many Northwest Side neighborhoods, in part due to the prevalence of Business (B) and Commercial (C) zoning along the corridor. Additionally, intersecting and within the study area, avenues like Fullerton, Armitage, California (south of Milwaukee), Kedzie (north of Milwaukee), and Western also contribute to

the commercial portfolio of Logan Square and Avondale. There are no known ground-floor residential uses within the SCOD boundary, and specifically, ground-floor residential is prohibited on Milwaukee Avenue between Western and Kimball Avenues. Many new and existing buildings within the SCOD have dedicated the upper floor to residential units.



Based on the existing zoning map the predominant zoning types<sup>8</sup> in the SCOD are as follows:

- 32.18% - B3: Community Shopping District
- 26.27% - C1: Neighborhood Commercial District
- 12.31% - B2: Neighborhood Mixed-Use District
- 12.12% - PD: Planned Development

Figure 111. Zoning type percentages along the corridor

<sup>8</sup> A definition of each zoning type can be found at [www.cityofchicago.org/development](#)

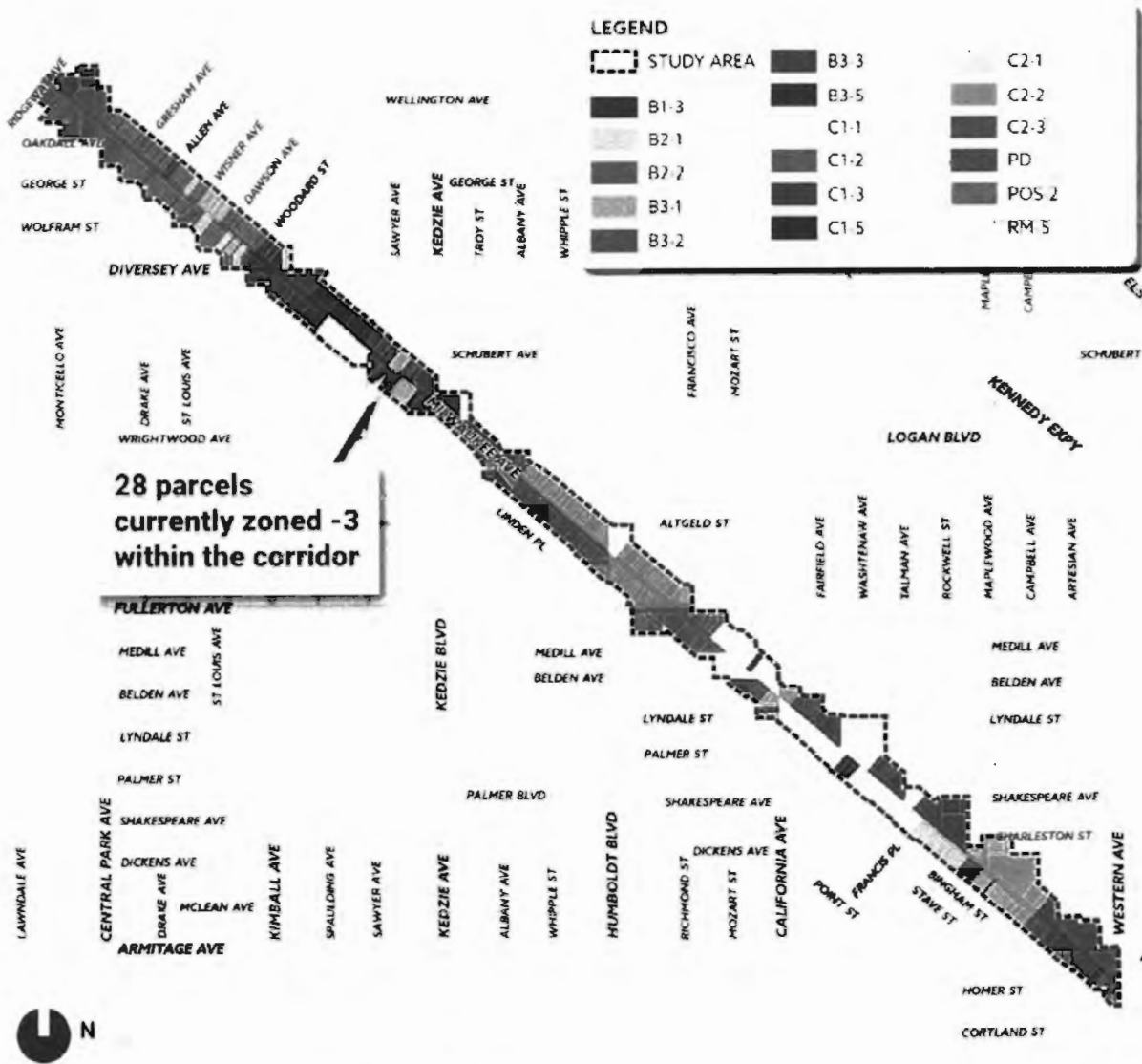


Figure 112. Zoning along the Milwaukee Avenue SCOD



## SUMMARY OF MARKET FINDINGS

### Demographics

The total population in the study area experienced slight growth over the last 20 years (+2%). During that time, race and ethnicity trends have shifted, with a significant decrease in Hispanic or Latino residents and an increase of White (non-Hispanic) residents. One- and two-person households have become more common, with fewer three- and four-person households, as well as fewer family households. The median household income of residents continues to rise. Households with the highest median income are in the southern half of the corridor and are lowest at the northern end of the corridor, though the median income throughout the corridor is higher than the city's median household income.

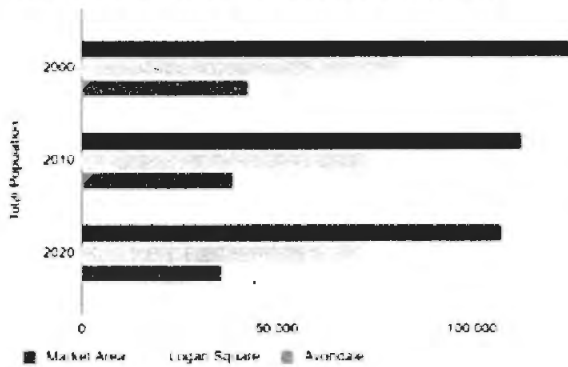


Figure 113. Population in Market Area, Logan Square and Avondale

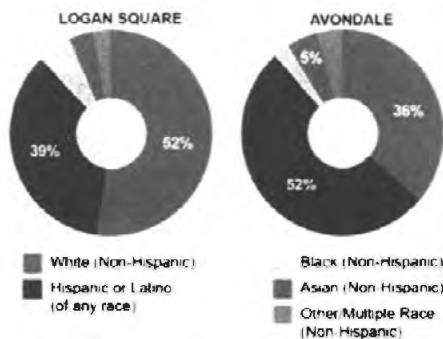


Figure 114. Race & ethnicity in Logan Square and Avondale (2020 Race & Ethnicity in Logan Square & Avondale, 2010-2020 American Community Survey five-year estimates)

### Employment

An estimated 880 net jobs have been added in the study area between 2002 and 2020 for a total of 2,339 jobs in 2020. Most of the jobs added between the years are in the food service industry, which grew to be the leading employment industry in 2010. In 2020, food industry jobs accounted for 25% of all jobs in the study area. Other leading industries include retail trade and professional services. 75% of employees working in the study area commute less than 10 miles to get to work, with 13% living in the 60647 ZIP code (Logan Square) and many others commuting from nearby Belmont Cragin, Irving Park, Portage Park, and Humboldt Park

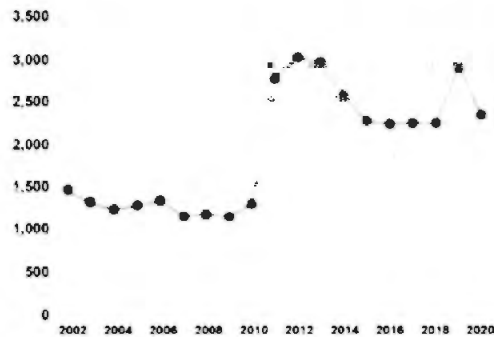


Figure 115. Total Jobs in Study Area, 2002-2020 (US Census Department of Commerce, Center for Economic Studies, OnTheMap 2002-2020)

### 37% Accommodation & Food Services

A survey of businesses in the Study Area counted 35 eating or drinking establishments

### 12% Retail Trade

A survey of businesses in the Study Area counted 71 retail storefronts.

### 12% Manufacturing

### 9% Professional & Technical Services

### 9% Health Care & Social Assistance

Figure 116: Jobs in study area

### Residential Market Analysis

Since 2000, more than 1,000 new units have been delivered within the study area. The growth of residential density along Milwaukee Avenue in Logan Square and Avondale can be attributed to a combination of factors, including proximity to the Central Business District and access to public transit, allowing for quick commutes to jobs downtown and access to other neighborhoods. Ample amenities related to arts, culture, eating and drinking places, entertainment, and shopping have made the study area a destination for new residents and visitors. New residential developments also provide updated units and tenant amenities that continually attract new residents.

Vacancy rates in the study area increased significantly in the years that new, large-scale residential developments were delivered, as they took time to fully lease up. As of July 2023, multifamily residential vacancy rates are 4.9%, indicating a strong residential market in the study area.

Growing demand for residential space in Logan Square and Avondale, particularly along Milwaukee Avenue, has put pressure on existing residents and lower-income households. Per CoStar, average asking rents have increased in the study area by 30% since 2000 to \$2,238 per month, significantly higher than the City's average asking rent of \$1,755. While efforts have been made to bring more designated affordable housing units to new developments, rising demand has impacted housing affordability in Logan Square and Avondale. Per the DePaul Institute for Housing Studies 2023 State of Rental Housing Report, Logan Square and Avondale topped the list for the biggest loss of affordable housing of Cook County "submarkets" between 2019 and 2021.

### Outlook

Milwaukee Avenue in Logan Square and Avondale is going to continue to experience development pressure for denser rental multifamily residential developments. Developers are likely to seek large available sites that are close to transit and are able to accommodate height and density that allows projects to be financially feasible. Greater height and density also allow developers to meet their affordable housing obligations on-site and take advantage of City incentives. Affordable housing is more likely to be developed with other incentives, such as low land acquisition costs.

Focus area 1: The redevelopment of the Congress Theater is likely to be a catalyst project that will bring developer interest to the portion of the corridor near Western Avenue on large available vacant sites.

Focus area 2: Developments in the middle of the study area are more likely to be renovations of current buildings, or new construction on the site of demolished buildings. Buildings will seek height and density and high asking rents.

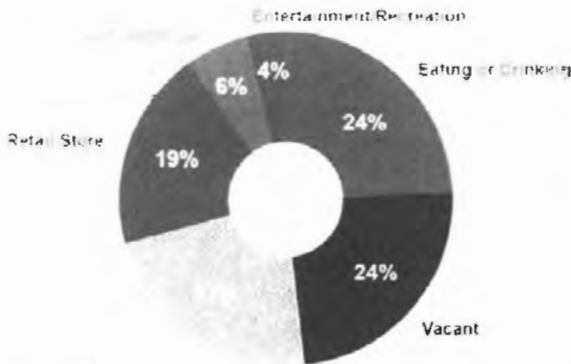
Focus area 3: New residential development in the Avondale stretch of the study area will likely be renovations of current buildings or new construction on demolished building sites. New buildings are likely to be smaller in scale (height) and will achieve lower rents than elsewhere in the study area. Development pressure is lowest in this section and will take time for the residential demand to catch up.

**Commercial Market Analysis**

Per CoStar, there is nearly 1.8 million square feet of commercial space in the study area. Also, per CoStar, the retail vacancy rate in the study area was 12.2% in July 2023, significantly higher than the City’s 4.7% retail vacancy rate.

An extensive business inventory was conducted in February 2023, counting 367 total storefronts in the study area. At the time of the survey, 89 of the storefronts were vacant, or 24% of all storefronts. Vacancies were highest between Kimball and Central Park Avenues and lowest between California and Sacramento Avenues.

**Business Mix**



**Figure 117.** Business mix in study area, February 2023 (Goodman Williams Group)

**Commercial Market Summary and Outlook**

Commercial real estate trends have shifted significantly over the past fifteen years in the study area. The corridor historically has served as neighborhood retail for nearby residents, with mostly small, local tenants in older ground floor spaces. The addition of denser mixed-use buildings along the corridor has not only brought more residents into the immediate area, but provides new and updated ground-floor retail spaces, both of which are attractive

to high-credit regional and national tenants and boutique retailers, eateries, and bars. The addition of these types of retailers has transformed Milwaukee Avenue into more of a shopping, eating, drinking, and entertainment destination.

The growing commercial retail demand can be seen over time with the rise of average triple net (NNN) rents, from \$13 per square foot in 2006 to \$26 per square foot in 2023, with new construction commanding rents in the mid-\$40s NNN. High retail rents contribute to higher vacancy rates in portions of the corridor, as smaller local businesses cannot afford high rents in newer spaces. Older ground floor retail spaces also struggle with high vacancy. Although asking rents are lower in these spaces, they tend to require significant tenant improvements that landlords aren’t able or aren’t willing to provide. Landlords are often able to earn enough rent from residential units above to keep ground floor spaces vacant.

Like most areas, Milwaukee Avenue was affected by the COVID-19 pandemic. Temporary closures, capacity restrictions, and shifts in consumer behavior impacted the operations and finances of some businesses. Many businesses were able to adapt and find ways to thrive amid the challenges, though some portions of the study area were able to recover faster than others.

Commercial brokers and tenants see Logan Square and Avondale as somewhat different trade areas, and trends vary in these two portions of the study area. Avondale is considered a lower-cost market that attracts more local businesses able to pay lower rents. High-credit tenants are more attracted to Logan Square/Bucktown/Wicker Park and are able to pay the higher rents there.

### Outlook

Logan Square is a growing and strong commercial market that will continue to attract more national and regional tenants in new construction buildings. Types of tenants looking for space in the area include medical offices, personal services, and eating and drinking places. There will continue to be a high level of interest from small businesses and local retailers, but finding ready-to-rent spaces and securing financing will continue to be an obstacle. Filling vacancies in the area will require older buildings to make improvements for future tenants and market at achievable rents.

Recent commercial deals in the Logan Square portion of the corridor have all been eating and drinking places, further positioning the area as an eating and drinking destination. New businesses in 2023 have been a mix of higher-end restaurants and casual sit-down eateries, all of which are locally owned. This area is more likely to see new businesses filling vacant spaces and likely to continue to experience rising rents.

Commercial vacancies in the Avondale portion of the study area, which comprises focus area 3 from approximately Kimball to Ridgeway avenues, will remain to be an issue in the near term. With 40% of all storefronts vacant between Kimball Avenue and Central Park Avenue, there is much work to be done to attract new tenants, including tenant improvements to ground floor spaces, marketing, and branding. This area is more likely to attract local, neighborhood-serving commercial tenants, including personal service businesses and eating and drinking places, but will require landlords to make the necessary investments before any major shift in the market occurs.



Figure 118. 2741 N Milwaukee Avenue



Figure 119. 2171 N Milwaukee Avenue



Figure 120. 2959 N Milwaukee Avenue



### Recent and Planned Developments

Since 2007, there have been 16 completed and nine ongoing development projects within the study area. Of the 16 completed projects, six were built from 2007-2014 and 10 were built from 2015-2022. Overall, 956 residential units and 126,657 square feet of retail have been added since 2007.

Of the 956 residential units, 16.84% (161 units) are affordable. 27.20% (260 units) are studios, 39.64% (379 units) are one-bedrooms, 24.90% (238 units) are two-bedrooms, and 8.26% (79 units) are three-bedrooms.

Directly adjacent to the study area there are five recent developments. These include the Lucy Gonzalez Parsons Apartments (2020), NoCa Blu (2018), Motif on Belden (2023), The Western (2017), and MODE Logan Square Apartments (2017).

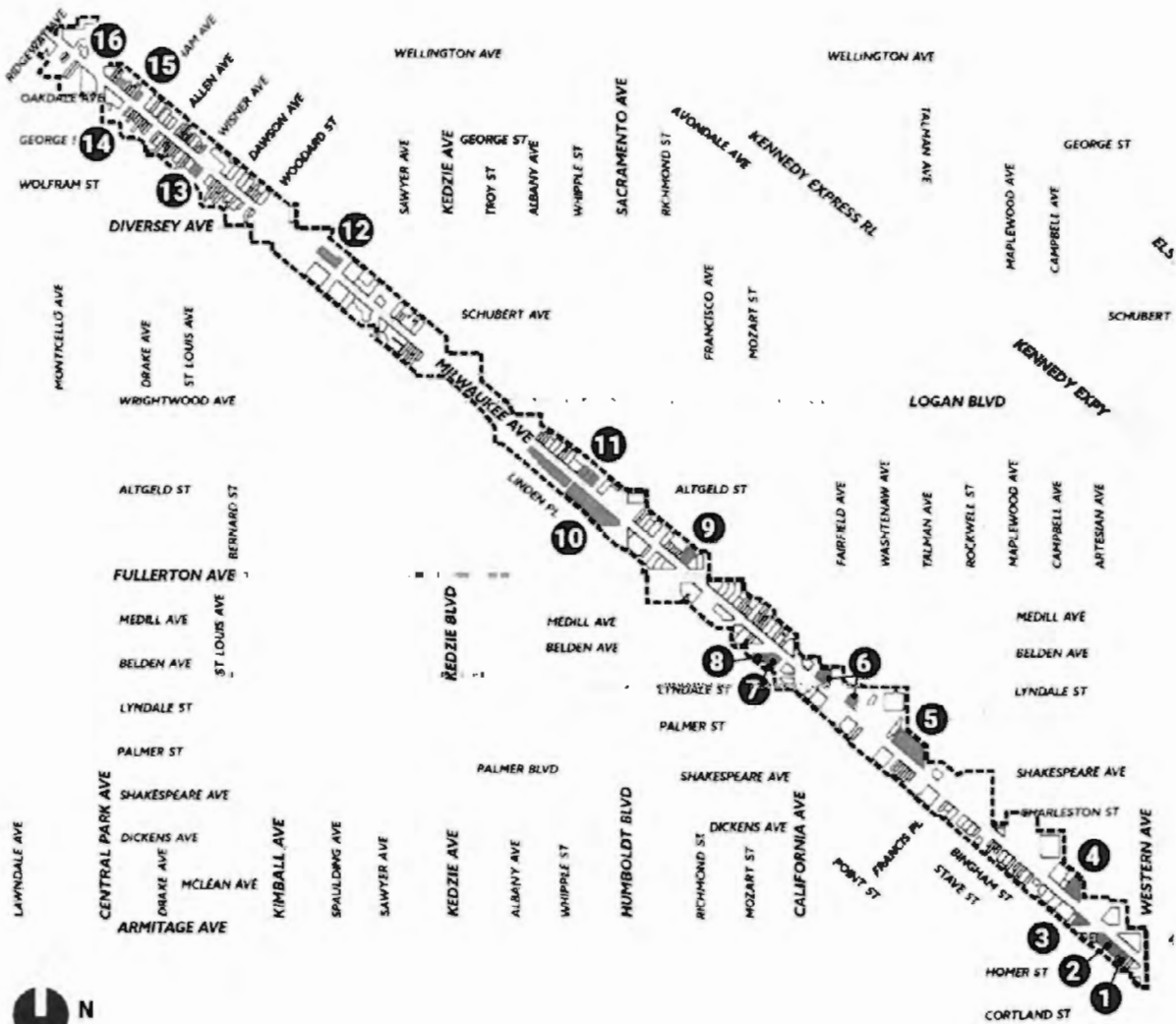


Figure 121. Recent and Planned Developments along the Milwaukee SCOD corridor



**Figure 122.** 1966 N Milwaukee



**Figure 123.** 1980 N Milwaukee



**Figure 124.** 2000 N Milwaukee



**Figure 125.** 2031 N Milwaukee



**Figure 126.** 2211 N Milwaukee



**Figure 127.** 2733 W Belden, 2210 N Washtenaw



**Figure 128.** 2318 N Milwaukee



**Figure 129.** 2827 W Belden



**Figure 130.** 2407 N Milwaukee



**Figure 131.** 2480-2522 N Milwaukee



**Figure 132.** 2503-2489 N Milwaukee



**Figure 133.** 2740 N Spaulding



**Figure 134.** 2858 2860 N Milwaukee



**Figure 135.** 2931 N Milwaukee



**Figure 136.** 2931 N Milwaukee



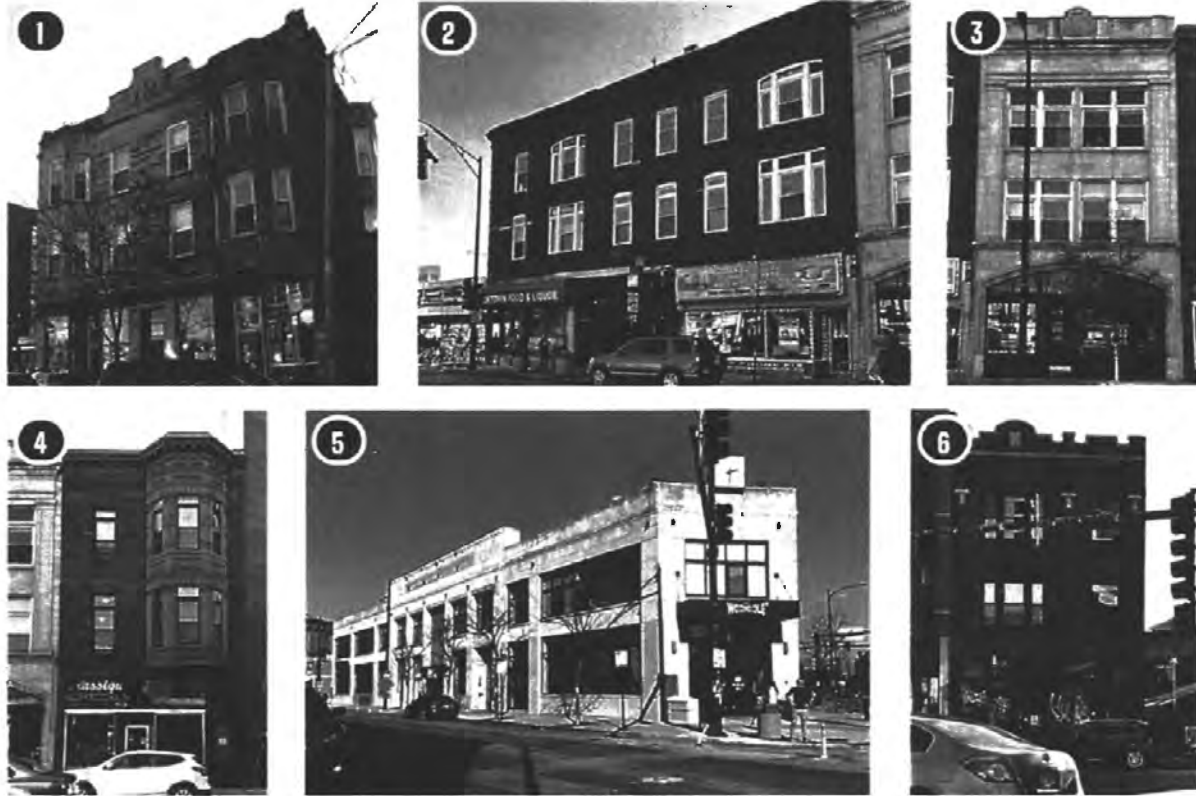
**Figure 137.** 2945 N Milwaukee

APPENDIX

# CHARACTER BUILDING DATABASE



	ADDRESS	DATE OF CONSTR.	ORIGINAL USE/NAME	ARCHITECT (IF KNOWN)	ARCHITECTURAL STYLE
1	2403 W Homer St	1896	Store and Flats for F.C. Peters		Romanesque Revival
2	1950-56 N Milwaukee Ave.	c. 1881	Stores and Flats (Original location of the community's first Post Office was located in the second storefront)		Commercial Vernacular with Italian Renaissance Revival details
3	1958 N Milwaukee Ave.	c. 1918	Store and Offices		Neoclassical
4	1960 N Milwaukee Ave.	1888	Stores and Flats		Queen Anne
5	1965 N Milwaukee Ave.	1911 (Original Construction); 1930 (Facade Remodel and Addition)	Second Security Bank	Zimmerman, Saxe & Zimmerman	Art Deco
6	2441 W Armitage Ave.	1916	Store and Flats for Ale Forde	Theis J. Reynertson	Commercial Vernacular



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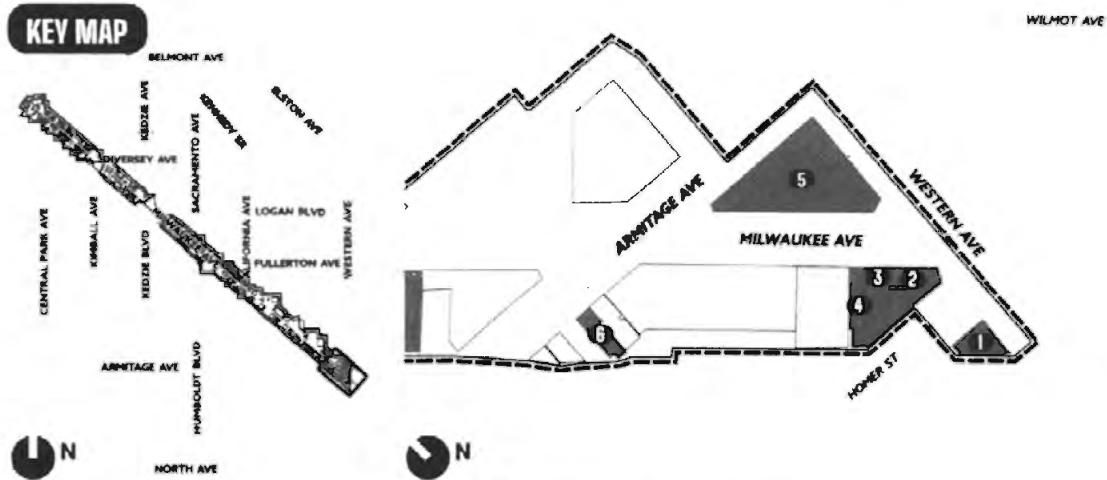


Figure 138. Character building location map



	<b>ADDRESS</b>	<b>DATE OF CONSTR.</b>	<b>ORIGINAL USE/NAME</b>	<b>ARCHITECT (IF KNOWN)</b>	<b>ARCHITECTURAL STYLE</b>
<b>7</b>	2016-30 N Milwaukee Ave.	1924	Stores and Flats	Friedstein & Co.	Italian Renaissance Revival
<b>8</b>	2040-44 N Milwaukee Ave.	1910	W. Kolacek & Co. Department Store (formerly Johnson Brothers Department Store, but building was destroyed in a 1910 fire)/North End Dry Goods Store (by 1913)/Bernstein Bros. (Furniture by 1915)		Commercial Vernacular with Italian Renaissance Revival details
<b>9</b>	2043 N Milwaukee Ave.	1925	Congress Arcade (Stores with and without mezzanine (1st fl.) and Bowling and Recreation Parlor (2nd and 3rd fl.))	Ross Margelean	Commercial Vernacular with Beaux Arts details
<b>10</b>	2046-48 N Milwaukee Ave.	c. 1874	Stores and Flats		Commercial Vernacular with Romanesque Revival details
<b>11</b>	2066 N Milwaukee Ave.	1900	Stores and Flats	J.D. Chubb	Romanesque Revival



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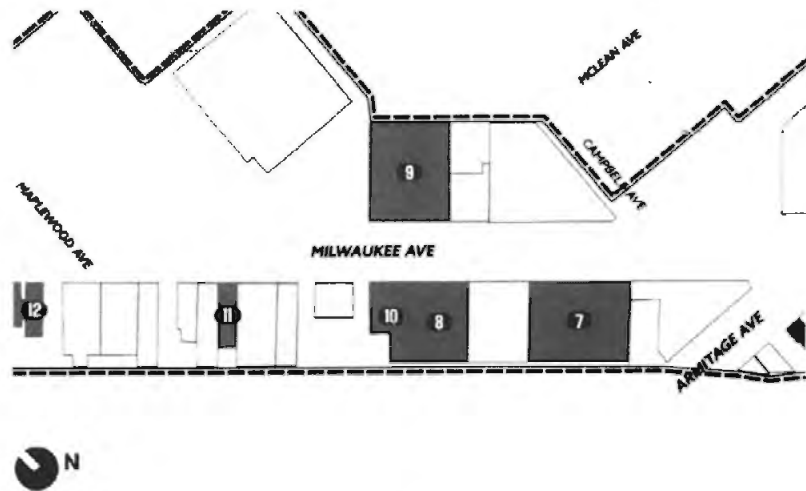
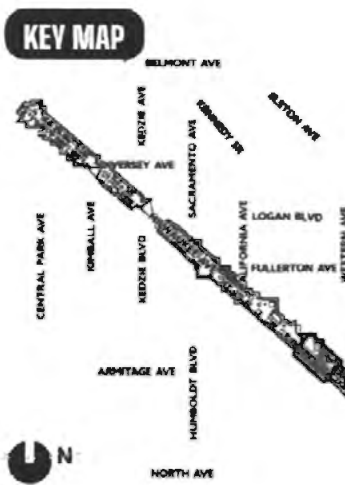


Figure 139. Character building location map



	<b>ADDRESS</b>	<b>DATE OF CONSTR.</b>	<b>ORIGINAL USE/NAME</b>	<b>ARCHITECT (IF KNOWN)</b>	<b>ARCHITECTURAL STYLE</b>
<b>12</b>	2092 N Milwaukee Ave.	1891-1896	Stores and Flats		Commercial Vernacular with Romanesque Revival details
<b>13</b>	2094 N Milwaukee Ave.	Pre-1886	Store and Flats		Commercial Vernacular with Italianate details
<b>14</b>	2100 N Milwaukee Ave.	1937	Store and Flats	A T Smithson	Commercial Vernacular with Late Classical Revival details
<b>15</b>	2101 N Milwaukee Ave.	c. 1921-1936	Store		Commercial Vernacular
<b>16</b>	2122-24 N Milwaukee Ave.	1895	Store and Flats		Romanesque Revival

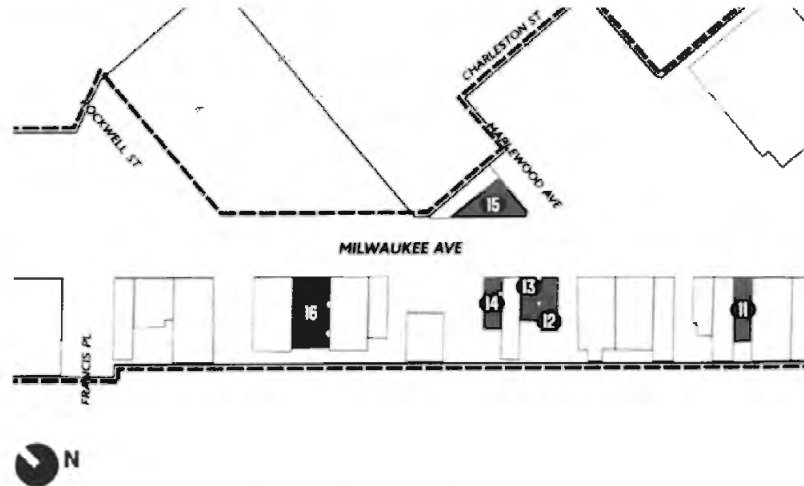
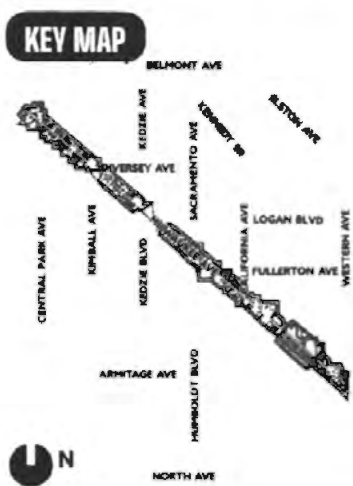


Figure 140. Character building location map



	<b>ADDRESS</b>	<b>DATE OF CONSTR.</b>	<b>ORIGINAL USE/NAME</b>	<b>ARCHITECT (IF KNOWN)</b>	<b>ARCHITECTURAL STYLE</b>
<b>17</b>	2165-71 N Milwaukee Ave.	c. 1907	Store and Flats		Commercial Vernacular with Late Classical Revival details
<b>18</b>	2206 N Milwaukee Ave.	1904	Store and Flats	Otto Kaiser	Commercial Vernacular
<b>19</b>	2208 N Milwaukee Ave.	1888	Store and Flats for Fred Munk	William Olhaber	Commercial Vernacular with Italianate details
<b>20</b>	2214 N Milwaukee Ave.	1891-1896	Store and Flats		Commercial Vernacular with Late Gothic Revival details



APPENDIX

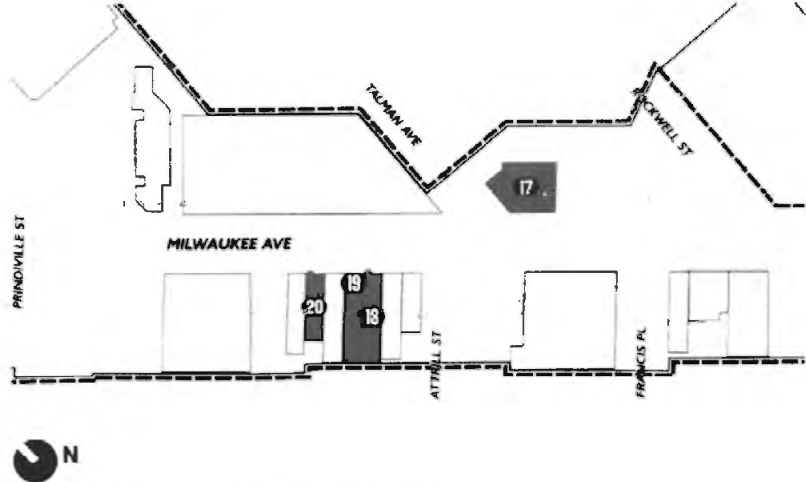
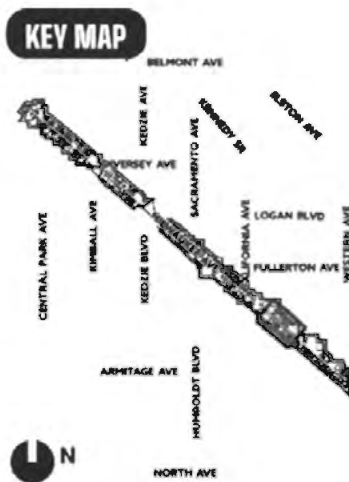


Figure 141. Character building location map



	<b>ADDRESS</b>	<b>DATE OF CONSTR.</b>	<b>ORIGINAL USE/NAME</b>	<b>ARCHITECT (IF KNOWN)</b>	<b>ARCHITECTURAL STYLE</b>
<b>21</b>	2280 N Milwaukee Ave.	1952-1957	National Tea Co. (grocery store)		Mid Century Modern
<b>22</b>	2226 N California Ave.	1928	Stores and Offices for Dr. Samuel A. Zimmerman	M. A. Nelson	Italian Renaissance Revival
<b>23</b>	2300-02 N Milwaukee Ave.	1891-1893	Store and Flats (Cigar Factory on 3rd Floor of 2304)		Queen Anne
<b>24</b>	2301-13 N Milwaukee Ave.	1900	Seeger Building (Stores and Flats, contained the Logan Square post office when it opened)	J. E. Q. Pridmore	Commercial Vernacular with Late Classical Revival details
<b>25</b>	2315 N Milwaukee Ave.	1908	Addition to Seeger Building	J.K. Neebe	Commercial Vernacular



APPENDIX

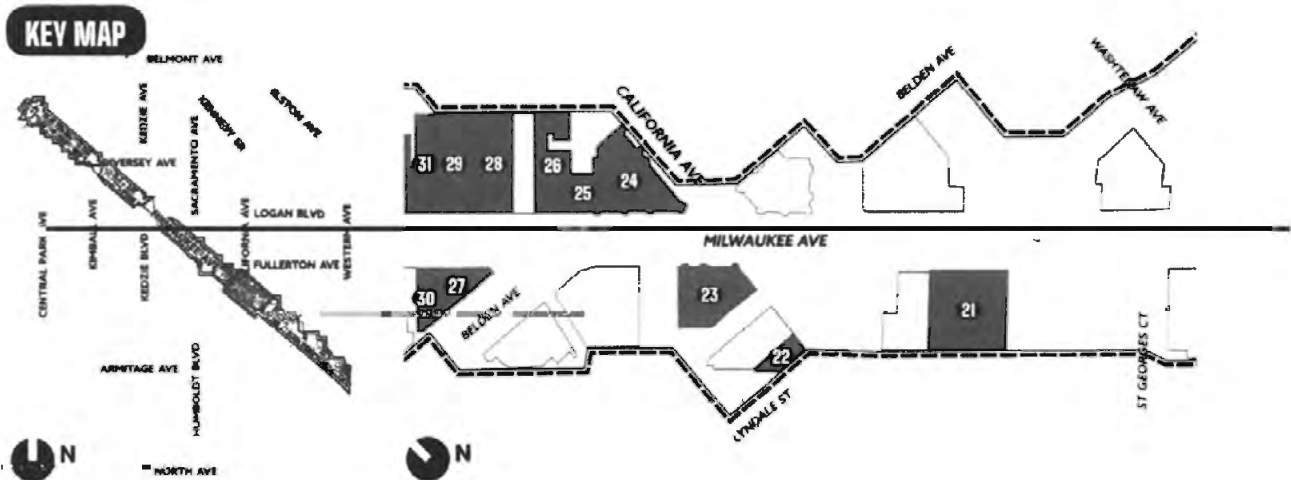
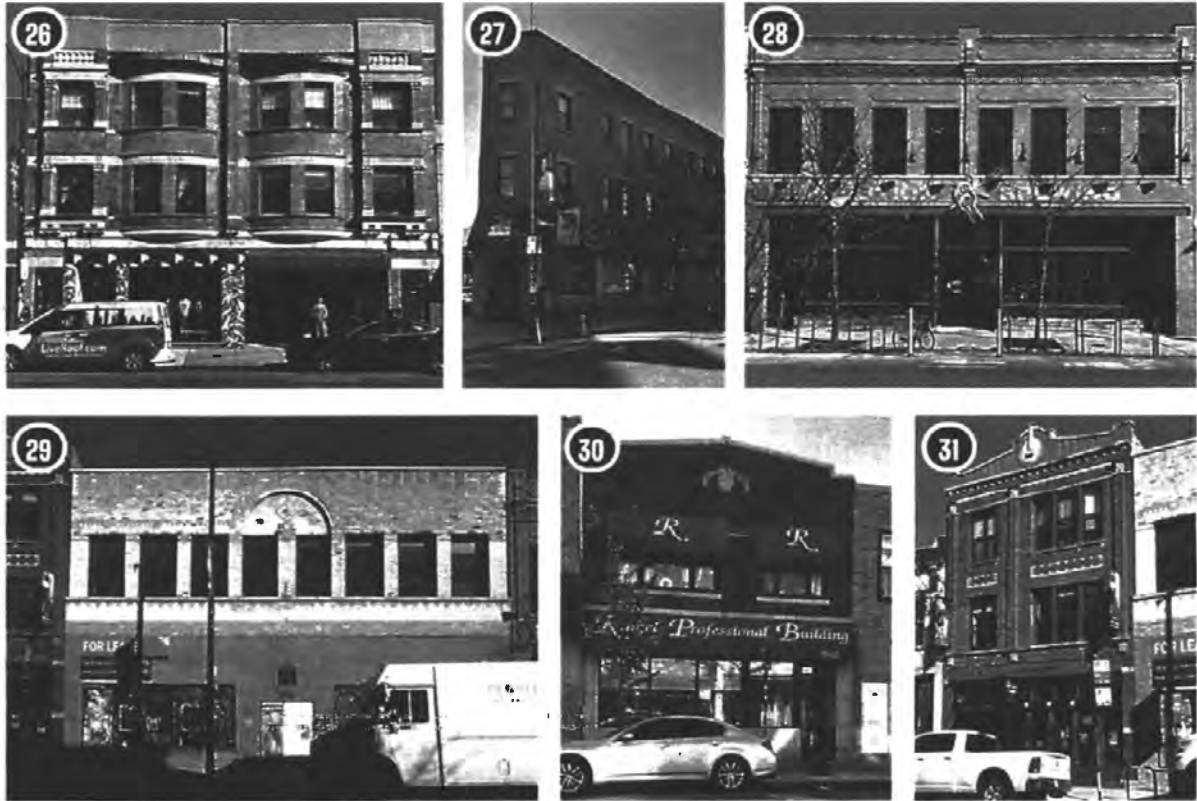


Figure 142. Character building location map



	<b>ADDRESS</b>	<b>DATE OF CONSTR.</b>	<b>ORIGINAL USE/NAME</b>	<b>ARCHITECT (IF KNOWN)</b>	<b>ARCHITECTURAL STYLE</b>
<b>26</b>	2317-19 N Milwaukee Ave.	1905	Store and Flats	John Ahlschlager	Italian Renaissance Revival
<b>27</b>	2320-22 N Milwaukee Ave.	1891-1896	Edgewood Hall and stores (later a dress factory, cap factory, and tailor)		Commercial Vernacular
<b>28</b>	2323 N Milwaukee Ave.	1904	O.L. Larson & Co. (department store)	Edw. LaBelle	Commercial Vernacular with Late Classical Revival details
<b>29</b>	2327 N Milwaukee Ave.	c. 1910	The People's Store (mattress factory on 2nd fl. Per the 1921 Sanborn Map)		Commercial Vernacular with Queen Anne details
<b>30</b>	2332 N Milwaukee Ave.	1925	Store and Flats		Commercial Vernacular with Late Classical Revival details
<b>31</b>	2333 N Milwaukee Ave.	c. 1910-1913	Store and Flats for E W Gernhardt (also operated the store)	C.J. Grotz	Commercial Vernacular with Late Classical Revival details



APPENDIX



Figure 143. Character building location map



	<b>ADDRESS</b>	<b>DATE OF CONSTR.</b>	<b>ORIGINAL USE/NAME</b>	<b>ARCHITECT (IF KNOWN)</b>	<b>ARCHITECTURAL STYLE</b>
<b>32</b>	2337 N Milwaukee Ave	1910	Store and Flats	C J Grotz	Commercial Vernacular with Late Classical Revival details
<b>33</b>	2339 N Milwaukee Ave.	1909	Store and Flats	C.J. Grotz	Beaux Arts
<b>34</b>	2341 N Milwaukee Ave.	c. 1905	Store (First known store Ludolph & Mueller undertakers) and Flats		Tudor Revival
<b>35</b>	2344 N Milwaukee Ave.	1892	Store (first known store is paper and paints) and Flats for John Ford with attached flats building		Commercial Vernacular
<b>36</b>	2345 N Milwaukee Ave.	1910	Store and Flats for S. Schallmann	A.L. Levy	Commercial Vernacular with Beaux Arts details
<b>37</b>	2349 N Milwaukee Ave.	1913	Store and Flats	Worthmann & Steinbach	Commercial Vernacular with Neoclassical details



APPENDIX

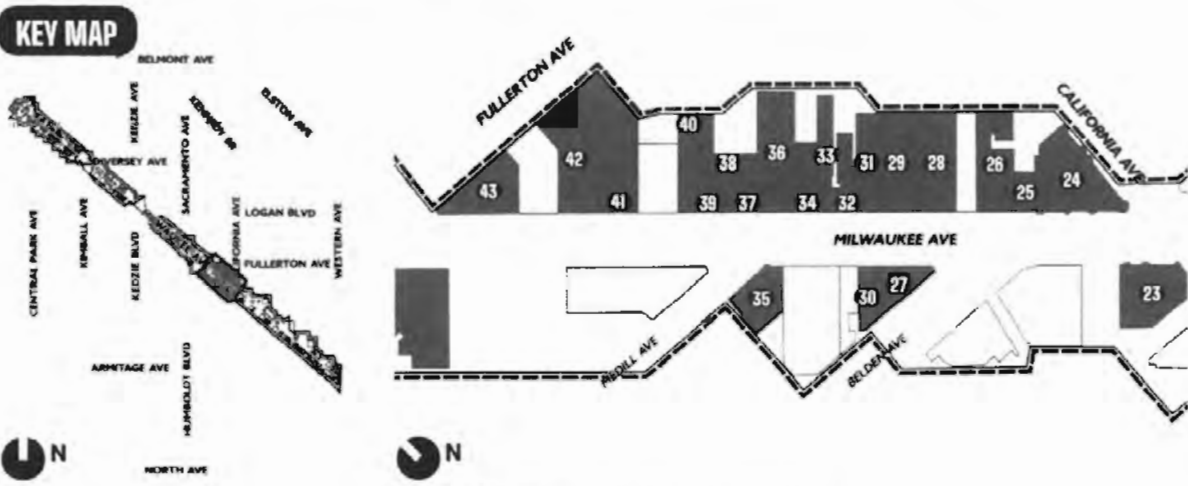


Figure 144. Character building location map



	<b>ADDRESS</b>	<b>DATE OF CONSTR.</b>	<b>ORIGINAL USE/NAME</b>	<b>ARCHITECT (IF KNOWN)</b>	<b>ARCHITECTURAL STYLE</b>
<b>38</b>	2351 N Milwaukee Ave.	1909	Store and Office	C. F. Sorenson	Beaux Arts
<b>39</b>	2355 N Milwaukee Ave.	1907	Stores and Flats for Louis Papenberg (Apron Factory by 1921)		Commercial Vernacular with Italian Renaissance Revival details
<b>40</b>	2357 N Milwaukee Ave.	1911	Model Theater (1st fl. Movie Theater) with manufacturing loft (2nd fl.)	D. S. Klafter	Commercial Vernacular with Beaux Arts details
<b>41</b>	2363 N Milwaukee Ave.	1921-1923	Dashiell Motor Company (Selling Dodge Brothers Motor Cars and Graham Brothers Trucks)		Commercial Vernacular with Late Classical Revival details
<b>42</b>	2367 N Milwaukee Ave.	1909	A. Hanke Garage (Selling Rambler Motor Cars)	A. J. Buerger	Commercial Vernacular with Late Classical Revival details
<b>43</b>	2381-85 N Milwaukee Ave.	1901	Store building for Hattie Meyer	Kley & Gauger	Romanesque Revival



APPENDIX

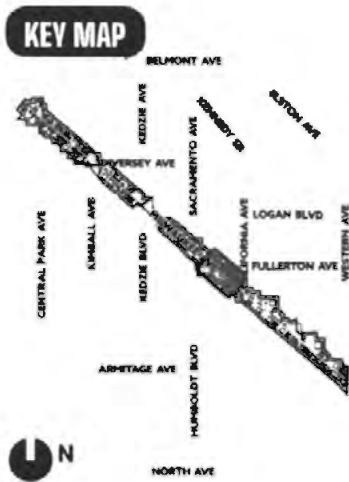


Figure 145. Character building location map

APPENDIX

ADDRESS	DATE OF CONSTR.	ORIGINAL USE/NAME	ARCHITECT (IF KNOWN)	ARCHITECTURAL STYLE
44 2392 N Milwaukee Ave.	1959	Liberty Savings & Loan Association of Chicago		Mid-Century Modern
45 2410-14 N Milwaukee Ave.	c. 1901	Stores		Commercial Vernacular with Late Classical Revival details
46 2413 N Milwaukee Ave.	1907	Store and Flats for Otto A. Becker	Edw. C. LaBelle	Commercial Vernacular with Italian Renaissance Revival details
47 2417 N Milwaukee Ave.	1905	Store and Flats for Dr. E.B. Palmer	Charles Thisslew	Commercial Vernacular



APPENDIX



Figure 146. Character building location map

	<b>ADDRESS</b>	<b>DATE OF CONSTR.</b>	<b>ORIGINAL USE/NAME</b>	<b>ARCHITECT (IF KNOWN)</b>	<b>ARCHITECTURAL STYLE</b>
<b>48</b>	2418 N Milwaukee Ave.	1912	Hollander Building for the Hollander Express & Van Co.	H.H. Mahler	Italian Renaissance Revival
<b>49</b>	2419 N Milwaukee Ave.	1905	Store and Flats for Dr. E.B. Palmer		Commercial Vernacular
<b>50</b>	2421 N Milwaukee Ave.	1909	Store and Flats for H. Marwig (first known store Sun Furniture Co.)		Commercial Vernacular with Late Classical Revival details
<b>51</b>	2423 N Milwaukee Ave.	1910	Store and Flats for H.E. Otto	Theo Steuben	Commercial Vernacular
<b>52</b>	2427 N Milwaukee Ave.	1910	Store building for J.R. Taylor	A. Sandegren	Commercial Vernacular
<b>53</b>	2432 N Milwaukee Ave.	1924	Store and Flats for R.H. Guenther	B.J. Rappaport	Commercial Vernacular with Italian Renaissance Revival details



APPENDIX

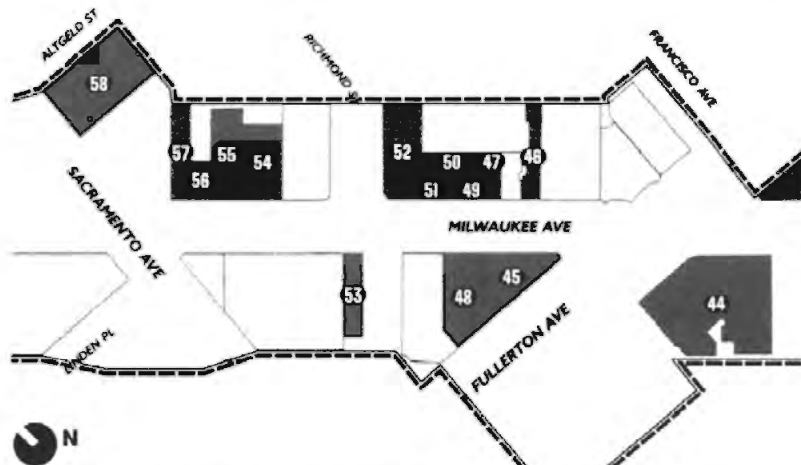
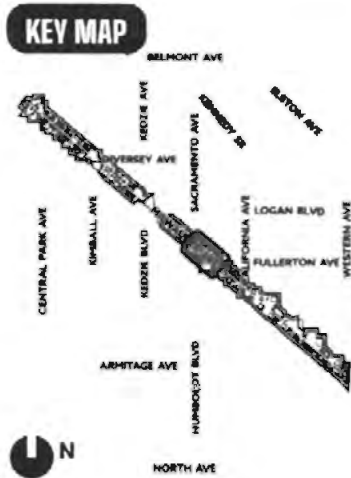
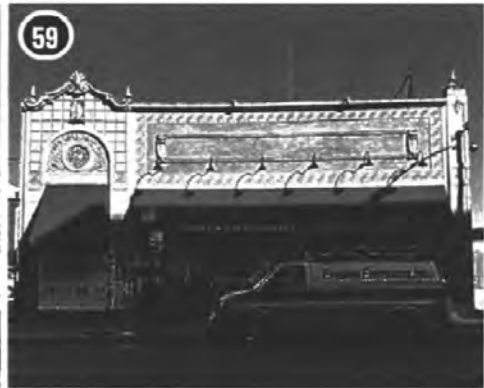
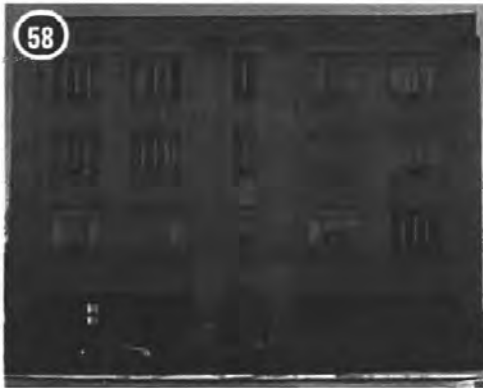


Figure 147. Character building locat on map



	<b>ADDRESS</b>	<b>DATE OF CONSTR.</b>	<b>ORIGINAL USE/NAME</b>	<b>ARCHITECT (IF KNOWN)</b>	<b>ARCHITECTURAL STYLE</b>
<b>54</b>	2443-47 N Milwaukee Ave.	1931	Auto Parts & Gear Co. (Stockroom and Office)	I. S. Stern	Commercial Vernacular with Art Moderne details
<b>55</b>	2449-51 N Milwaukee Ave.	1927	Northwest Motor Truck Co. (General Motors Sales)/Auto Parts & Gear Co.	Steinberg	Spanish Revival
<b>56</b>	2453 N Milwaukee Ave.	1922	Store and Flats for A. J. Brown		Commercial Vernacular
<b>57</b>	2455-57 N Milwaukee Ave.	1913	Store and Flats		Commercial Vernacular with Late Classical Revival details
<b>58</b>	2451 N Sacramento Ave.	1930	Ray Tennes Motor Co. (Sales and Service, Ford) (By 1950 Tumbler Togs Inc.)	L. Crosby Bernard	Art Deco
<b>59</b>	2471-75 N Milwaukee Ave.	c. 1926	Logan Square Overland-Knight Co. (later Becker-Fox Motor Co., Becker-Anderson Motor Co., Charles Lange & Co.)		Spanish Revival



APPENDIX

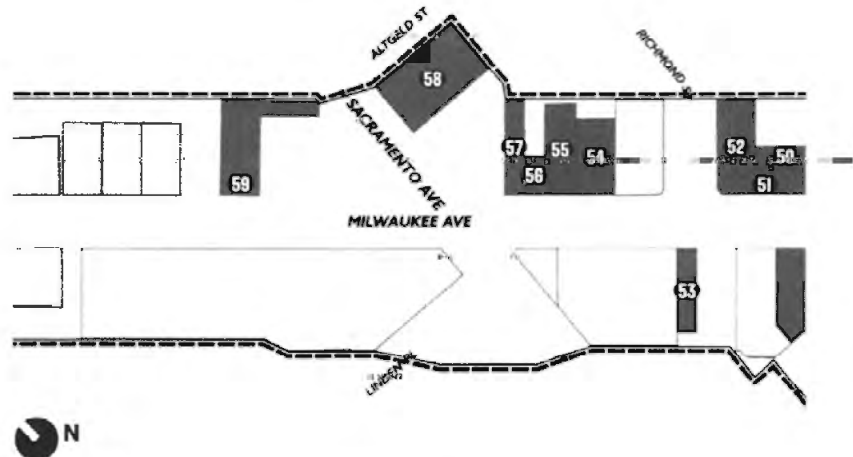
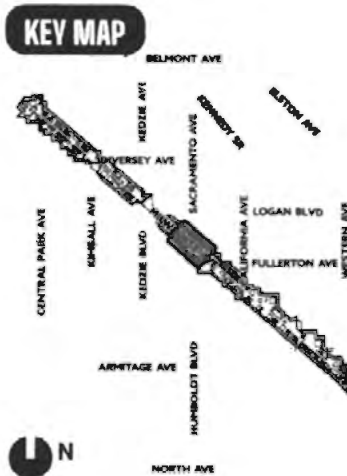


Figure 148. Character building location map



	<b>ADDRESS</b>	<b>DATE OF CONSTR.</b>	<b>ORIGINAL USE/NAME</b>	<b>ARCHITECT (IF KNOWN)</b>	<b>ARCHITECTURAL STYLE</b>
<b>60</b>	2515 N Milwaukee Ave.	1922	Reo Motor Car Company of Chicago, Inc. (Logan Square Branch)	A. L. Himmelblau	Commercial Vernacular with Spanish Revival details
<b>61</b>	2521 N Milwaukee Ave	1910	Store and Flats (first known store Merchant Cigar and Tobacco Co)		Italian Renaissance Revival
<b>62</b>	2523 N Milwaukee Ave	1909	Store and Flats		Commercial Vernacular
<b>63</b>	2525 N Milwaukee Ave.	1928	Milshire Hotel (Apartment Hotel)	Edward Steinborn	Late Gothic Revival
<b>64</b>	2529-31 N Milwaukee Ave.	1909	Stores and Flats (one of the first known stores was United Food Products Co.)		Commercial Vernacular



APPENDIX

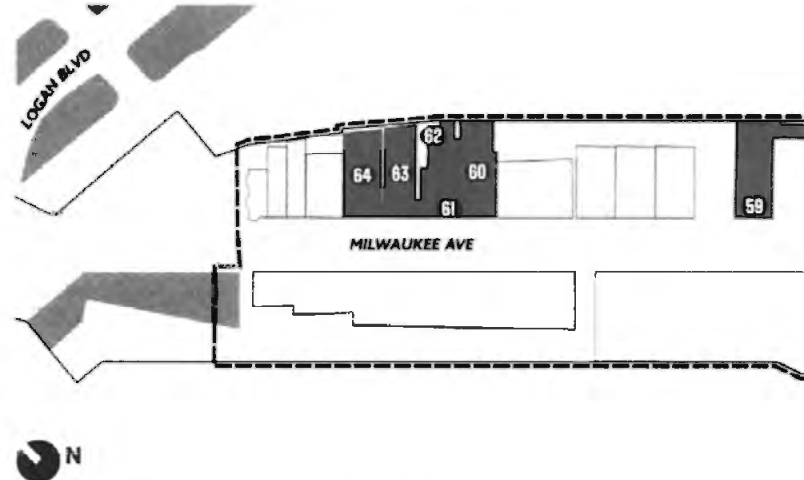
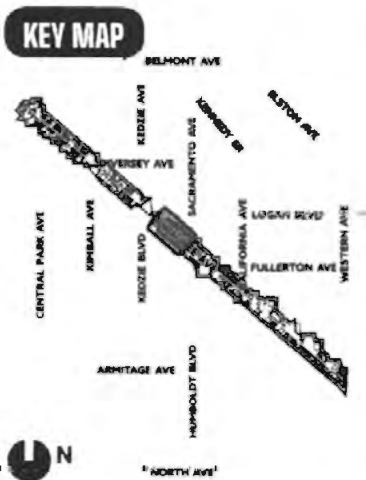


Figure 149. Character building location map



	<b>ADDRESS</b>	<b>DATE OF CONSTR.</b>	<b>ORIGINAL USE/NAME</b>	<b>ARCHITECT (IF KNOWN)</b>	<b>ARCHITECTURAL STYLE</b>
<b>65</b>	2620 N Milwaukee Ave	1909	Stores and Flats for George Sessler	J.B. Rohm	Commercial Vernacular with Late Classical Revival details
<b>66</b>	2624 N Milwaukee Ave.	c. 1902; 1912 (Remodeling)	Store and Flats	J.S. Flizikowski (1912 Remodeling)	Commercial Vernacular
<b>67</b>	2628 N Milwaukee Ave.	1922	Sigmund Music Shop	—	Commercial Vernacular with Late Classical Revival details
<b>68</b>	2630 N Milwaukee Ave.	1922	Apartments and Garage for Edward E. Ostlund	Gifford Brabant	Commercial Vernacular
<b>69</b>	2636-56 N Milwaukee Ave.	1915	Logan Square Terminal Building with the Paramount Theatre	Walter Ahlschlager	Commercial Vernacular with Italian Renaissance Revival details



APPENDIX

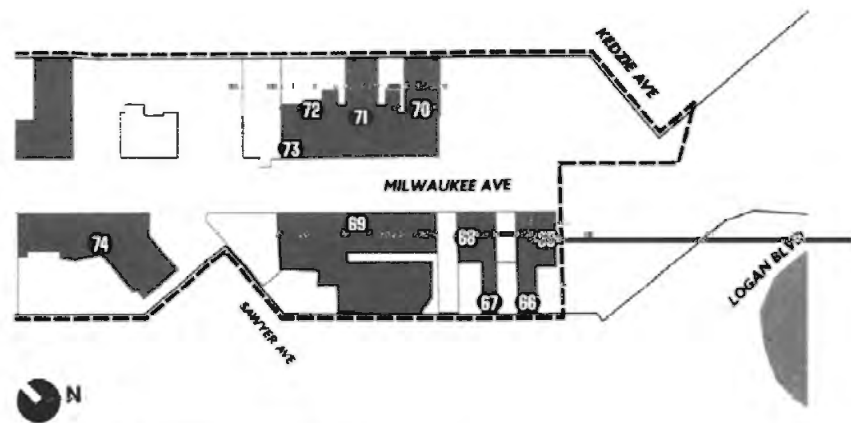
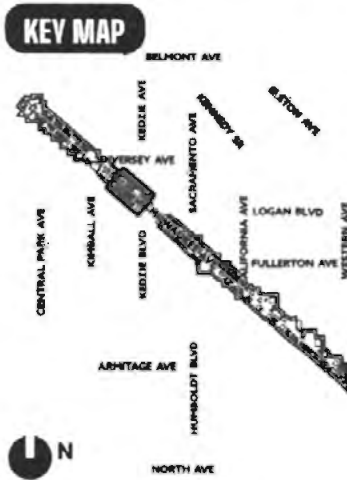


Figure 150. Character building location map

ADDRESS	DATE OF CONSTR.	ORIGINAL USE/NAME	ARCHITECT (IF KNOWN)	ARCHITECTURAL STYLE
70 2639-41 N Milwaukee Ave.	1910, 1926 (Rear Garage)	Stores with later rear garage (at various times there was a Studebaker dealership, Green Cap Messengers, Inc., National Rent A Car Co., and Hudson Motor Co. of Illinois Logan Square Branch)	John Ahlschlager; No architect listed on garage permit	Italian Renaissance Revival
71 2643-51 N Milwaukee Ave.	1908	Store and flats for Casper Molter	Charles J Grotz	Commercial Vernacular
72 2653 N Milwaukee Ave.	1938	Store with Apartment and Office for E. Krumseig	A. Bacci	Commercial Vernacular with Mid-Century Modern details
73 2655 N Milwaukee Ave.	c. 1915	Store and Flat		Commercial Vernacular



APPENDIX

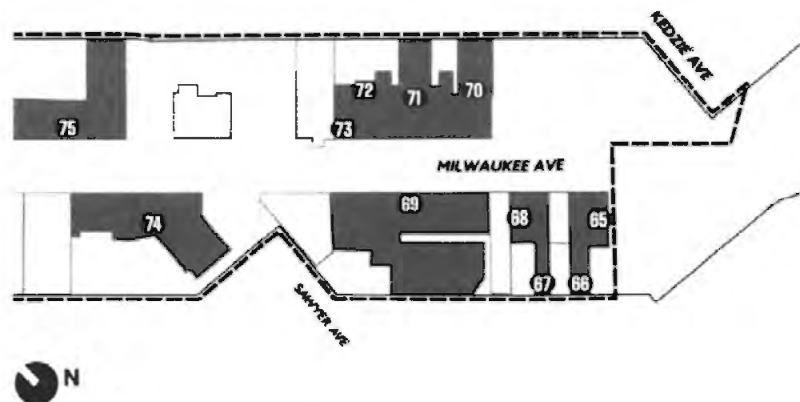
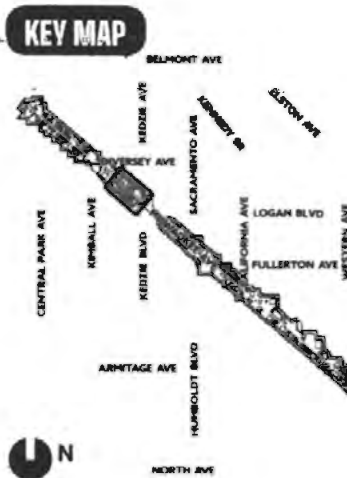


Figure 151. Character building location map



ADDRESS	DATE OF CONSTR.	ORIGINAL USE/NAME	ARCHITECT (IF KNOWN)	ARCHITECTURAL STYLE
74 2664-2718 N Milwaukee Ave.	1924	Harding Theatre Building (Stores, Apartments, and Theater (Harding Theatre section demolished) for Sawyer Amusement Co.	Fridstein & Co	Italian Renaissance Revival
75 2715-29 N Milwaukee Ave.	2715-29 N Milwaukee Ave.	Stores, Apartments, and Garage (Garage demolished)	B Leo Steif	Commercial Vernacular with Late Gothic Revival details
76 2731-39 N Milwaukee Ave.	1927	Stores and Apartments	B Leo Steif & Co	Late Gothic Revival

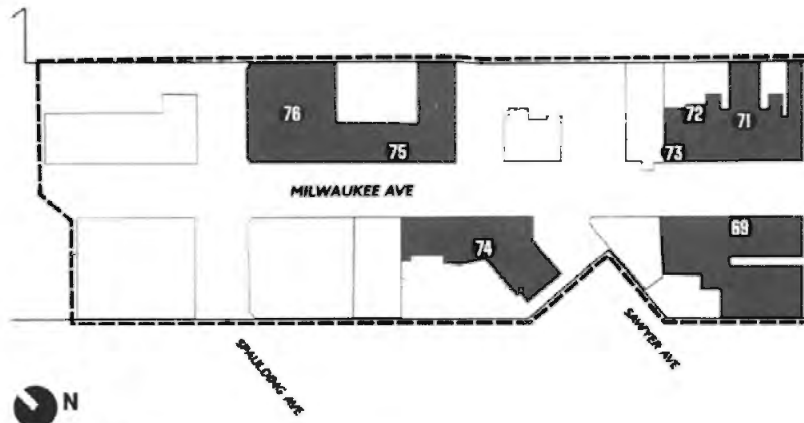
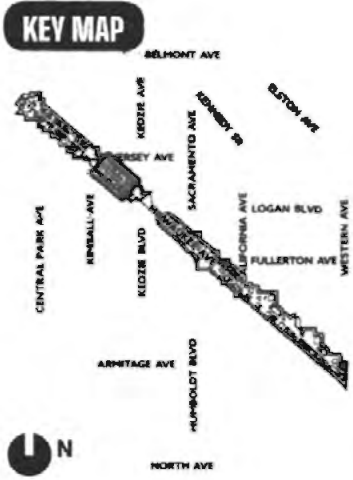


Figure 152. Character building location map



	<b>ADDRESS</b>	<b>DATE OF CONSTR.</b>	<b>ORIGINAL USE/NAME</b>	<b>ARCHITECT (IF KNOWN)</b>	<b>ARCHITECTURAL STYLE</b>
<b>77</b>	3350 W Diversey Ave.	1954	National Savings & Loan Association (first known occupant)		Mid Century Modern
<b>78</b>	2821 N Milwaukee Ave.	1911	Stores for E.C. Blocke	N. Max Dunning	Commercial Vernacular
<b>79</b>	2822 N Milwaukee Ave.	1914	Stores and Flats for Mrs. Louis M. Custy	Worthmann & Steinbach	Commercial Vernacular with Late Classical Revival details
<b>80</b>	2829 N Milwaukee Ave.	1912	The Enterprise (Theater)	Fritz Lang	Commercial Vernacular with Beaux Arts details
<b>81</b>	2831 N Milwaukee Ave.	1907	Store and Flats for Henry Luthje (proprietor of 2829 as well)	Fritz Lang	Beaux Arts



APPENDIX

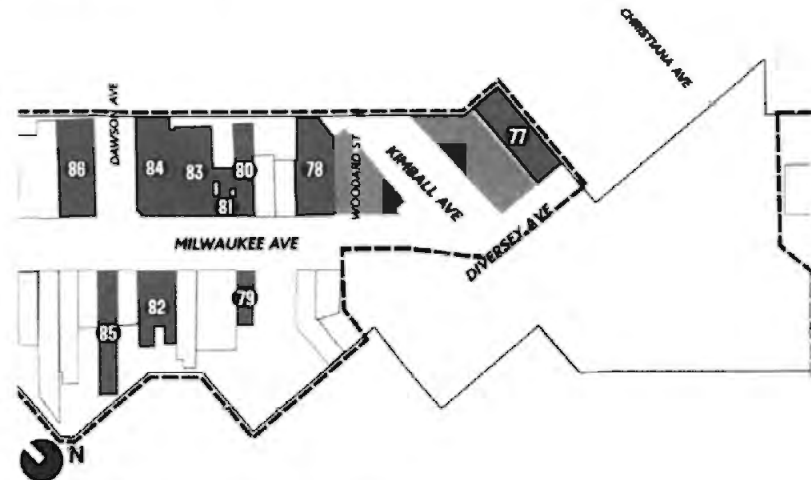
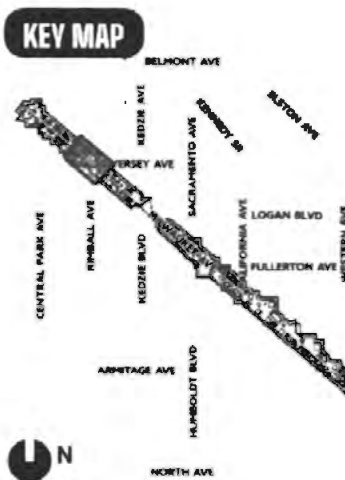


Figure 153. Character building location map



	<b>ADDRESS</b>	<b>DATE OF CONSTR.</b>	<b>ORIGINAL USE/NAME</b>	<b>ARCHITECT (IF KNOWN)</b>	<b>ARCHITECTURAL STYLE</b>
<b>82</b>	2832-34 N Milwaukee Ave.	1924	Stores	E. R. Steinborn	Spanish Revival
<b>83</b>	2833-37 N Milwaukee Ave.	1937	Stores	John K. Neebe	Commercial Vernacular
<b>84</b>	2839-41 N Milwaukee Ave.	1909	Stores and Flat for H. Marwig		Commercial Vernacular with Late Classical Revival details
<b>85</b>	2840 N Milwaukee Ave.	1896, 1937 (Front Masonry Addition)	Store and Flats for Swen Sunberg		Commercial Vernacular
<b>86</b>	2843-45 N Milwaukee Ave.	1914	Store and Flats	Oscar Johnson & Son	Commercial Vernacular with Late Classical Revival details
<b>87</b>	2854 N Milwaukee Ave.	1908	Store and Flats for C.B. Knudson	F.O. DeMoney	Commercial Vernacular



APPENDIX

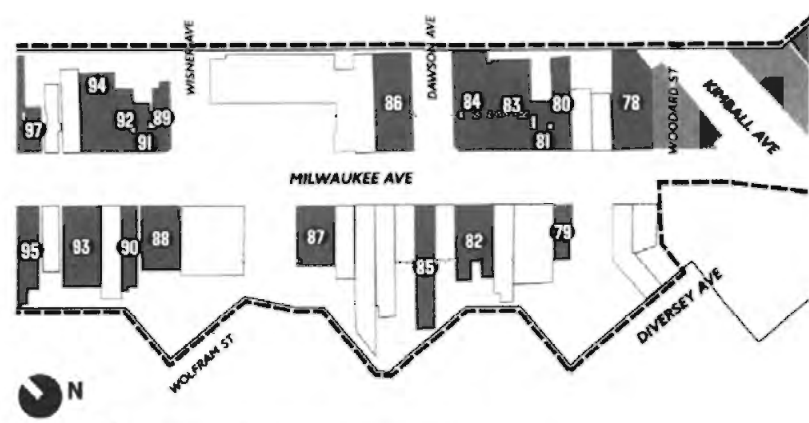
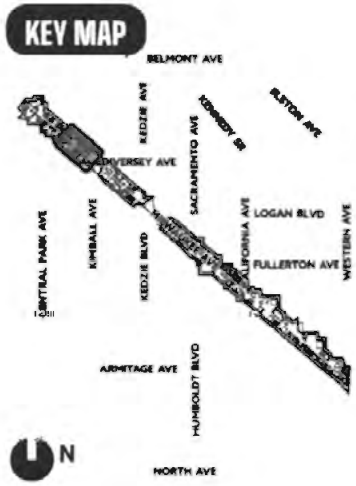


Figure 154. Character building location map



	<b>ADDRESS</b>	<b>DATE OF CONSTR.</b>	<b>ORIGINAL USE/NAME</b>	<b>ARCHITECT (IF KNOWN)</b>	<b>ARCHITECTURAL STYLE</b>
<b>88</b>	2864-66 N Milwaukee Ave.	1912	Store building for E. Herzog - Belfield, Hirsh & Co. (First Store, Billiards Hall at 2nd fl. by 1921)	H L Newhouse	Commercial Vernacular with Late Classical Revival details
<b>89</b>	2867 N Milwaukee Ave.	1905	Store and Flats for M. F. Marwig	E.C. LaBelle	Commercial Vernacular with Late Classical Revival details
<b>90</b>	2868 N Milwaukee Ave.	1909	Store and Flats for F. Czaja		Commercial Vernacular with Late Classical Revival details
<b>91</b>	2869 N Milwaukee Ave.	1906	Store and Flats		Commercial Vernacular with Late Classical Revival details
<b>92</b>	2871 N Milwaukee Ave.	1912	Store and Flats for F. Marwig (Variety Store Co., one of the first stores)	William Gauger	Commercial Vernacular with Late Classical Revival details
<b>93</b>	2874 N Milwaukee Ave.	1909, c.1949 (Facade Remodeling)	Store building for C. Knudson (First store A. F. Lakowka, furniture and stoves)		Commercial Vernacular/Mid Century Modern



APPENDIX

**KEY MAP**

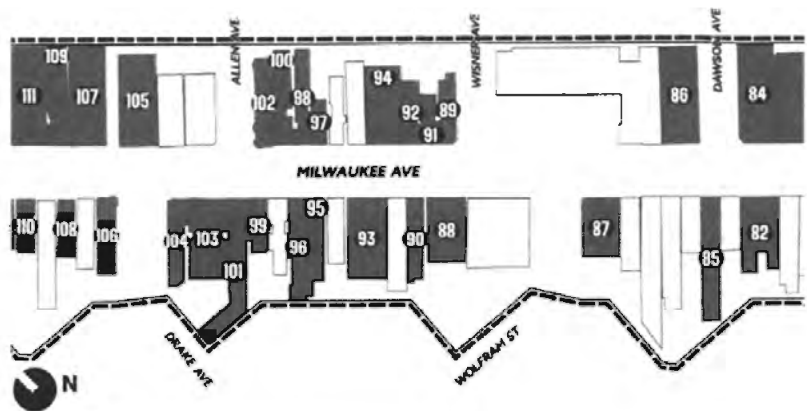


Figure 155. Character building location map

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	ADDRESS	DATE OF CONSTR.	ORIGINAL USE/NAME	ARCHITECT (IF KNOWN)	ARCHITECTURAL STYLE
94	2875 N Milwaukee Ave.	1911	Store building (first known store is Avondale Clothing Co.)	H.L. Newhouse	Commercial Vernacular with Late Classical Revival details
95	2880 N Milwaukee Ave.	1907	Store and Flats for Joseph Lisewski		Commercial Vernacular
96	2882 N Milwaukee Ave.	1910	Store and Flats		Commercial Vernacular
97	2883 N Milwaukee Ave.	1897	Store and Flats for Robert Schultz		Commercial Vernacular
98	2885 N Milwaukee Ave.	1905	Store and Flats		Commercial Vernacular
99	2888 N Milwaukee Ave.	1923	Store and Flats	J.F. Kundsén	Commercial Vernacular



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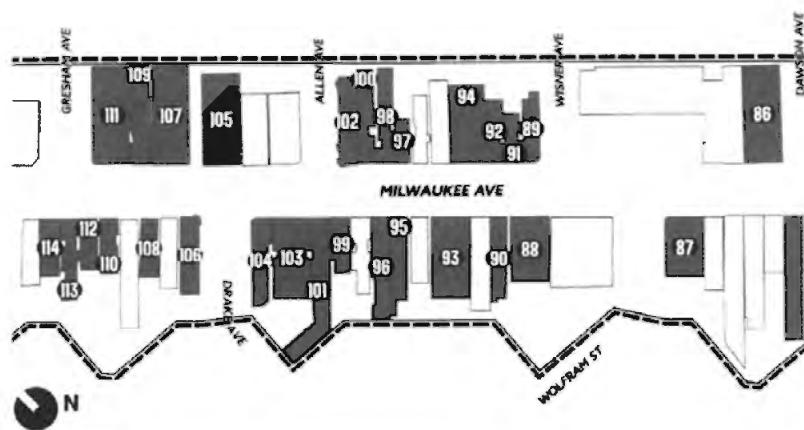
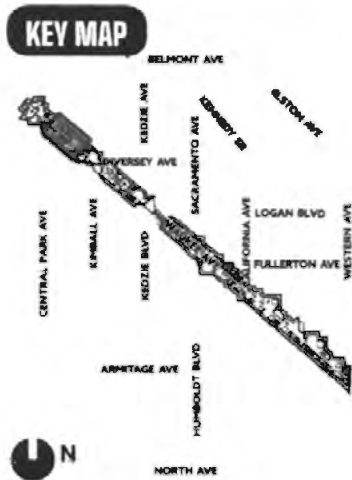


Figure 156. Character building location map



	<b>ADDRESS</b>	<b>DATE OF CONSTR.</b>	<b>ORIGINAL USE/NAME</b>	<b>ARCHITECT (IF KNOWN)</b>	<b>ARCHITECTURAL STYLE</b>
<b>100</b>	2889 N Milwaukee Ave.	1908	Store and Flats for Joseph Zientock		Commercial Vernacular
<b>101</b>	2890 N Milwaukee Ave.	1906	Store and Flats for Oscar Wilke		Romanesque Revival
<b>102</b>	2891 N Milwaukee Ave.	1902	Store building for P. Czeslanski	John S. Flizikowski	Queen Anne
<b>103</b>	2894-96 N Milwaukee Ave.	1912	Store and Flats for Samuel Fenchel (Union Clothing Co and General Furniture Co. earliest known stores)	D.S. Klafter	Commercial Vernacular with Late Classical Revival details
<b>104</b>	2898 N Milwaukee Ave.	1912	Store and Flats for Frank Rutkowski		Queen Anne
<b>105</b>	2909 N Milwaukee Ave.	1910	Immekas and Krohma Department Store (Constructed for the company by H.G. Stange)	O. Zippwald	Commercial Vernacular



APPENDIX

**KEY MAP**

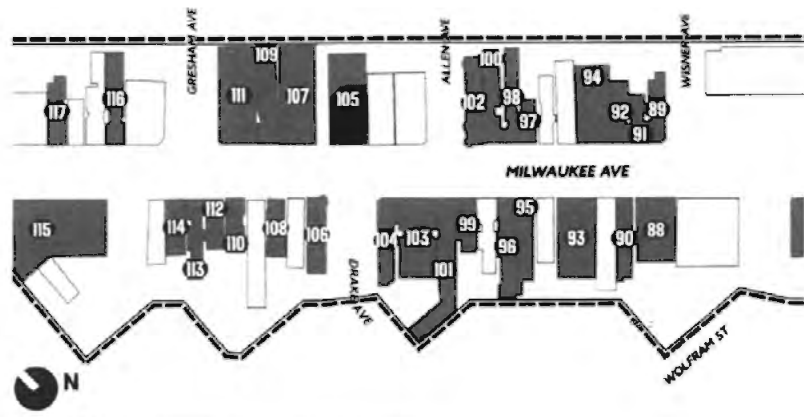
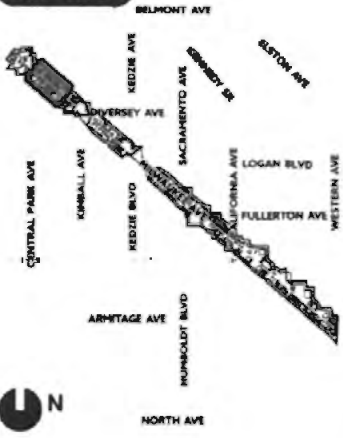


Figure 157. Character building location map

ADDRESS	DATE OF CONSTR.	ORIGINAL USE/NAME	ARCHITECT (IF KNOWN)	ARCHITECTURAL STYLE
106 2912 N Milwaukee Ave.	1902	Store and Flats for Jos Wojtalewicz (Operated as an agent for the Pulaski Lumber Co. here, first known store The Avondale)	Kley & Gauger	Commercial Vernacular with Queen Anne details
107 2915 N Milwaukee Ave.	1910; 1955 (Facade Remodeling)	Crescent Theatre (Built by J. Kleczewski for Vaudeville and Moving Pictures)	J.F. Knudsen (Original)	Commercial Vernacular/Mid-Century Modern
108 2918 N Milwaukee Ave.	1912	Store and Flats for E. Grosse		Italian Renaissance Revival
109 2919 N Milwaukee Ave.	1909	Store and Flats for Joseph Kowalski (the first known store is a grocery store by Julian Kowalski)		Commercial Vernacular with Late Classical Revival details
110 2922 N Milwaukee Ave.	1910	Store and Flats for Frank Krizenski (Krizenski Tea Store)	D.S. Pentecost	Commercial Vernacular with Italian Renaissance Revival details
111 2923 N Milwaukee Ave.	1908	Store building for J. Katzewski (J.S. Barkowski Drug Store)		Commercial Vernacular with Late Classical Revival details

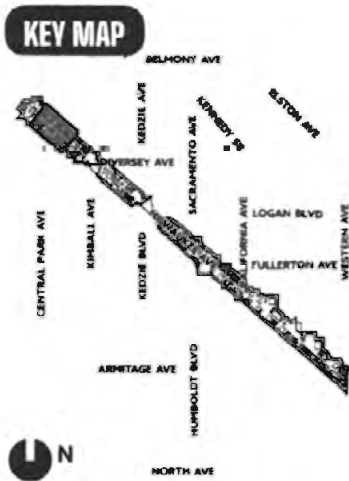


Figure 158. Character building location map



	ADDRESS	DATE OF CONSTR.	ORIGINAL USE/NAME	ARCHITECT (IF KNOWN)	ARCHITECTURAL STYLE
112	2924 N Milwaukee Ave.	1906	Store and Flats for Igmace Lutkowski (W.S. Miroslawski, lawyer office)	Jno S. Flizikowski	Queen Anne
113	2928 N Milwaukee Ave.	1927	Store and Flats for L. Stankowicz	Ablomowicz	Commercial Vernacular with Italian Renaissance Revival details
114	2930 N Milwaukee Ave.	1905	Store and Flats for J. Kleczewski (Bakery for owner)		Italian Renaissance Revival
115	2934 N Milwaukee Ave.	1916	Store building (Some of the earliest known stores include: General Furniture Co. -2936; Piggly Wiggly -2938; Logan Square Motor Car Co. -2940; I. Skowronski (Music store/ Victor Dealer) - 2942; Army Recruitment Center for WWI -2946; Billings Dress Shop -2950; Fidelity State Bank -2954)	H.L. Newhouse	Commercial Vernacular
116	2935 N Milwaukee Ave.	c. 1911	Store and Flats		Commercial Vernacular with Late Classical Revival details
117	2943 N Milwaukee Ave.	c. 1912	Store building		Commercial Vernacular with Beaux Arts details

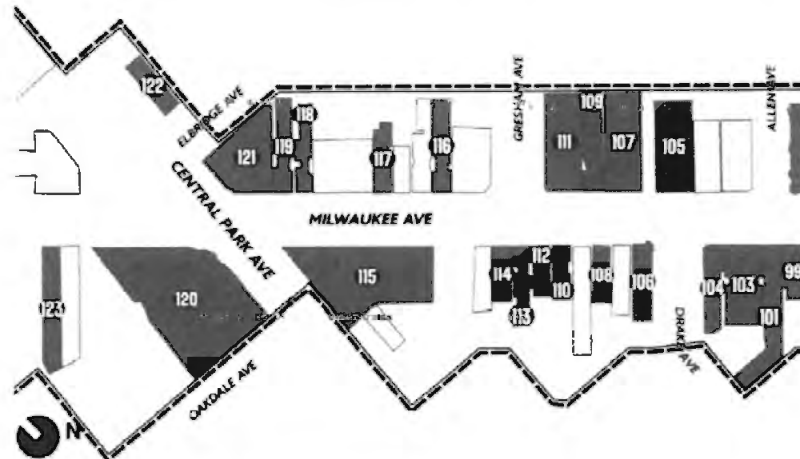


Figure 159. Character building location map



	<b>ADDRESS</b>	<b>DATE OF CONSTR.</b>	<b>ORIGINAL USE/NAME</b>	<b>ARCHITECT (IF KNOWN)</b>	<b>ARCHITECTURAL STYLE</b>
<b>118</b>	2953 N Milwaukee Ave.	1905	Store and Flats R. Czolkowski	Chas. J. Grotz	Commercial Vernacular with Neoclassical details
<b>119</b>	2955 N Milwaukee Ave.	1908	Store and Flats		Commercial Vernacular with Late Classical Revival details
<b>120</b>	2956-72 N Milwaukee Ave.	1926	Second Northwestern State Bank	Mundie and Jensen	Neoclassical
<b>121</b>	2957 N Milwaukee Ave.	1905	Store and Flats for AA. Jankowski (Some early stores included the Avondale Savings Bank - 2957-59 and Avondale Pharmacy - 3003)	Chas. J. Grotz	Beaux Arts
<b>122</b>	3004 N Elbridge Ave.	1901	Chicago Fire Department No. 92	City Architect	Romanesque Revival



APPENDIX

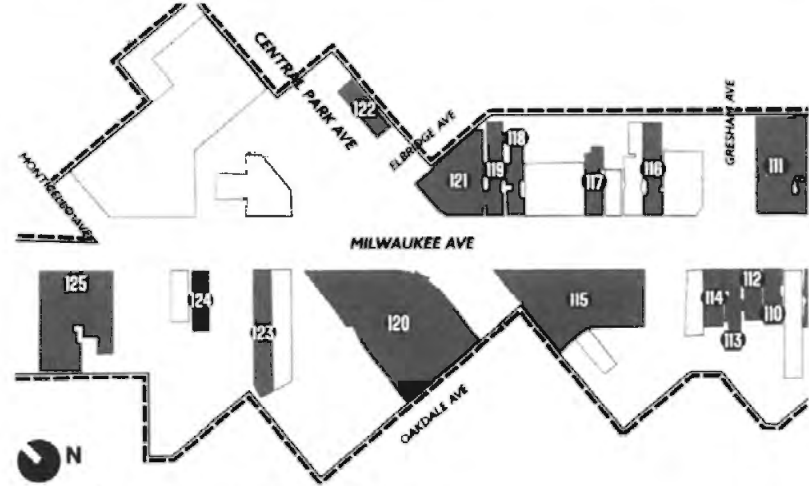
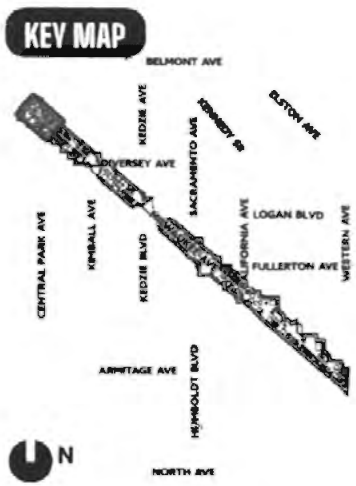


Figure 160. Character building locat on map



ADDRESS	DATE OF CONSTR.	ORIGINAL USE/NAME	ARCHITECT (IF KNOWN)	ARCHITECTURAL STYLE
123 2978 N Milwaukee Ave.	1911	Store and Flats for B Michalski	M F. Strauch	Commercial Vernacular with Late Classical Revival details
124 2988 N Milwaukee Ave.	1923	Store and Flats for John Buda	Otto Runde	Commercial Vernacular with Italian Renaissance Revival details
125 3002-10 N Milwaukee Ave.	1922	Ridgeway Building	Rissman and Hirschfeld	Neoclassical



APPENDIX

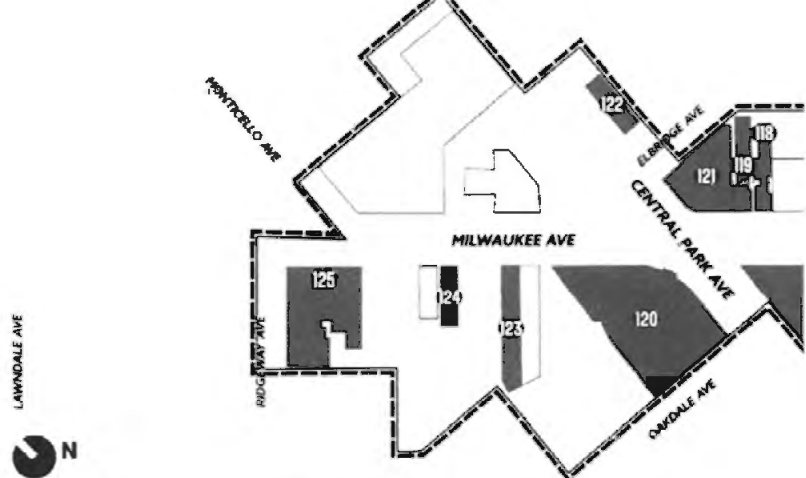
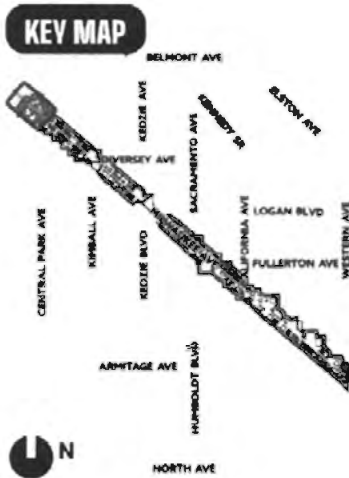


Figure 161. Character building location map

# BUILDING TYPES

## COMMERCIAL BLOCKS: ONE & TWO PART

The two-part commercial block is the most common type of composition used for small and moderate-sized commercial buildings throughout the country. It is typically limited to buildings that are two to four stories in height. This type is characterized by a horizontal division into two distinct zones, a lower and an upper zone. Each zone received its own design treatment that may be harmonious in design while clearly separated from one another, or they may have little visual relationship. The two-part division reflects the differences in use. The lower zone is located at street level and includes public spaces such as retail stores, a banking room, a service-oriented or medical office, or a hotel lobby. The upper zone houses more private spaces, including offices, hotel rooms, a meeting hall, or residential units.

Treated in a similar manner as the lower zone of a two-part commercial block is the one-part commercial block. This type is only one story in height and is typically a simple box in plan with an ornamented facade. In many cases, the street frontage is narrow and the facade is predominantly composed of plate glass windows and an entry surmounted by a cornice or parapet.

## ENFRAMED WINDOW WALL

A second subtype of the commercial block is the Enframed Window Wall. Primarily used on small- to moderate-sized commercial buildings (e.g., two to three stories in height), this type emphasized order and unity by enframing the first floor storefront and/or upper floors within a wide and continuous window design. The "frame" is articulated through columns, pilasters, or arcades.

## FALSE FRONT

A False-Front is an applied or fake front facade. False-Fronts are easily identifiable by the extension of the applied front facade above the building's roofline and a lack of depth to the storefront. False-Fronts usually reference popular or historic architectural styles.

## FREESTANDING

Two eras of Freestanding commercial types have been identified along Milwaukee Avenue. The first is a mid- to late-19th century two-story gable-front building, and the second is a mid- to late-20th century one-story building, adapted to the automobile.

The earlier Freestanding type identified is two stories in height and follows the common gable-front form, developed during the Greek Revival movement during the early- to mid-19th century, but on a larger scale. The gable-front form developed in New England and spread west with the expanded railroad network and remained in use until well into the 20th century. Part of its staying power reflected the fact that it was well suited for narrow urban lots, which were found in many rapidly developing cities. Characterized by its roof shape, the gable-front roof has two sloped sides that meet at a center ridge. The triangular ends of the walls on the other two sides are called gables. In the gable-front form, the gable end faces the street.

These buildings were constructed on lots located on the interior of the block and are built to the front and side lot lines, typically encompassing approximately 50% to 75% of the length of the lot. The rear setback was used to accommodate a stable building at the rear of the lot, along the alley. The building would have been used as a storefront and dwelling, either for the shopkeeper

or as a boarding house. During the late-19th century and early 20th century, boarders on a multi-day trip would stay overnight, receiving room and board for themselves and their horse (in the stable).

With the advent of the automobile, the design of commercial centers shifted from the commercial block to the Freestanding type during the mid-20th century. Freestanding buildings are typically one story and occasionally two stories, but differ from commercial blocks in that they have architectural treatment on three or more sides. Commercial buildings accommodating automobile access usually oriented entry points for parking areas from a side street or a vehicular drive that separates the pedestrian right-of-way and the main entrance. The structure may occupy an entire city block and be surrounded by parking on one or more sides.



**Figure 162.** One-part commercial block



**Figure 164.** Two-part commercial block



**Figure 163.** Enframed window wall



**Figure 165.** False front



**Figure 166.** Mid-20th century freestanding

## TWO-PART VERTICAL BLOCK

The two-part and three-part vertical block gained popularity in the late-19th century as a means of simplifying the exterior of tall, commercial buildings. On the two-part vertical block, the facade is divided horizontally into two major zones that are different but carefully related to one another to create a unified whole. The lower zone rises one or two stories and serves as a visual base of the dominant "shaft," or upper zone. The two-part vertical block must be at least four stories in height to possess a sufficient sense of verticality.



Figure 167. Two part vertical block

## RESIDENTIAL BUILDINGS

There is only one identified residential building type in the SCOD, the Multi-Unit Dwelling. This type is a residential housing classification with multiple individual housing units contained within one building. On Milwaukee Avenue, multi-unit dwellings range in height from low- to mid-rise buildings (e.g., three to twelve stories). Like the commercial types, all multi-unit dwellings have a ground floor commercial use, but the overall building form, massing, and facade articulation (e.g., balconies, fenestration openings) are more closely modeled after historic two-to-six-flat buildings or larger apartment blocks to modern mid-rise apartment buildings.



Figure 168. Residential buildings

# ARCHITECTURAL STYLES



**Figure 169.** Romanesque Revival

## ROMANESQUE REVIVAL

Romanesque Revival in America was inspired in part by the medieval European style known as Romanesque, popular in Europe during the eleventh and twelfth centuries as a revival of earlier classical Roman forms. Two phases of this style have been identified in America. During the first, Americans experimented with early versions during the 1840s-1850s. The second phase came in the late-19th century, when the style was popularized by Henry Hobson Richardson. Buildings in the Romanesque Revival style are heavy, massive masonry construction, usually with some rough-faced stonework. Wide, rounded arches in Roman or Romanesque architecture are an important identifying feature, often resting on squat columns. Frequently, decorative floral detail appears in the stonework, and sometimes on column capitals. Common characteristics include:

- Heavy, rusticated stone walls
- Round arches at entrances and window openings
- Squat columns
- Polychromatic masonry
- Round towers.



**Figure 170.** Queen Anne

## QUEEN ANNE

For many, the Queen Anne style typifies the architecture of the Victorian age. The style was named and popularized by a group of 19th century English architects led by Richard Norman Shaw. Roots for the style date back to the Elizabethan and Jacobean periods in England and have little to do with Queen Anne or the formal Renaissance architecture that dominated during her reign (1702-1714). This very popular style of the 1880s and 1890s has asymmetrical massing characterized by projecting bays and prominent, compound roof shapes. These buildings were clad in a variety of materials and with multiple textures, including patterned shingles. Common characteristics include:

- Rich but simple ornament
- Variety of materials, including wood, brick, stone, and pressed metal
- Patterned masonry, shingles, or textured wall surfaces including half-timbering
- Pressed metal bays and turrets
- Irregular roofline with many dormers and chimneys
- Single pane windows, some paired, with small decorative panes or stained glass.



**Figure 171.** Italian Renaissance

## ITALIAN RENAISSANCE

The Italian Renaissance Revival style developed at the end of the 19th century and was inspired by Italy and the ancient world. This revival style was a dramatic contrast to the earlier Queen Anne style. This more ordered style has a studied formalism, symmetrical composition, simple flat facades, and low-pitched or flat roofs. Common characteristics include:

- Restrained decoration
- Rectangular form
- Low-pitched hipped or flat roof
- Symmetrical facade
- Limestone keystones at windows and doors
- Decorative limestone ornament (e.g., roundels)
- Rusticated base
- Decorative, projecting metal or brick cornice
- Carved foliated details
- Arched entrances.



**Figure 172.** Tudor Revival

## TUDOR REVIVAL

A popular romantic revival style from the first half of the 20th century, Tudor Revival was inspired by English Medieval architecture. The style is recognized by steeply pitched side-gabled or hipped roofs, with one or more front-facing, asymmetrically placed gables; stucco with half-timbering walls; rounded Tudor arch door openings; and windows that are tall and narrow, either double hung or casement, often with decorative leaded glass with stone mullions and trim. Common characteristics may also include:

- Stepped or crenelated parapets with limestone coping
- Entrances set within a Tudor arch opening
- Brick pattern work (e.g., herringbone)
- Limestone trim at fenestration openings
- Limestone gablets
- Limestone shield ornament
- Brick relief work.

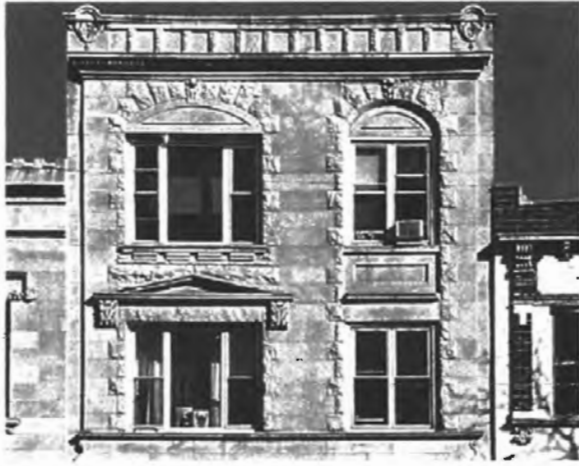


Figure 173. Beaux-Arts Classicism

## BEAUX-ARTS CLASSICISM

The style featured classical precedents and forms, lavish ornamentation, and heavy masonry. It was made popular by the 1893 World's Columbian Exposition and, subsequently, the City Beautiful Movement, responsible for America's grand public buildings of polished stone, from state capitols, courthouses, and city halls to train stations, libraries, and museums. Common architectural features can include:

- Masonry facades, usually of a smooth, light-colored, ashlar-cut stone
- Symmetrical facade
- First floors may be rusticated
- Flat or low-pitched roofs
- Wall surfaces ornamented with decorative garlands, floral patterns, or cartouches dripping with sculptural ornament
- Colossal columns or pilasters with Ionic or Corinthian capitals
- An exuberance of detail and variety of stone finishes
- Enriched moldings
- Windows framed by columns or pilasters, sometimes with a balustraded sill and/or pedimented entablature, and pronounced cornices and entablatures.



Figure 174. Late Classical Revival

## LATE CLASSICAL REVIVAL

The Late Classical Revival style was inspired by the 1893 World's Columbian Exposition in Chicago, which promoted classical forms and relied on stylistic details of the Greek Revival style. Classical Revival style buildings often have massive columns with classical Corinthian, Doric, or Ionic capitals topped by a front-facing pediment. The style was frequently used for civic, institutional, commercial, and residential buildings. Wall materials range from wood, brick, stucco, or stone, with smoother surfaces being more prevalent. Common architectural characteristics include:

- Symmetrical facade
- Smooth masonry exterior surfaces and an unadorned roof line
- Cornices lined with modillions and dentils
- Double-hung windows with lintels above
- Symmetrically arranged windows, often in pairs or groups of three
- Entrances centered on the facade
- Patterned brickwork
- Geometric, inset limestone ornamentation.



**Figure 175.** Neoclassical

## NEOCLASSICAL

This style is similar to Classical and Greek Revival but is more monumental and ornate compared to its simpler predecessors. Typical architectural characteristics include:

- Temple-front entry on civic, institutional, and commercial buildings
- Columns of the Ionic and Corinthian Orders
- Exaggerated broken pediments
- Classical symmetry
- Dentillated cornices.



**Figure 176.** Spanish Revival

## SPANISH REVIVAL

The Spanish Revival style results from the traditional Spanish architectural themes of Spain's American colonial settlements. Other architectural details may be derived from later periods of Spanish architecture and reference Moorish, Byzantine, Gothic, or Renaissance designs. Common architectural characteristics can include:

- Low-pitched, clay tile roofs or a shaped parapet
- Rounded arches
- Low relief carving at doorways, windows, and cornices
- Elaborately carved doors
- Decorative window grills of wood or iron
- Spiral columns
- Multi-paned windows
- Balconies or terraces.



**Figure 177.** Art Deco

## ART DECO

The Art Deco style is defined by its characteristic sharp edges and stylized geometrical details.

Typical architectural characteristics include:

- Sleek, linear appearance
- Low-relief decorative panels at the entrances, around windows, along roof edges, or as string courses
- Smooth building materials such as stucco, concrete block, glazed brick, or mosaic tile
- Stylized decorative elements using geometrical forms, zigzags, chevrons
- Bands of windows with decorative spandrels
- Reeding and fluting around doors and windows.



**Figure 178.** Mid-Century Modern

## MID-CENTURY MODERN

Mid-Century Modern design dominated American architecture after World War II.

Architects of modern design departed sharply from historical precedent and created new building forms. This style is defined by clean, linear, and sweeping lines, large expanses of glass exterior walls, deep eaves, and earth-toned materials. Mid-Century Modern emphasized creating structures with ample windows and open floor plans, with the intention of opening up interior spaces and bringing in the outdoors.

Common architectural characteristics include:

- Flat or extremely low-pitched gable roofs
- Angular details
- Asymmetrical facades
- Expansive walls of glass
- Strong emphasis on linear elements and bold horizontal and/or vertical features
- Use of common materials of brick, stone, wood, and glass.



**Figure 179.** Commercial Vernacular

## COMMERCIAL VERNACULAR

The term Commercial Vernacular is used to describe buildings that were not designed in any particular style, but rather the form of the building is dictated by its use and the function of the building dictated its design. Described as a monument to practicality, Commercial Vernacular buildings were constructed with inexpensive materials and used a limited amount of applied detail, popular during the historic development of the study area, including brick relief work/pattern, bay windows clad in embellished pressed metal cladding, and/or limestone trim and detailing.

# BEST PRACTICES AND RESOURCES

The following best practices and resources are provided for the benefit of property owners, developers, and other interest parties and are entirely voluntary.

## EXISTING BUILDINGS

### MASONRY REPAIR OR REPLACEMENT

Water-repellant or water-proof coatings should not be applied to structurally sound masonry. The application of a coating may be appropriate but will be dependent on the specific material used and the level of deterioration at the individual buildings.

It is not appropriate to paint historic or existing masonry unless part of an artwork installation. Best practices for the installation of artwork are provided on page 140.

When undertaking large-scale repairs or rehabilitation at the exterior, it is recommended that masonry be cleaned to remove retardant deterioration (soiling materials that are potentially harmful to the masonry), to provide a clean surface for repairs, for masonry inspection, or to improve appearance.

Cleaning masonry should be done using the gentlest effective means, avoiding the use of harsh acids or high-pressure water washing. Masonry should never be sandblasted or abrasively cleaned. Previously sandblasted masonry may require a protective coating. Cleaning products should be selected specifically for the type of masonry and type of soiling. Prior to cleaning a large area, smaller test panels should be undertaken to confirm that the selected cleaner is appropriate.

### ARCHITECTURAL METAL CLADDING REPAIR AND REPLACEMENT

Proper surface preparation and the application of protective coatings, where appropriate, are key for the long-term care of architectural metal. Some metals must be painted for protection, including cast iron, steel, and tin, while others, such as copper, bronze, aluminum, and stainless steel, should be left unpainted.

- Deteriorated paint on painted metal surfaces should be removed using appropriate methods, including wire brushing for non-decorative elements exhibiting light rust or chemical paint removal for heavier built-up paint.
- Severe corrosion of historic architectural metal may require that entire sections or features of metalwork be removed and carefully repaired off-site before reinstallation.
- Newly cleaned metal should be immediately protected with a rust-inhibiting primer. Alkyl-based enamel paints are recommended for finishing iron alloys. Latex and other water-based paints are not recommended.

## RETROFITTING THE EXTERIOR OF A CHARACTER BUILDING FOR ENERGY EFFICIENCY

The following guidelines are recommended standards and best practices to assist owners of historic buildings in the SCOD who are seeking ways to make their character buildings more energy efficient. This guidance will help property owners make informed decisions when considering energy efficiency improvements to their buildings.

A comprehensive analysis of the entire building envelope, its systems and components, its site and environment, and a careful evaluation of prioritized upgrades and goals should be completed before undertaking a retrofit. Treatments common to new construction need to be evaluated carefully before implementing them.

Historic building construction methods and materials often maximized natural sources of heat, light, and ventilation to respond to local climatic conditions. The key to a successful rehabilitation project is to understand and identify the existing energy-efficient aspects of the historic building, as well as the identification of the building's character-defining features to ensure they are preserved.

These guidelines advise on minimal, nonintrusive exterior treatments that can supplement the inherent sustainable qualities of a historic building to further improve energy efficiency through the reduction of air leakage and consideration of alternative energy sources.

### Reduce Air Leakage

Leakage of air into a building can account for 5% to 40% of space-conditioning costs and can be especially problematic in historic buildings because it is closely linked to an increase in moisture infiltration into building systems.

To reduce air leakage, consider the following treatments:

- Seal or "draft proof," as appropriate, any existing chases or shafts to the exterior.
- Install weatherstripping to doors and windows.
- Seal open cracks and joints at the base of walls and around windows and doors.
- Ensure mortar in masonry buildings is in good condition without cracks or areas of missing mortar, as damaged mortar allows air infiltration.
- Install insulation in the attic or roof. Heat loss and gain caused by increased interior/exterior temperature differentials are greatest at the top of a building. Subsequently, reducing heat transfer through the roof or attic, including access doors, should be one of the highest priorities in increasing energy efficiency in a historic building.
- Insulate basements and crawl spaces. Determine if a basement or crawl space is part of the conditioned space and, therefore, within the thermal envelope of the building. If these areas are outside the thermal envelope, insulating between the floor joists on the underside of the subfloor is generally recommended, and all gaps between the unconditioned and conditioned areas of the building should be sealed. If these areas contain mechanical equipment, or if high levels

of moist air enter the areas through vents during the summer months, it is recommended to include the area within the thermal envelope. Subsequently, it may be recommended that all vents be sealed and access doors weather-stripped to reduce air leakage.

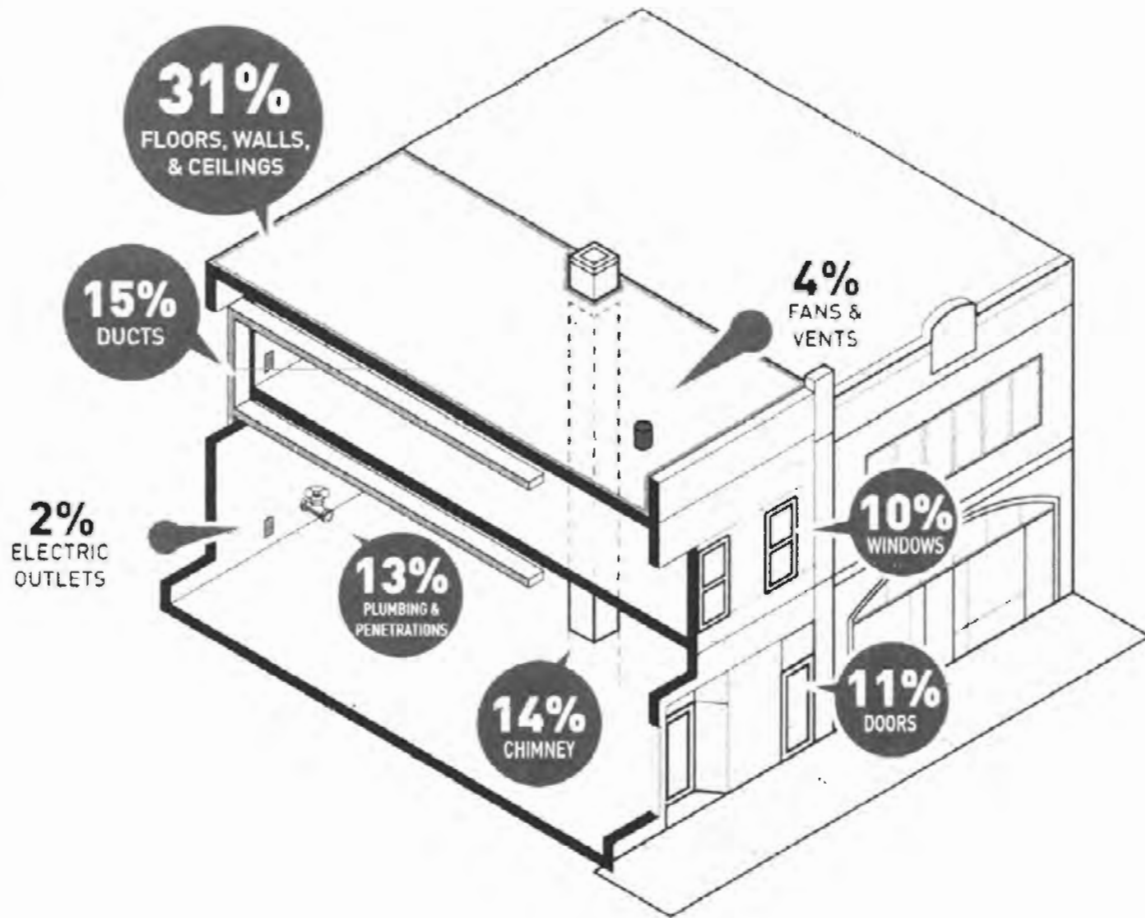
- Install storm windows at non-storefront windows. The addition of metal or wood exterior or interior storm windows at storefronts and non-storefront windows is encouraged to increase the thermal performance and protect historic windows. The following design aspects of a storm window should be considered:
  - Use clear, non-tinted, Low-E glass to increase the thermal performance of the window assembly without impacting historic material or character-defining features.
  - For exterior storm windows, install a double-hung storm window with clear upper and lower sashes, without muntins, so the storm window does not obstruct the view of the existing prime window.
  - For windows that open outward or storefront windows, install an interior storm window to improve energy efficiency.
- Install interior glazing rather than replacing windows at storefront windows. Replacing the original glazing with insulated glazing for energy conservation may involve the installation of new frames that may alter or damage the historic architectural features of the storefront. If it is necessary to install new insulated windows, the design of the new

storefront windows should follow the guidelines provided on page 29 of this document.

- Weatherstrip exterior doors and consider the use of insulated glazing for replacement doors.
- Add exterior awnings and/or interior shades, where appropriate. Awnings and other shading devices can provide a considerable reduction of heat gain through windows and storefronts. Keeping existing awnings, or replacing them, if previously removed, is a relatively easy way to enhance the energy performance of a building. Awnings should only be installed when they are compatible with the building type and character. Additional information on the compatibility and the design of awnings in the SCOD can be found on page 136 of this document. A wide range of interior shades are available for use in all types of buildings to control heat gain or loss through windows, as well as lighting levels. When properly installed, shades are a simple and cost-effective means of saving energy while maintaining the use of natural light.

**Seal and insulate ducts and pipes** As much as 35% of the conditioned air in an average central air conditioning system may escape from the unsealed or uninsulated ducts, resulting in a significant amount of wasted energy. Care must be taken to completely seal all connections in the duct system and adequately insulate the ducts, especially in unconditioned spaces such as attics, basements, and crawlspaces, as conditioned spaces.





**Figure 180.** Where air escapes from a building by percentage - image based on data from Energy Savers, U.S. Department of Energy

**Consider Alternative Energy Sources**

Devices that utilize solar, geothermal, wind, and other sources of energy to help reduce the consumption of fossil fuel-generated energy can often be successfully incorporated in historic building retrofits. However, if the alterations or costs required to install these devices do not make their installation economically feasible or would damage or alter significant historic material or character-defining features, their installation is not recommended. The installation of such equipment should only be pursued after all other upgrades have been implemented to address energy efficiency.

In addition to the preservation of building

elements that inherently feature a passive solar design, only the use of active solar collectors or photovoltaic panels is recommended in the SCOD. Only the installation of active solar devices is recommended due to the prevalence of large flat roofs with high parapets that allow solar panels to be installed without being prominently visible and impacting the historic and architectural integrity of the corridor and the individual buildings. The feasibility of installing solar devices on buildings within the SCOD will depend on installation costs, conventional energy rates, and available incentives.



**Figure 181.** Example of geothermal energy being incorporated into a historic building (National Endowment for the Humanities)



**Figure 182.** Example of solar devices installed onto a historic commercial building (OnSite Energy, Inc.)

## FIRST FLOOR FACADES

### ENTRANCES/DOORS TO UPPER FLOORS

New security grilles should be located on the interior of the glass, if possible. Exterior grilles should be placed as inconspicuously as possible. For security measures, simple metal grilles or acrylic or Lexan sheet glazing may also be considered. Such glazing can also be installed over existing doors to increase the energy efficiency of the building.

Preservation of existing exterior historic doors, including entrance doors to storefronts or upper floors is encouraged. Historic materials that are damaged beyond repair should be replaced in kind or with compatible replacement materials.

## UPPER FLOOR FACADES AND ROOFS

### WINDOWS

Preservation of historic or existing windows and masonry openings is encouraged. If possible, historic windows or window components, including the frame, sashes, sills, and brick mold, should be retained and repaired.

To ensure the longevity of historic windows and increase their lifespan, it is recommended to conduct regular evaluations of the window, including condition of the paint, condition of the frame and sill, condition of the sash, glazing problems, hardware, and the overall condition of the window, to determine an appropriate repair and maintenance plan. Regular or cyclical maintenance of the windows should then be conducted based on the evaluation and established maintenance plan.

Necessary repairs should be made using stabilization and splicing repair techniques.

If fully restoring historic windows, consider making the windows thermally efficient such as by adding a high-quality storm window. In certain cases, an additional layer of glazing can be added to steel windows to improve the thermal efficiency of the existing window.

Original openings that have been infilled with siding, glass block, or masonry are encouraged to be replaced with new windows to match the character of the building.

## ADDITIONS TO CHARACTER BUILDINGS

### MATERIALS

New materials should be compatible in character, color, and texture with the existing building and the SCOD. Additions may use contemporary materials, such as glass, metal, and wood, while maintaining a form and scale that is appropriate to the existing building.

The use of color and texture as a finish should be appropriate to the building or used as accents and not detract from the character of the SCOD or individual building.

## NEW CONSTRUCTION

### GROUND FLOOR ENTRIES AND STOREFRONTS

Maintain the rhythm and prominence of ground floor commercial entrances by providing separate entrances to access private uses on the upper floors of a building. Entrances to upper floors should be offset and/or setback from the commercial entrance at the front facade to maintain the existing hierarchy between public and private entrances.

Additional architectural articulation of the storefront is encouraged through the use of transom windows, masonry piers, and a cornice or belt course between the first floor and second floor.

The design should be simple and contemporary and avoid exaggerated design motifs, replications, elements not found in the SCOD, and blank walls lacking fenestration on primary facades.

### BUILDING LIGHTING

All new fixtures and wiring should be integrated with architectural elements to the greatest extent. Exterior surface-mounted transformer boxes, raceways, and conduit should be avoided.

## STOREFRONT EXTERIOR FLOORING

Historically, flooring (e.g., tile, terrazzo, etc.) located in the recessed vestibule of a storefront entrance was prevalent throughout the SCOD, with several historic and new examples remaining today that significantly contribute to the character of the SCOD. While not required, the installation of storefront exterior flooring within recessed entrance openings is encouraged.



**Figure 183.** Acceptable example of historic storefront flooring



**Figure 184.** Acceptable example of new storefront flooring

## AWNINGS

While not common in the SCOD today, awnings, defined as a roof-like structure of fabric or similar non-rigid material attached to a rigid frame that is supported completely or partially by either an exterior building wall or wall exterior, were historically prevalent in the SCOD and used to protect individual storefronts.

The use of awnings is encouraged in the SCOD as they are easy to remove or retract. All awnings must comply with the Chicago Zoning Ordinance and the Chicago Building Code, and must obtain a permit for the use of the public right of way from the City of Chicago Department of Business Affairs and Consumer Protection.

### AWNINGS

Awnings should not project more than seven feet.

Triangular-type awnings should be used, in lieu of waterfall, concave, box, or other exaggerated-shaped awnings

Internally illuminated awnings should not be utilized.

Fixed or retractable shed-type awnings should be mounted in a location that respects the design of the building, such as in the area just above the storefront windows and between columns. Awnings should be mounted within masonry openings and not obscure or overlap character-defining features (e.g., window or door surrounds).



✓ **Figure 185.** Acceptable example of retractable awning replacement



✗ **Figure 186.** Unacceptable example of replacement awning as it is not located within the existing masonry opening

## BUILDING SIGNAGE

Signage is a significant component of the character of the SCOD. Existing historic signage in the district includes masonry plaques inset and integrated into the design of some historic building facades, painted wall signs, and distinctive projecting signs, including neon. Signage in the study area includes hanging or projecting signs, awnings, cabinet signage, channel letters, wall signs, and storefront window signage.

The following best practices provide guidance for new and existing signage within the SCOD.

### BUILDING SIGNAGE

New signs on character buildings are encouraged, but should avoid damage to any historic fabric. Fittings should penetrate mortar joints rather than masonry, for example, and sign loads should be properly calculated and distributed.

Signage should be concentrated at the street level close to the entrance of the building. Signage at the upper floors of the facade should only be considered where the premises may be limited in sign location at street level, as they will be visible over an extended distance and are not related to the street or entrance level of the premises. In certain cases, signs on commercial buildings along arterial streets may be placed higher on a facade when it is determined that the sign will not have a negative impact on the design or design elements of the facade. The illumination of signs on upper floors should be limited to the brightness of lower level signs.

Illuminated signs or any sign which is lighted by artificially generated light, either directly or indirectly, with an opaque or non-transparent background and routed lettering (letter or logo cut out of a specified sign material) may be appropriate. For illuminated signs, the following best practices and recommendations should be considered:

- Illumination of a sign should be done with the objective of achieving a balance between the architecture, character of the SCOD, and the sign.
- Halo illumination should be considered as an alternative to other types of internally illuminated signs.
- The use of internally illuminated sign faces should be limited to individual cut-out letters. The use of large panel internally illuminated signs is not recommended.

Hanging signs, blade signs (a projecting sign mounted on a building facade or storefront pole or attached to a surface perpendicular to the normal flow of traffic), or banner signs (any piece of fabric displaying a distinctive insignia, identifying wording, and/or symbolic representation of a business, service, or activity) are compatible with the character of the SCOD and are encouraged.

Projecting a sign from the building wall should be attuned to the mass and scale of the building to which it is attached. Projecting signs will be subjective to additional requirements under sec. 17-12-1005-F Projecting Signs of the Chicago Zoning Ordinance.

**BUILDING SIGNAGE CONTINUED**

Lettering on storefront glazing and individual lettering is encouraged but should be proportional to the size of the storefront glazing.

Signage on awnings is permitted and is recommended to be located on the valance.

The overall sign design should be considered as an integral part of the building facade. The new sign should be coordinated with the overall facade composition, including facade articulation and architectural detailing, and relate to the scale of the storefront windows. A sign should preserve, complement, or enhance the architectural composition and features of the building and not obscure or damage character-defining features of a building, if being installed on an existing building.

Rooftop or wall billboards and flashing or moving signs are not encouraged.

For larger buildings with multiple retail businesses, a master sign plan that defines the location, number, size, materials, illumination method, and graphic standards of all signs on the property is encouraged.

## GUIDELINES FOR THE REPAIR, MAINTENANCE, AND ADAPTIVE REUSE OF HISTORIC SIGNS:

### Repair and Maintenance

Maintenance of historic signs is essential for their long-term preservation and should include cyclical inspections for evidence of damage and deterioration such as burnt out lightbulbs, loose, weakened, or missing anchors, water damage, deterioration of electrical connections, and pest removal (e.g., birds or insects). Many of these items are considered minor or routine repairs if the sign is properly maintained and deterioration is addressed in a timely manner. For more extensive repairs and techniques for specific sign materials, it is recommended to refer to the National Park Service's "Preservation Brief 25: The Preservation of Historic Signs." This document should be used for reference only, as more extensive and technical repairs require a qualified sign restoration professional.

### Adaptive Reuse

The Vintage Sign Ordinance, Sections 17-15-0640 and 17-15-0650 of the Chicago Zoning Ordinance, was adopted in 2023 and provides a pathway for legalizing and maintain nonconforming signs, including abandoned nonconforming signs, that represent important elements of the City's heritage and enhance the character of the community. Reuse of historic signs may not be permitted in all cases, and any such reuse must adhere strictly to the City's Sign Ordinance.

If a building or business has changed hands, historic signs associated with former enterprises in the building should be reused if possible and the historic sign left unaltered. The advertising value of a vintage sign can be immense, especially if the sign serves as a distinguishing feature of the community and the building's history.

If the historic sign is retained, it will preferably be left in its existing location, though it may be necessary to move the sign elsewhere on the exterior of the building to accommodate a new one. Conversely, it may be necessary to relocate new signs to avoid hiding or overwhelming historic ones, or to redesign proposed new signs so that the old ones may remain. Prior to any alteration or relocation, verify if the existing sign would be considered non-conforming or an abandoned non-conforming sign. Refer to sec. 17-15-0503: Continuation of Nonconforming Signs and 17-15-0506: Abandoned Nonconforming Signs.

It may also be possible to modify the existing sign for use with the new business. This may not be possible without destroying essential features, but in some cases, it can be done by changing details only (e.g., the configuration of letters).

If none of the above options are possible, the sign may also be relocated to the interior to serve as a central design feature so it may be preserved on site, in lieu of demolition or removal.

## INSTALLATION OF ARTWORK AT EXTERIOR FACADE:

A significant characteristic in the public realm of Milwaukee Avenue is the presence of artwork, including building murals and painted storefronts. Murals are predominantly located in the southern segment of the study area, from Armitage to Fullerton avenues, on side walls of buildings that have been exposed following the demolition of an adjacent building. Painted storefronts are interspersed throughout the study area and are predominantly located on non-historic storefronts that have a greater amount of solid wall surface.

These design guidelines encourage the use of building artwork on existing and new buildings in the SCOD. Specifically, masonry may be stained or painted with an appropriate product or artwork may be installed on removable boards mounted to the exterior wall and anchored into the mortar joints. For property owners who wish to apply artwork directly to the exterior of their building, the following guidelines provide a step-by-step guide for how to appropriately install artwork while maintaining the historic materials of the building:

1. Define the art installation, including:
  - a. Identify the proposed location of the mural and, subsequently the type of material the mural will be installed on (also referred to as the substrate), its construction method, and the material's method for draining water.
  - b. Identify the expected service life of the mural (e.g., temporary or long-term).
  - c. Determine the application approach/type. See #5 below regarding appropriate coatings.
2. Next, the selected location of the mural should be inspected and assessed for any signs of deterioration (e.g., efflorescence, cracking, discoloration, staining, mold, distorted lintels, etc.).
3. If any signs of deterioration are observed, repairs should be made to correct the condition prior to the installation of the mural. A long-term maintenance plan should also be developed for the installation material and the mural. For example: What will happen when the building needs to be repointed? What is the inspection plan for the mural? How will touch-ups be undertaken?
4. Once any repairs to the substrate have been completed and a maintenance plan developed, the substrate should be prepped, including cleaning the material of any dirt or debris and removing any previous coatings that may cause a poor bond or lower permeability that may affect the application of a new coating. Guidelines for cleaning masonry may be found on page 23 of this document.
5. When it is time to install the mural, a "permeable" or "breathable" coating should be used. Breathable paint, also known as permeable or vapor-permeable paint, is a specialized type of coating designed to allow the passage of moisture vapor through walls. For short-term installation, coatings such as milk paints, chalk paints, or limewash are appropriate. For longer-term murals, 100% acrylic paints, mineral silicates, or masonry/mineral brick stains may be considered.
  - a. Coatings that should be avoided include: latex paints; "masonry paints," as they are intended to bond well to masonry and do not provide a safe or breathable coating; cement-based parings/stuccos; and any non-breathable coating (e.g., latex, enamel, epoxy-based coatings, or anything with a low vapor permeance).

# ACKNOWLEDGMENTS

## Prepared By:

Chicago Department of Planning  
and Development (DPD)

### Management Team:

- Carmen Martinez, Supervising Planner
- Louis Clayton, City Planner

### Consultant Team:

- site design group, ltd. (*site*)
- McGuire Iglesias & Associates, Inc. (MIA)
- Goodman Williams Group Inc. (GWG)
- Borderless Studio, LLC

## Key Advisors:

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John Law, DPD	Gabriela Jirasek, DPD (Communications & Outreach)
Noah Szafraniec, DPD	Joseph Giovannetti, DPD (Communications & Outreach)
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Mark Siegel, Department of Law	

## Working Group Member Organizations:

### City Departments:

- Chicago Department of Planning & Development (DPD), Zoning Bureau

### Elected Officials:

- 1<sup>st</sup> ward, Ald. Daniel La Spata
- 32<sup>nd</sup> ward, Ald. Scott Waguespack
- 35<sup>th</sup> ward, Ald. Carlos Ramirez-Rosa

### Advocates: Special Interest Groups:

- Chicago Metropolitan Agency for Planning (CMAP)
- Avondale Chamber of Commerce
- Logan Square Chamber of Commerce
- Greater Northwest Chicago Development Corporation

### Community-Based Organizations:

- Avondale Neighborhood Association
- Greater Goethe Neighborhood Association
- Logan Square Preservation
- Milwaukee Avenue Alliance
- Palenque LSNA (Liberating Spaces through Neighborhood Action)
- Northwest Arts Connection

# ADDITIONAL RESOURCES

## Existing Financial Incentives

## Development Review Checklist

AMENDMENT OF TITLE 17 OF MUNICIPAL CODE BY MODIFYING VARIOUS SECTIONS AND ADDING NEW SECTION 17-9-0130 REGARDING INDOOR EVENT VENUES.

(As Amended)

[SO2023-0005724]

(Committee Meeting Held July 16, 2024)

The Committee on Zoning, Landmarks and Building Standards submitted the following report:

CHICAGO, July 17, 2024.

*To the President and Members of the City Council:*

Presenting a report for your Committee on Zoning, Landmarks and Building Standards which held a meeting on July 16, 2024, the following items were passed by a majority of the members present:

Page 1 contains the appointment of Swathi Staley as a member of the Zoning Board of Appeals.

Page 1 also contains the appointment of Helen Shiller as a member of the Zoning Board of Appeals.

Page 1 further contains Document Number SO2024-0010154 for the establishment of the Milwaukee Avenue Special Character Overlay District on North Milwaukee Avenue, between North Western Avenue and North Ridgeway Avenue.

Page 1 further contains Document Number SO2023-0005724 for the amendment of Municipal Code Title 17 by modifying various sections regarding indoor event venues.

Page 1 further contains the historical landmark designation for Hyde Park Union Church located in the 5<sup>th</sup> Ward at 5600 South Woodlawn Avenue.

Pages 1 through 8 contain various map amendments in the 6<sup>th</sup>, 8<sup>th</sup>, 21<sup>st</sup>, 25<sup>th</sup>, 27<sup>th</sup>, 29<sup>th</sup>, 32<sup>nd</sup>, 34<sup>th</sup>, 35<sup>th</sup>, 38<sup>th</sup>, 39<sup>th</sup>, 40<sup>th</sup>, 41<sup>st</sup>, 43<sup>rd</sup>, 47<sup>th</sup> and 48<sup>th</sup> Wards. Document Number O2024-0010038 will be held in committee and also noting that Alderperson Conway recused himself from voting under the provisions of Rule 14 on Document Number O2024-0010036.

Lastly, page 8 contains two large signs over 100 square feet in area and 24 feet above grade in the 2<sup>nd</sup> Ward.

I hereby move for passage of the proposed substitute ordinance transmitted herewith.

Sincerely,

(Signed) BENNETT R. LAWSON,  
*Vice-Chair.*

On motion of Alderperson Lawson, the said proposed substitute ordinance transmitted with the foregoing committee report was *Passed* by yeas and nays as follows:

*Yeas* -- Alderpersons La Spata, Hopkins, Dowell, Robinson, Yancy, Hall, Mitchell, Harris, Beale, Chico, Lee, Ramirez, Quinn, Gutiérrez, Lopez, Coleman, Moore, Curtis, O'Shea, Taylor, Mosley, Rodríguez, Tabares, Scott, Sigcho-Lopez, Fuentes, Burnett, Ervin, Taliaferro, Cruz, Cardona, Waguespack, Rodríguez-Sánchez, Conway, Ramirez-Rosa, Villegas, Mitts, Sposato, Nugent, Vasquez, Napolitano, Reilly, Knudsen, Lawson, Gardiner, Clay, Martin, Manaa-Hoppenworth, Hadden, Silverstein -- 50.

*Nays* -- None.

Alderperson Mitchell moved to reconsider the foregoing vote. The motion was lost.

The following is said ordinance as passed:

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:**

**SECTION 1.** Section 17-3-0207 of the Municipal Code of Chicago is hereby amended by inserting the language underscored, and by deleting the language struck through, as follows:

**17-3-0207 Use Table and Standards.**

USE GROUP		Zoning Districts						Use Standard	Parking Standard
Use Category		B1	B2	B3	C1	C2	C3		
Specific Use Type									
P = permitted by-right S = special use approval required PD = planned development approval required - = Not allowed									
<i>(Omitted text is unaffected by this ordinance)</i>									
BB. Entertainment and Spectator Sports									
<del>6. Banquet or Meeting Halls</del>		-	-	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>		<del>§17-9-0207-P</del>
<u>6. Indoor Event Venues</u>		-	-	<u>S</u>	<u>S</u>	<u>S</u>	<u>S</u>	<u>§17-9-0130.1</u>	<u>§17-9-0207-P</u>

**SECTION 2.** Section 17-4-0207 of the Municipal Code of Chicago is hereby amended by inserting the language underscored, and by deleting the language struck through, as follows:

**17-4-0207 Use Table and Standards.**

USE GROUP		Zoning Districts				Use Standard	Parking Standard
Use Category		DC	DX	DR	DS		
Specific Use Type							
P = permitted by-right S = special use approval required PD = planned development approval required - = Not allowed							
<i>(Omitted text is unaffected by this ordinance)</i>							
BB. Entertainment and Spectator Sports (except as more specifically regulated)		P	P	-	P		
1. Indoor Special Event including incidental liquor sales		P	P	-	P		
2. Wagering Facility		<u>P/S</u>	<u>P/S</u>	-	<u>P/S</u>	§17-9-0110	§17-10-0208

<u>3. Indoor Event Venue</u>	<u>S</u>	<u>S</u>	<u>:</u>	<u>S</u>	<u>§17-9-0130.1</u>	<u>§17-10-0208</u>
(Omitted text is unaffected by this ordinance)						

**SECTION 3.** Chapter 17-9 of the Municipal Code of Chicago is hereby amended by inserting a new Section 17-9-0130.1, as follows:

**17-9-0130.1 Indoor Event Venues.**

**17-9-0130.1-A** New *indoor event venues* must be reviewed and approved in accordance with the *special use* procedures of Section 17-13-0900, in addition to receiving all applicable permits, licenses, or approvals necessary to the establishment of the *indoor event venue*. Each *special use* approval for an *indoor event venue* shall contain a provision indicating that such approval is issued and accepted subject to the representations made in the *special use* application.

**17-9-0130.1-B** The owner of every *indoor event venue* shall post diagrams, drawn to scale, showing the locations of the exits in the same locations as the occupancy signs required under Section 14A-8-802. The diagrams shall be made of a durable material, illuminated, and shall measure not less than 11 inches in width and 17 inches in height. Violators of this Section 17-9-0130.1-C shall be subject to a fine of not less than \$200 nor more than \$500 for each offense. Each day that a violation continues shall constitute a separate and distinct offense.

**17-9-0130.1-C** At no time may any live or recorded music be played or performed on the outdoor premises of an *indoor event venue*. Violators of this Section 17-9-0130.1-D shall be subject to a fine of not less than \$400 nor more than \$1,000 for each offense. Each day that a violation continues shall constitute a separate and distinct offense.

**17-9-0130.1-D** All lighting must be directed downward and shielded to prevent illumination of adjoining residential property.

**SECTION 4.** Section 17-10-207 of the Municipal Code of Chicago is hereby amended by inserting the language underscored and by deleting the language struck through, as follows:

**17-10-0207 Off-Street Parking Schedule 1: Neighborhood Zoning Districts.** Schedule "1" presents off-street parking standards for uses in neighborhood zoning districts (i.e., R, B, C and M districts). The off-street parking standards for downtown (D) zoning districts are presented in Sec. 17-10-0208 below. In the event of conflict between this schedule and zoning district use regulations (e.g., this schedule establishes a parking standard for a use not allowed in the underlying zoning district), the zoning district use regulations govern.

(Omitted text is unaffected by this ordinance)

District	Minimum Automobile Parking Ratio (per unit or gross floor area)	Minimum Bike Parking
(Omitted text is unaffected by this ordinance)		

<b>17-10-0207-P Parking Group P.</b>		
(Entertainment and Spectator Sports)		
B, C, M dash 1, 1.5, 2, 3	1 space per 10 persons capacity; none for live theater venues with less than 150 seats	1 per 10 auto spaces
B, C, M dash 5	<del>Banquet Halls:</del> <u>Indoor Event Venues:</u> 1 space per 10 persons capacity All other: None for first 35,000 square feet or 2 × lot area, whichever is greater, then 1.33 spaces per 1,000 square feet	
<i>(Omitted text is unaffected by this ordinance)</i>		

**SECTION 5.** Section 17-13-0902-B of the Municipal Code of Chicago is hereby amended by inserting the language underscored, as follows:

**17-13-0902-B Contents.**

*(Omitted text is unaffected by this ordinance)*

4. Indoor Event Venues. In addition to any other general information required to be submitted with a special use application, the following specific information must accompany any special use application for an indoor event venue:

(a) a traffic study or traffic management plan which sets forth methods to mitigate any potential adverse impact or effect on traffic flow or parking in the surrounding area;

(b) a plan of operation to mitigate any adverse impact or effect on the general welfare of the neighborhood or community;

(c) a security plan including provisions made for private security personnel and for handling emergencies, providing sufficient personnel and equipment to protect public safety at the premises; and

(d) proof of adequate off-street parking, as required under Chapter 17-10.

**SECTION 6.** Section 17-17-0104-L of the Municipal Code of Chicago is hereby amended by inserting the language underscored, and by deleting the language struck through, as follows:

**17-17-0104-L Entertainment and Spectator Sports.** Provision of cultural, entertainment, athletic, and other events to spectators. The following are spectator sports and entertainment use types:

1. Inter-Track or Sports Wagering Facility. A facility other than a race track at which wagering is conducted: (i) with respect to the outcome of a simultaneously televised horse race taking place at an Illinois race track or horse races of national or international interest held at race tracks in other states or countries, or (ii) with respect to the outcome of a professional sport or athletic

event, a collegiate sport or athletic event, a motor race event, or other event or competition of skill upon which wagering is permitted under the Sports Wagering Act.

2. Small Venue. *Entertainment and spectator sports* establishments, other than Inter-track Wagering Facilities, conducted within an enclosed building with a capacity of no more than 149 persons. Typical uses include small theaters ~~and meeting or banquet halls~~.

3. Medium Venue. *Entertainment and spectator sports* establishments, other than Inter-track Wagering Facilities, conducted within an enclosed building with a capacity of more than 149 and fewer than 1,000 persons. Typical uses include theaters ~~and meeting or banquet halls~~.

4. Large Venue. *Entertainment and spectator sports* establishments, other than Inter-track Wagering Facilities, with a capacity of 1,000 persons or more. Typical uses include large theaters, ~~and cinemas and meeting or banquet halls~~.

5. Indoor Event Venue. *Entertainment and spectator sports* establishments with the primary purpose of providing space that is rented, leased, or otherwise used, maintained, and held out to the public as a place for members of the public to host pre-arranged events that do not include activities requiring adult use registration and certification under Chapter 16-16 of this Code, including, but not limited to, weddings, receptions, fundraisers, banquets, dinners, lunches, breakfasts, and other gatherings. Indoor event venue does not include: (i) *eating and drinking establishments* hosting a private event; (ii) *hotels/motels* or other *lodging* use types; (iii) lodges or private clubs; (iv) religious assemblies; (v) *entertainment cabarets* or other participant sports and recreation use types; (vi) parks and recreation use types; (vii) other *entertainment and spectator sport* establishments, including theaters and cinemas; (viii) *industrial private event venues*; (ix) any business holding or required to hold a Public Place of Amusement License as defined in Chapter 4-156 of the Code; or (x) any other businesses hosting an *indoor special event* pursuant to a valid special event license issued pursuant to Article IV of Chapter 4-156 that is not otherwise an *indoor event venue*.

**SECTION 7.** This ordinance shall take full force and effect 10 days after passage and publication.

AMENDMENT OF TITLE 17 OF MUNICIPAL CODE BY RECLASSIFICATION OF  
AREAS SHOWN ON MAP NO. 1-H.

(Application No. 22488)  
(Common Address: 2100 -- 2110 W. Warren Blvd.)

[O2024-0010036]

(Committee Meeting Held July 16, 2024)

The Committee on Zoning, Landmarks and Building Standards submitted the following report:

CHICAGO, July 17, 2024.

*To the President and Members of the City Council:*

Presenting a report for your Committee on Zoning, Landmarks and Building Standards which held a meeting on July 16, 2024, the following items were passed by a majority of the members present:

Page 1 contains the appointment of Swathi Staley as a member of the Zoning Board of Appeals.

Page 1 also contains the appointment of Helen Shiller as a member of the Zoning Board of Appeals.

Page 1 further contains Document Number SO2024-0010154 for the establishment of the Milwaukee Avenue Special Character Overlay District on North Milwaukee Avenue, between North Western Avenue and North Ridgeway Avenue.

Page 1 further contains Document Number SO2023-0005724 for the amendment of Municipal Code Title 17 by modifying various sections regarding indoor event venues.

Page 1 further contains the historical landmark designation for Hyde Park Union Church located in the 5<sup>th</sup> Ward at 5600 South Woodlawn Avenue.

Pages 1 through 8 contain various map amendments in the 6<sup>th</sup>, 8<sup>th</sup>, 21<sup>st</sup>, 25<sup>th</sup>, 27<sup>th</sup>, 29<sup>th</sup>, 32<sup>nd</sup>, 34<sup>th</sup>, 35<sup>th</sup>, 38<sup>th</sup>, 39<sup>th</sup>, 40<sup>th</sup>, 41<sup>st</sup>, 43<sup>rd</sup>, 47<sup>th</sup> and 48<sup>th</sup> Wards. Document Number O2024-0010038 will be held in committee and also noting that Alderperson Conway recused himself from voting under the provisions of Rule 14 on Document Number O2024-0010036.

Lastly, page 8 contains two large signs over 100 square feet in area and 24 feet above grade in the 2<sup>nd</sup> Ward.

I hereby move for passage of the proposed ordinance transmitted herewith.

Sincerely,

(Signed) BENNETT R. LAWSON,  
*Vice-Chair.*

On motion of Alderperson Lawson, the said proposed ordinance transmitted with the foregoing committee report was *Passed* by yeas and nays as follows:

Yeas -- Alderpersons La Spata, Hopkins, Dowell, Robinson, Yancy, Hall, Mitchell, Harris, Beale, Chico, Lee, Ramirez, Quinn, Gutiérrez, Lopez, Coleman, Moore, Curtis, O'Shea, Taylor, Mosley, Rodríguez, Tabares, Scott, Sigcho-Lopez, Fuentes, Burnett, Ervin, Taliaferro, Cruz, Cardona, Waguespack, Rodríguez-Sánchez, Ramirez-Rosa, Villegas, Mitts, Sposato, Nugent, Vasquez, Napolitano, Reilly, Knudsen, Lawson, Gardiner, Clay, Martin, Manaa-Hoppenworth, Hadden, Silverstein -- 49.

Nays -- None.

Alderperson Mitchell moved to reconsider the foregoing vote. The motion was lost.

Alderperson Conway abstained from voting pursuant to Rule 14 of the City Council's Rules of Order and Procedure.

The following is said ordinance as passed:

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the RT4 Residential Two-Flat, Townhouse and Multi-Unit District symbols and indications as shown on Map Number 1-H in the area bounded by:

the public alley next north of and parallel to West Warren Boulevard; North Hoyne Avenue; West Warren Boulevard; and a line 154.90 feet west of and parallel to North Hoyne Avenue,

to those of an RM5 Residential Multi-Unit District.

SECTION 2. This ordinance takes effect after its passage and due publication.

AMENDMENT OF TITLE 17 OF MUNICIPAL CODE BY RECLASSIFICATION OF PARTICULAR AREAS.

(Committee Meeting Held July 16, 2024)

The Committee on Zoning, Landmarks and Building Standards submitted the following report:

CHICAGO, July 17, 2024.

*To the President and Members of the City Council:*

Presenting a report for your Committee on Zoning, Landmarks and Building Standards which held a meeting on July 16, 2024, the following items were passed by a majority of the members present:

Page 1 contains the appointment of Swathi Staley as a member of the Zoning Board of Appeals.

Page 1 also contains the appointment of Helen Shiller as a member of the Zoning Board of Appeals.

Page 1 further contains Document Number SO2024-0010154 for the establishment of the Milwaukee Avenue Special Character Overlay District on North Milwaukee Avenue, between North Western Avenue and North Ridgeway Avenue.

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Page 1 further contains the historical landmark designation for Hyde Park Union Church located in the 5<sup>th</sup> Ward at 5600 South Woodlawn Avenue.

Pages 1 through 8 contain various map amendments in the 6<sup>th</sup>, 8<sup>th</sup>, 21<sup>st</sup>, 25<sup>th</sup>, 27<sup>th</sup>, 29<sup>th</sup>, 32<sup>nd</sup>, 34<sup>th</sup>, 35<sup>th</sup>, 38<sup>th</sup>, 39<sup>th</sup>, 40<sup>th</sup>, 41<sup>st</sup>, 43<sup>rd</sup>, 47<sup>th</sup> and 48<sup>th</sup> Wards. Document Number O2024-0010038 will be held in committee and also noting that Alderperson Conway recused himself from voting under the provisions of Rule 14 on Document Number O2024-0010036.

Lastly, page 8 contains two large signs over 100 square feet in area and 24 feet above grade in the 2<sup>nd</sup> Ward.

I hereby move for passage of the proposed ordinance and substitute ordinances transmitted herewith.

Sincerely,

(Signed) BENNETT R. LAWSON,  
*Vice-Chair.*

On motion of Alderperson Lawson, the said proposed ordinance and substitute ordinances transmitted with the foregoing committee report were *Passed* by yeas and nays as follows:

*Yeas* -- Alderpersons La Spata, Hopkins, Dowell, Robinson, Yancy, Hall, Mitchell, Harris, Beale, Chico, Lee, Ramirez, Quinn, Gutiérrez, Lopez, Coleman, Moore, Curtis, O'Shea, Taylor, Mosley, Rodríguez, Tabares, Scott, Sigcho-Lopez, Fuentes, Burnett, Ervin, Taliaferro, Cruz, Cardona, Waguespack, Rodríguez-Sánchez, Conway, Ramirez-Rosa, Villegas, Mitts, Sposato, Nugent, Vasquez, Napolitano, Reilly, Knudsen, Lawson, Gardiner, Clay, Martin, Manaa-Hoppenworth, Hadden, Silverstein -- 50.

*Nays* -- None.

Alderperson Mitchell moved to reconsider the foregoing vote. The motion was lost.

The following are said ordinances as passed (the italic heading in each case not being a part of the ordinance):

*Reclassification Of Area Shown On Map No. 1-M.*  
(Application No. 22453)  
(Common Address: 30 N. Menard Ave.)

[O2024-0009506]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the RS3 Residential Single-Unit (Detached House) District symbols and indications as shown on Map Number 1-M in the area bounded by:

a line 329 feet south of and parallel to West Washington Boulevard; North Menard Avenue; a line 379 feet south of and parallel to West Washington Boulevard; and the public alley next west of and parallel to North Menard Avenue,

to those of an RT4 Residential Two-Flat, Townhouse and Multi-Unit District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

---

*Reclassification Of Area Shown On Map No. 2-G.*  
(As Amended)  
(Application No. 22439T1)  
(Common Address: 112 S. Sangamon St.)

[SO2024-0009018]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all of the DX-5 Downtown Mixed-Use District symbols and indications as shown on Map Number 2-G in the area bounded by:

a line 126.1 feet south of and parallel to West Monroe Street; South Sangamon Street;  
a line 183 feet south of and parallel to West Monroe Street; and the alley next west of  
and parallel to South Sangamon Street,

to those of a DX-5 Downtown Mixed-Use District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and publication.

[ALTA/NSPS Land Title Survey; Existing First Floor/Site Plan;  
Existing Roof Plan; Proposed 5<sup>th</sup> Floor Plan; North, South,  
East -- Sangamon Street; and West -- Alley  
Building Elevations attached to this  
ordinance printed on pages 14740  
through 14747 of this *Journal*.]

Type 1 Narrative Rezoning Analysis attached to this ordinance reads as follows:

# Final for Publication

## SUBSTITUTE NARRATIVE AND PLANS TYPE I REZONING 112 S. SANGAMON STREET

The Applicant is proposing is proposing a Type I Zoning Map Amendment from a DX-5 Type I Downtown Mixed-Used District (now lapsed) to a DX-5 Type I Downtown Mixed-Used District. The property is improved with a 4-story, commercial office building. The subject property has a site area of 6,882.78 square feet.

The Applicant proposes to rezone the property to a DX-5 district to allow the construction of a fifth floor addition with three (3) dwelling units. The height will be 72 feet and .5 inches (75 feet, 10 and ¼ inches to the top of the parapet).

Pursuant to Sec. 17-3-0308-B, the parking requirement will be 3 parking spaces. There is one (1) existing parking space. The site is transit served location, approximately 2,126 feet from the Racine Avenue Station of the CTA Blue Line. The applicant is submitting a type I zoning change to seek the "Optional Administrative Adjustment and Variation" per section 17-13-0303-D. Specifically, the applicant will seek an administrative adjustment, per section 17-13-1003-EE, to reduce the number of required parking spaces to 1.

Proposed Zoning:	DX-5 Downtown Mixed-Used District
a.) <u>Floor Area and Floor Area Ratio</u>	
Lot Area	6882.72 sq. ft.
Total building area	29,372 sq. ft.
FAR	4.27
b.) <u>Residential Dwelling Units</u>	
Density (Minimum Lot Area per Dwelling Unit)	3 2,294.26 sq. ft.
c.) <u>Building Height</u>	72'-½" (75'-10 ¼" to the top of the parapet)
d.) <u>Off-street parking</u>	1 by administrative adjustment Sec. 17-13-1003-EE for Transit Served Locations
e.) <u>Loading</u>	0 by waiver
f.) <u>Setbacks (existing)</u>	
Front	0
Rear	0
Side	0
Front	0

Final for Publication

5812 W. HEDGINS AVENUE  
CHICAGO, ILLINOIS 60630



# MM SURVEYING CO., INC.

PROFESSIONAL DESIGN FIRM No. 184-003233

## ALTA/NSPS Land Title Survey

PHONE: (773) 262-8993  
FAX: (773) 262-4044  
WWW.MM-SURVEYING.COM

THAT PARCEL OF LAND LYING SOUTH OF THE NORTH 126.10 FEET OF THAT TRACT OF LAND DESCRIBED AS FOLLOWS: LOTS 1, 2, 3 AND 4 ACROSSY THE NORTH 17 FEET TRACT AND (EXCEPT THE WEST 7 FEET OF SAID LOTS TAKEN FOR ALLEY) IN BLOCK 7 OF DONICAMP'S ADDITION TO CHICAGO, IN THE EAST 1/2 OF THE WESTERN 1/4 OF SECTION 17, TOWNSHIP 29 NORTH, RANGE 14, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 112 S. SANGAMON ST., CHICAGO, ILLINOIS

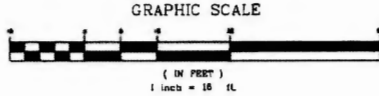
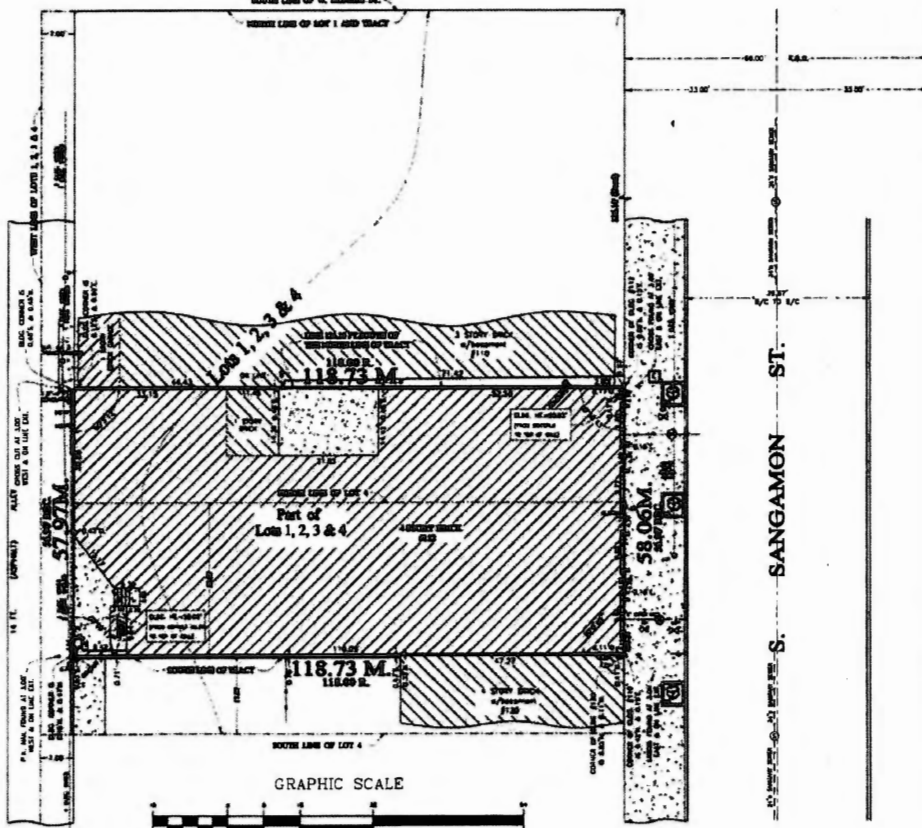
P.E.N. 17-17-212-810-6000

TOTAL LAND AREA - 6,889 sq. ft. = 0.159 acrs, more or less  
BUILDING FOOTPRINT - 4,204 sq. ft.

W. MONROE ST.

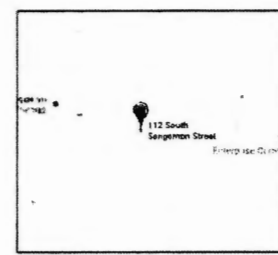
### LEGEND

- SURVEY LINE
- BOUNDARY LINE
- EASE LINE
- EASE LINE
- EASE LINE
- BRICK FOOTING
- CONCRETE FOOTING
- SIDE OF CURB
- SIDE OF CURB
- DRIVE WAY TO CURB
- SIDE FENCE
- SIDE FENCE
- UTILITY POLE SYMBOLS
- WALL LIGHT
- ELECTRIC POLE MARK SYMBOL
- WATER POLE MARK SYMBOL
- GAS POLE MARK (YELLOW)
- OTHER POLE MARK (ORANGE)
- CONCRETE FINISH STAMPS
- WALL LIGHT/SPOT LIGHT
- STREET SIGN
- POINT OF BEGINNING
- POINT OF COMMENCEMENT
- EXHIBIT SIGN
- DOWNPOUT
- SE-PISTON CURB
- UNIDENTIFIED MANHOLE
- SEWER MANHOLE
- GUYOT BUSH
- WATER MANHOLE
- COIN MANHOLE
- ELECTRIC MANHOLE
- GAS VALVE
- WATER VALVE
- FINE HYDRANT
- CENTER LINE
- TREE (DIAMETER)
- FURNACE OIL TANK
- HOLE
- CONCRETE FOUNDATION, WELLS, ETC.
- AIR CONDITIONING UNIT
- TOP OF FOUNDATION
- IMPROVED TREE (DIAMETER)
- STREET LIGHT
- LANDSCAPED SPACE
- TRAFFIC LIGHT
- DEGREE TAP
- CONTROL VALVE
- METAL CLAMP
- SPINNIER CONTROL VALVE
- BNC LINE



**FLOOD INFORMATION - THE FIRM HAS**  
 THE PROPERTY DESCRIBED ABOVE IS NOT IN A SPECIAL FLOOD HAZARD AREA. FLOODING MAPS ON PROPERTY: 501. MAP INFO: STATE MAP. COMMUNITY NAME: CHICAGO, CITY OF. COMMUNITY NO.: 12002. COMMUNITY PANEL: 6115. MAP NUMBER: 1201001. EFFECTIVE DATE: MARCH 11, 2008. FLOOD ZONE: F. BASE FLOOD ELEVATION FROM FIRM (E2 SPTS): 5/2 AND 10B.

ALL DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.



### VICINITY MAP

**STATE OF ILLINOIS - TITLE COMMITMENT**  
 \*No Agreement made by Frank B. Hedgins with Frank Hedgins, executed January 29, 1936 or December 1937, A property well between the North 20 feet of Lot 4 of Block 7 of the North 17 feet of Lot 4.  
 \*No Agreement made December 29, 1936 and amended January 3, 1936 on December 1937 and by subsequent Decisions, 8, 9, 10 and 11 of the Illinois State Board of Land Surveyors, a corporation of Illinois, which by the terms of the agreement were to be completed before the expiration of a certain period to be fixed by the State Board of Land Surveyors, as amended by 6.27 and by 6.27 Stat., as amended as amended by Chicago Survey Co. dated November 18, 2008.  
 \*No Amendment of a survey which building located entirely on the land into the Public Highway was and amended by 6.17 Stat., as amended as amended by Chicago Survey Co. dated November 18, 2008.  
 \*No Amendment of a survey which building located entirely on the land into the Public Highway was and amended by 6.17 Stat., as amended as amended by Chicago Survey Co. dated November 18, 2008.  
 \*No Right of public or quasi-public utility, easement, or other interest in the land.

**ITEM FROM TABLE 'A'**  
 ITEM 18: THERE WAS NO PARKING SPACE/AREA FOUND WITHIN THE SURVEYED PROPERTY.  
 ITEM 19: THERE WAS NO EVIDENCE OF RECENT (WITHIN 30 DAYS) BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FOLLOWING:  
 ITEM 20: THE SURVEYOR AND THE CLIENT AGREE ON THE TERMS OF SIGNING ONLY THE VISIBLE ABOVE-DISCUSSED SYMBOLS ON THE PLAN OF SURVEY.

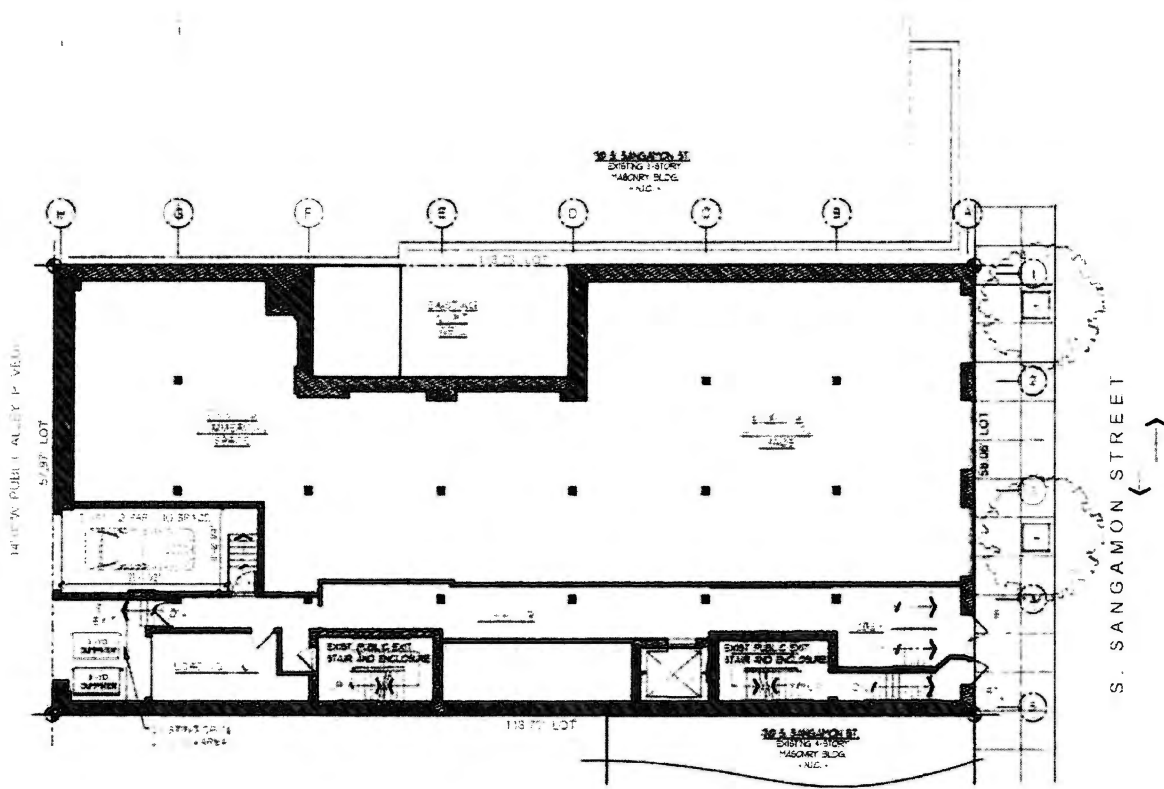
**STATE OF ILLINOIS - TITLE COMMITMENT**  
 \*No Amendment of a survey which building located entirely on the land into the Public Highway was and amended by 6.17 Stat., as amended as amended by Chicago Survey Co. dated November 18, 2008.  
 \*No Right of public or quasi-public utility, easement, or other interest in the land.

SEEK COMMITMENT PROVIDED BY SURVEYOR UNDER MINORITY COMPANY BY THE FIELD WORK WAS COMPLETED ON OCTOBER 03, 2018.

Order No. **85182**  
 Scale: 1 inch = **16** FEET  
 Field Completion Date: **OCTOBER 03, 2018**  
 Ordered by: **GENESEE, BARN & WHEATMAN, L.P.C.**

TO: 112 S. SANGAMON, L.L.C., an Illinois limited liability company  
 THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2018 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 1, 2, 3, 4, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON OCTOBER 03, 2018.  
 DATE: \_\_\_\_\_  
 SIGNATURE: \_\_\_\_\_  
 REGISTRATION NO. **35-0758**  
 LIC. EXP. 11/30/2018

# Final for Publication



EXISTING FIRST FLOOR/SITE PLAN

**CARR WARNER**  
ARCHITECTS

773.477.9009



0 9 15 30

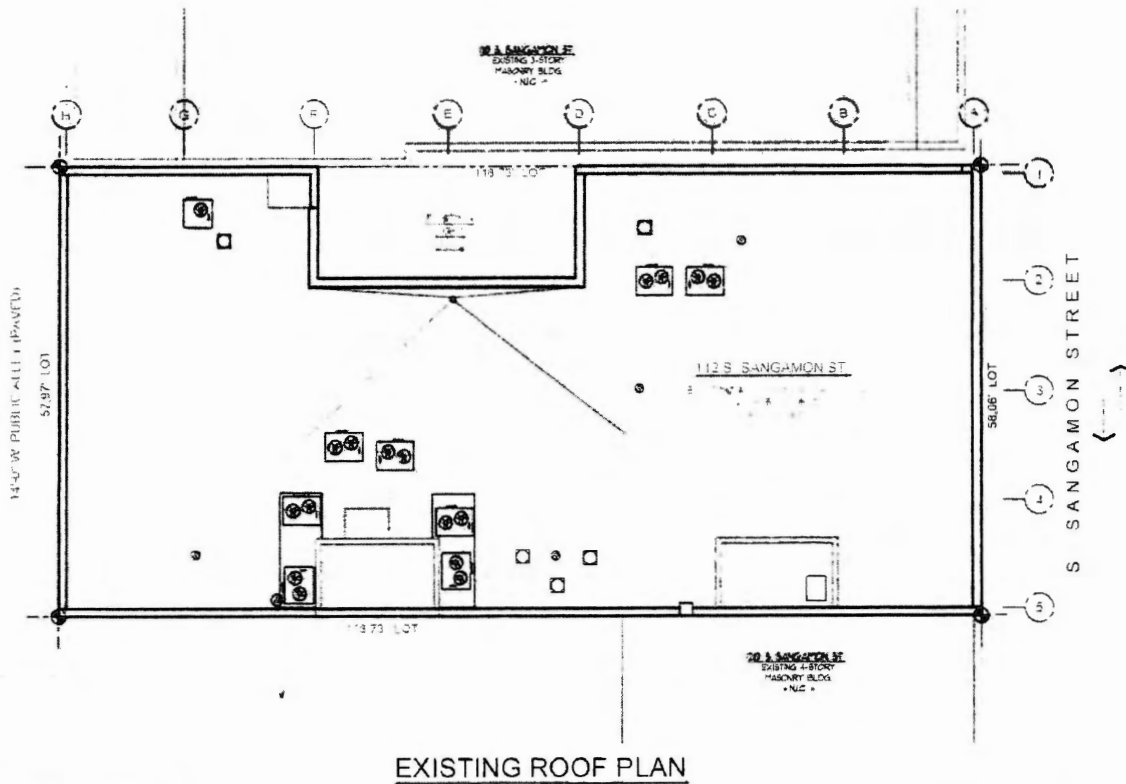
SCHEMATIC DESIGNS - Z8A

112 S. SANGAMON ST.

1/8" = 1'-0"

02.08.24

# Final for Publication



EXISTING ROOF PLAN

CARR WARNER

ARCHITECTS

773.477.8009

SCHEMATIC DESIGNS - ZBA

112 S. SANGAMON ST.

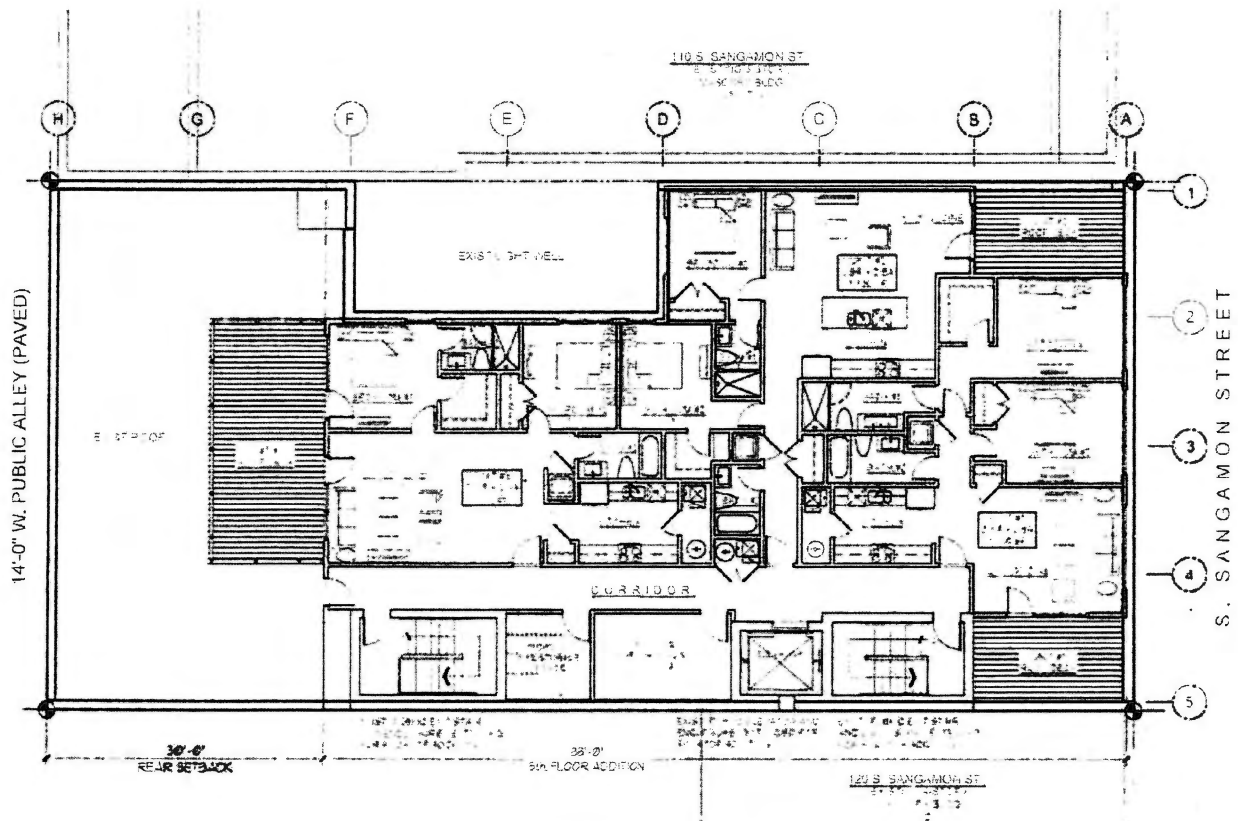


0 5 15 30

1/16"=1'-0"

02.08.24

# Final for Publication



PROPOSED 5th FLOOR PLAN

CARR WARNER  
ARCHITECTS

773.477.9009



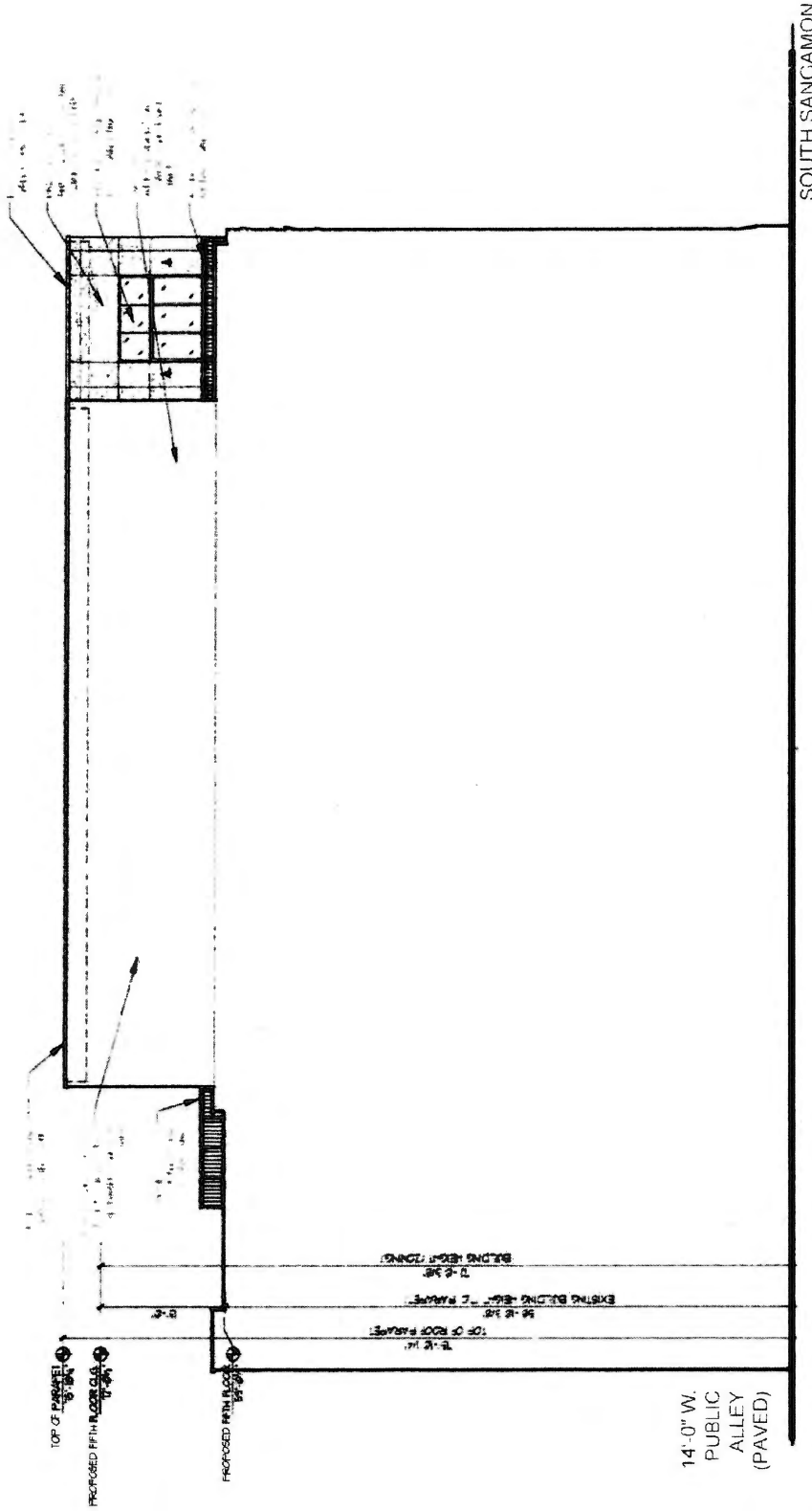
SCHEMATIC DESIGNS - ZBA

112 S. SANGAMON ST.

NO SCALE

02 08 24

# Final for Publication



SOUTH SANGAMON

## SOUTH ELEVATION

CARR WARNER

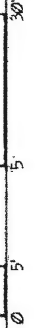
ARCHITECTS

773.477.9009

SCHEMATIC DESIGNS - ZBA

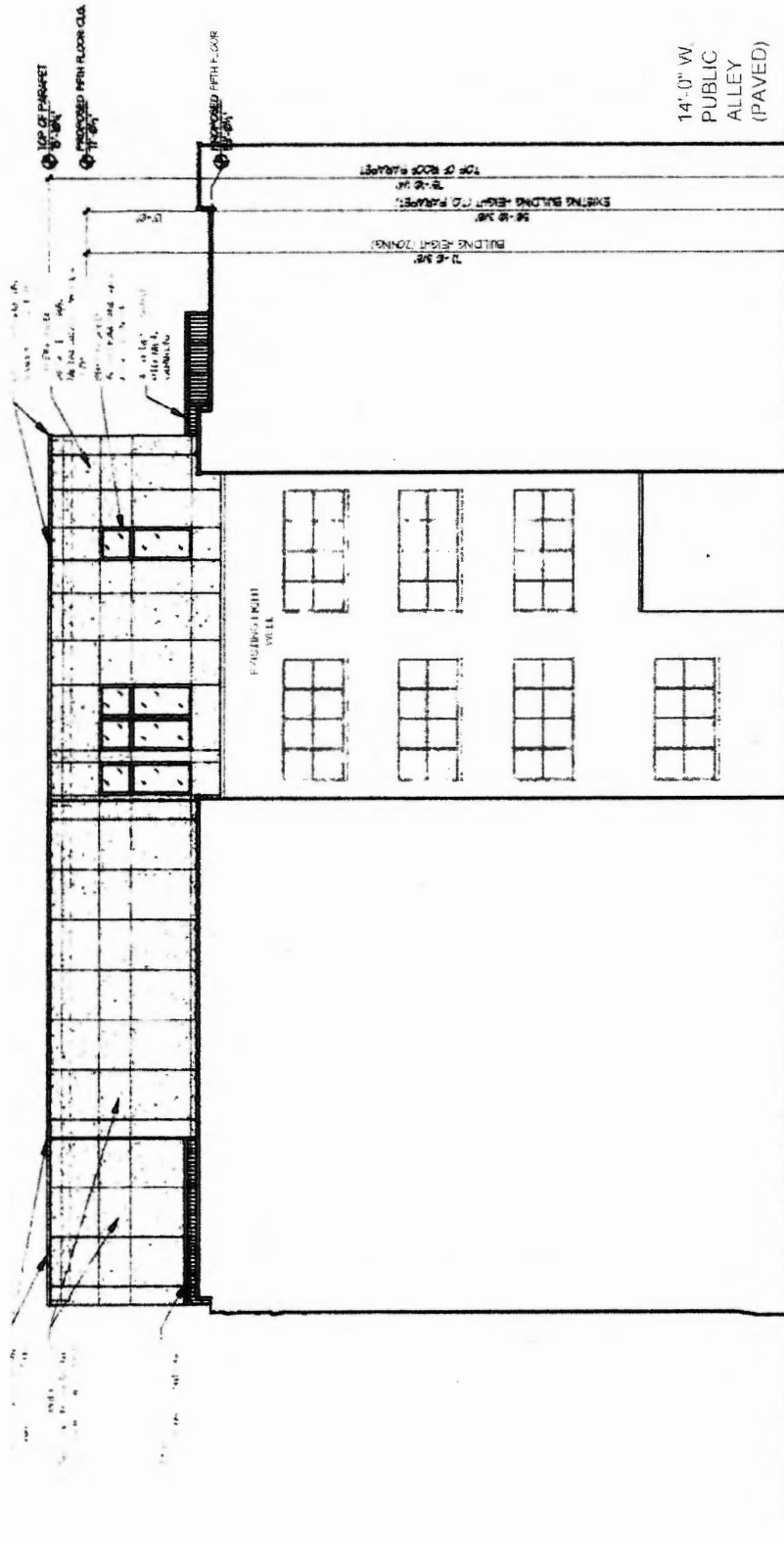
112 S. SANGAMON ST.

1/16" = 1'-0"



02.08.24

# Final for Publication



## NORTH ELEVATION

SOUTH SANGAMON

14'-0" W  
PUBLIC  
ALLEY  
(PAVED)

CARR WARNER

ARCHITECTS

773.477.9009

SCHEMATIC DESIGNS - ZBA

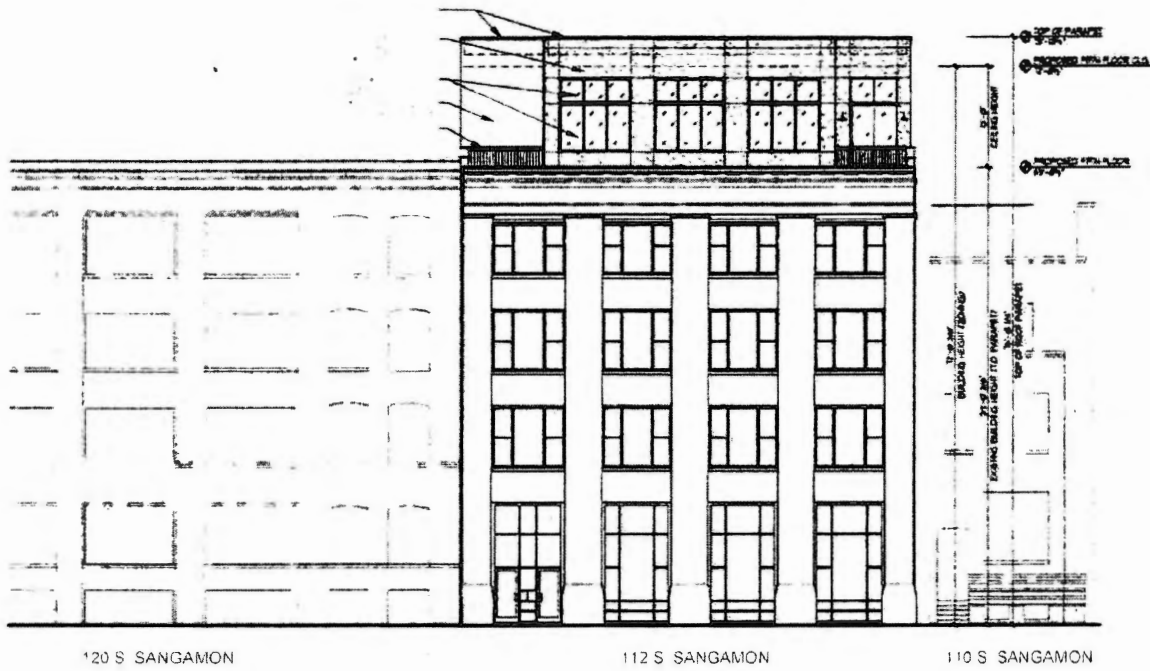
112 S. SANGAMON ST.

1/16"=1'-0"

02.08.24



# Final for Publication



120 S SANGAMON

112 S SANGAMON

110 S SANGAMON

## EAST ELEVATION - SANGAMON ST.

**CARR WARNER**  
ARCHITECTS

SCHEMATIC DESIGNS - ZBA

112 S. SANGAMON ST.

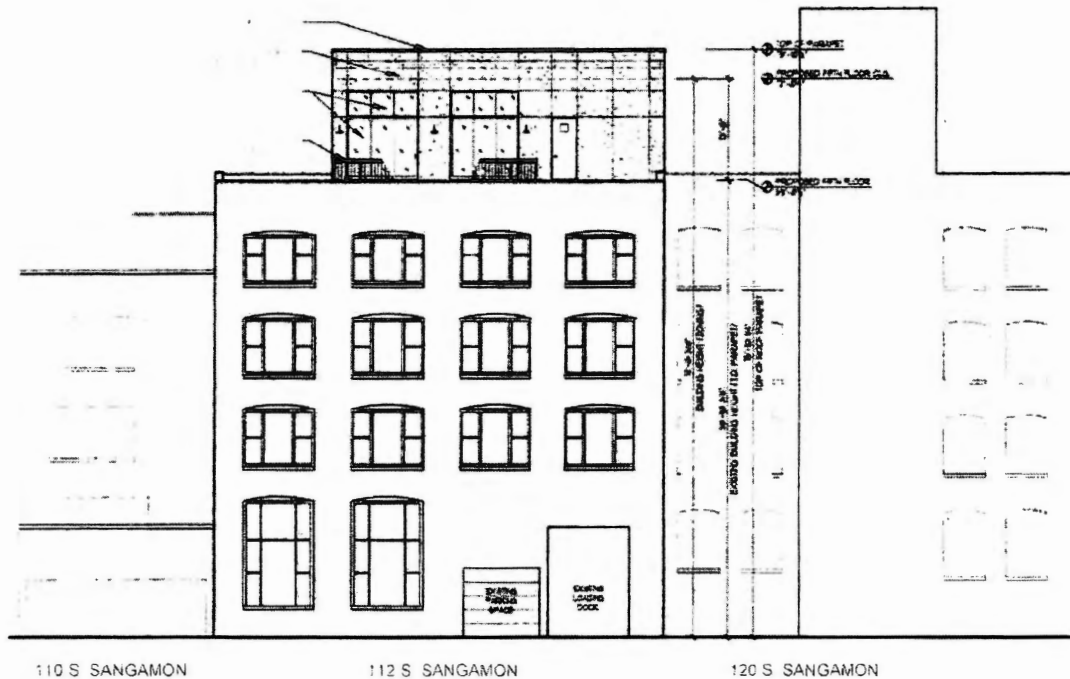
773.477.9009

0 5' 15' 30'

1/18"=1'-0"

02.09.24

# Final for Publication



110 S SANGAMON

112 S SANGAMON

120 S SANGAMON

## WEST ELEVATION - ALLEY

**CARR WARNER**  
ARCHITECTS

773.477.9009

SCHEMATIC DESIGNS - ZBA

112 S. SANGAMON ST.

0 5 15 30

1/16" = 1'-0"

02 08 24

*Reclassification Of Area Shown On Map No. 2-I.*  
(Application No. 22479T1)  
(Common Address: 2622 W. Adams St.)

[O2024-0009970]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the M1-2 Limited Manufacturing/Business Park District symbols and indications as shown on Map Number 2-I in the area bounded by:

the alley next north of and parallel to West Adams Street; a line 406 feet east of and parallel to South Washtenaw Avenue; West Adams Street; and a line 381 feet east of and parallel to South Washtenaw Avenue,

to those of an RM4.5 Residential/Multi-Unit District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

[Plat of Survey; Site Plan; 1<sup>st</sup>, 2<sup>nd</sup> and 3<sup>rd</sup> Floor Plans; Existing and Proposed 3-Unit Buildings; and North, South, East and West Building Elevations attached to this ordinance printed on pages 14750 through 14754 of this *Journal*.]

Type 1 Narrative Rezoning Analysis attached to this ordinance reads as follows:

## Final for Publication

TYPE-1 ZONING MAP AMENDMENT  
Located at 2622 West Adams Street  
From M1-2 to RM4.5

1. A

The owner of the above-referenced property is requesting a Type-1 Zoning Change from the existing M1-2 to RM4.5 in order to construct a three-story, 3-unit residential building on the subject lot. As currently zoned, residential development is not allowed on the subject lot, although all the buildings on the north side of the block on which the subject lot exists are residential.

The proposed building on the lot will be a three-story, three-unit residential masonry building with a flat roof and no basement. A concrete parking pad in the rear of the lot with access to the adjacent public alley will provide three off-street parking spaces; one for each unit. The exterior building material will be face brick on the front façade with stone accents. The face brick will extend five feet from the front elevation around to each of the side elevations, with split-face concrete block on the remainder of the side elevations. The building footprint will be roughly 67.5' x 19.5'. The building height will be 30'-2" from grade to the underside of the roof structure, and 35'-1" to the top of the roof parapet.

Each residential unit will be roughly 1,250 square feet and consist of three bedrooms and two full bathrooms, open kitchen/dining/living area, an individual forced-air heating and cooling system, in-unit washer and dryer, and access to either a rear concrete patio (first floor unit) or rear steel deck (second and third floor units).

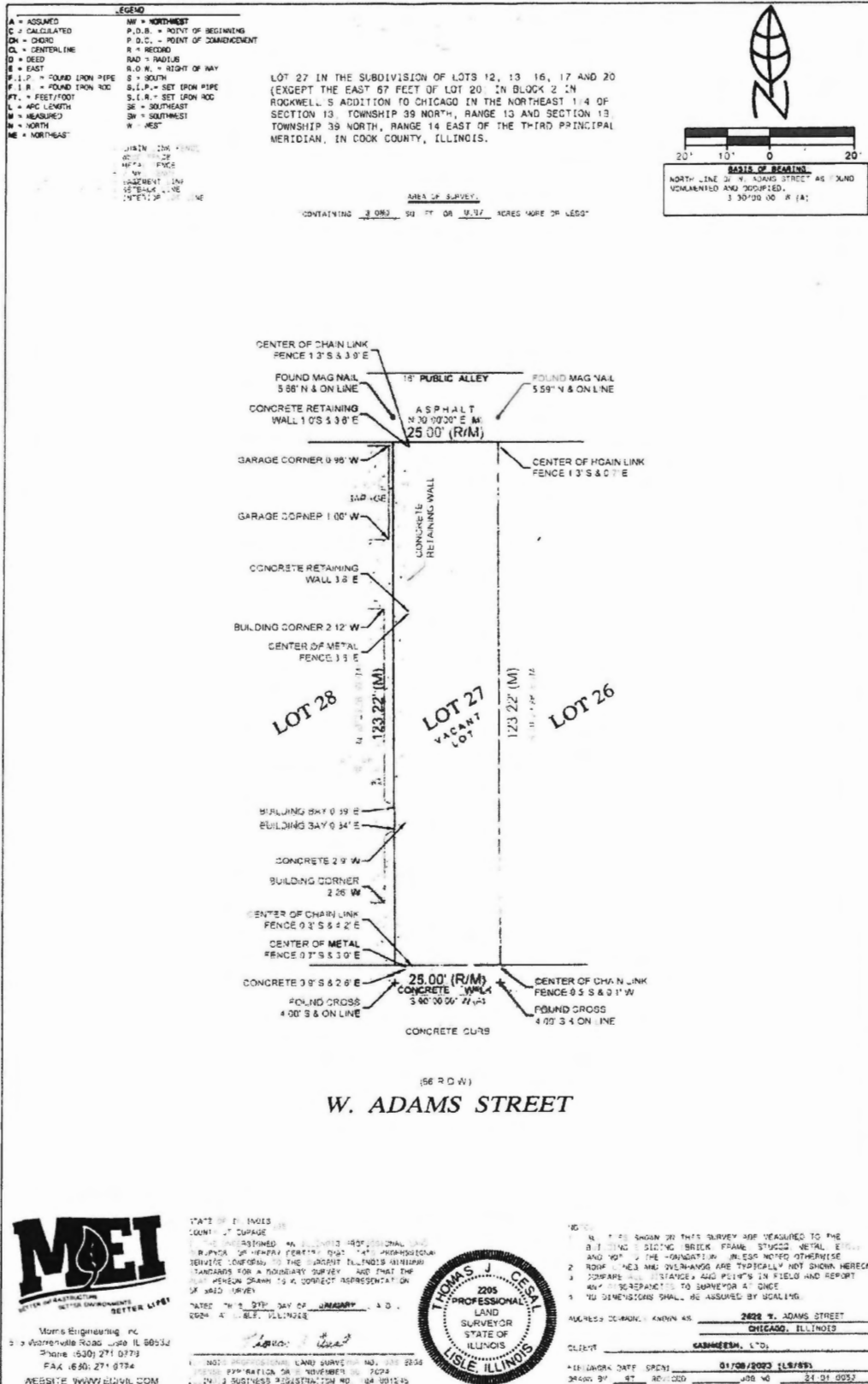
This project will otherwise conform to all applicable codes including the 2019 Chicago Building Code, Title 14B, The Chicago Zoning Ordinance, and the 2019 Chicago Energy Transformation Code.

We offer for your review the proposed site plan and building design attached and described herein.

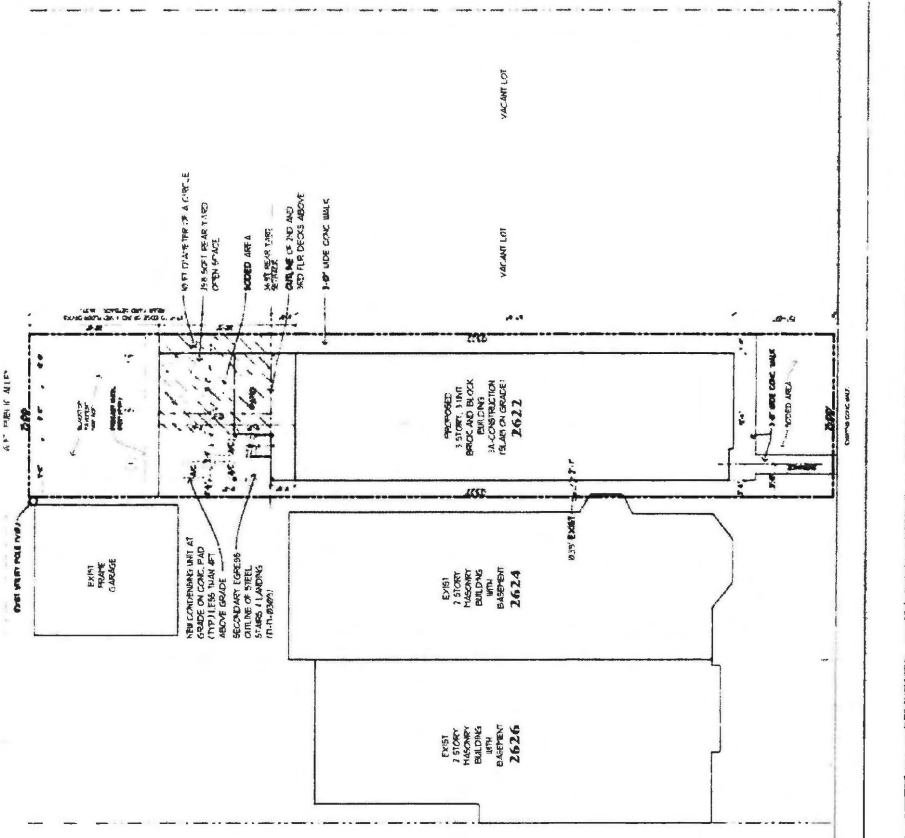
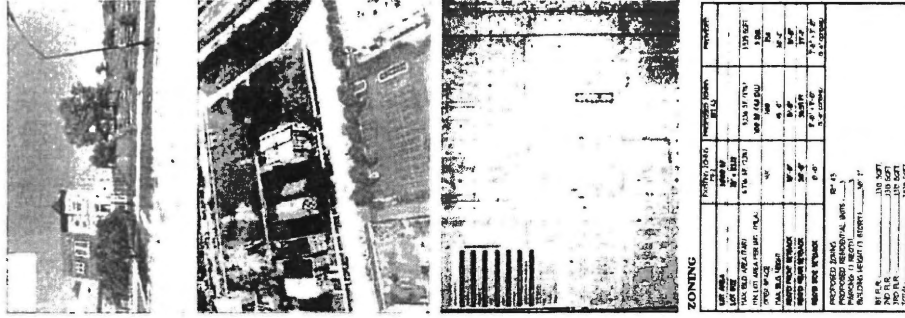
- a. Floor Area Ratio: 1.28
  - Lot Area: 3,080.5 s.f.
  - RM-4.5 (Proposed) Allowable:  $3,080.5 \times 1.7 = 5,236$  s.f.
  - RM-4.5 (Proposed) Provided: 3,939 s.f. (1.28)
- b. Density: 1,026.84 s.f. (3 Dwelling Units)
- c. Off-Street Parking: 3 Paved Spaces
- d. Setbacks:
  - Front: 15'
  - Rear: 36.97 feet
  - Side: East: 3.0 feet
  - West: 2.5 feet
- e. Building Height: 30 feet, 2 inches

\*\*The Applicant will comply with Section 17-2-0301-C Exceptions of the Chicago Air Quality Ordinance should such provisions be determined as applicable.\*\*

Final for Publication



Final for Publication



**ZONING**

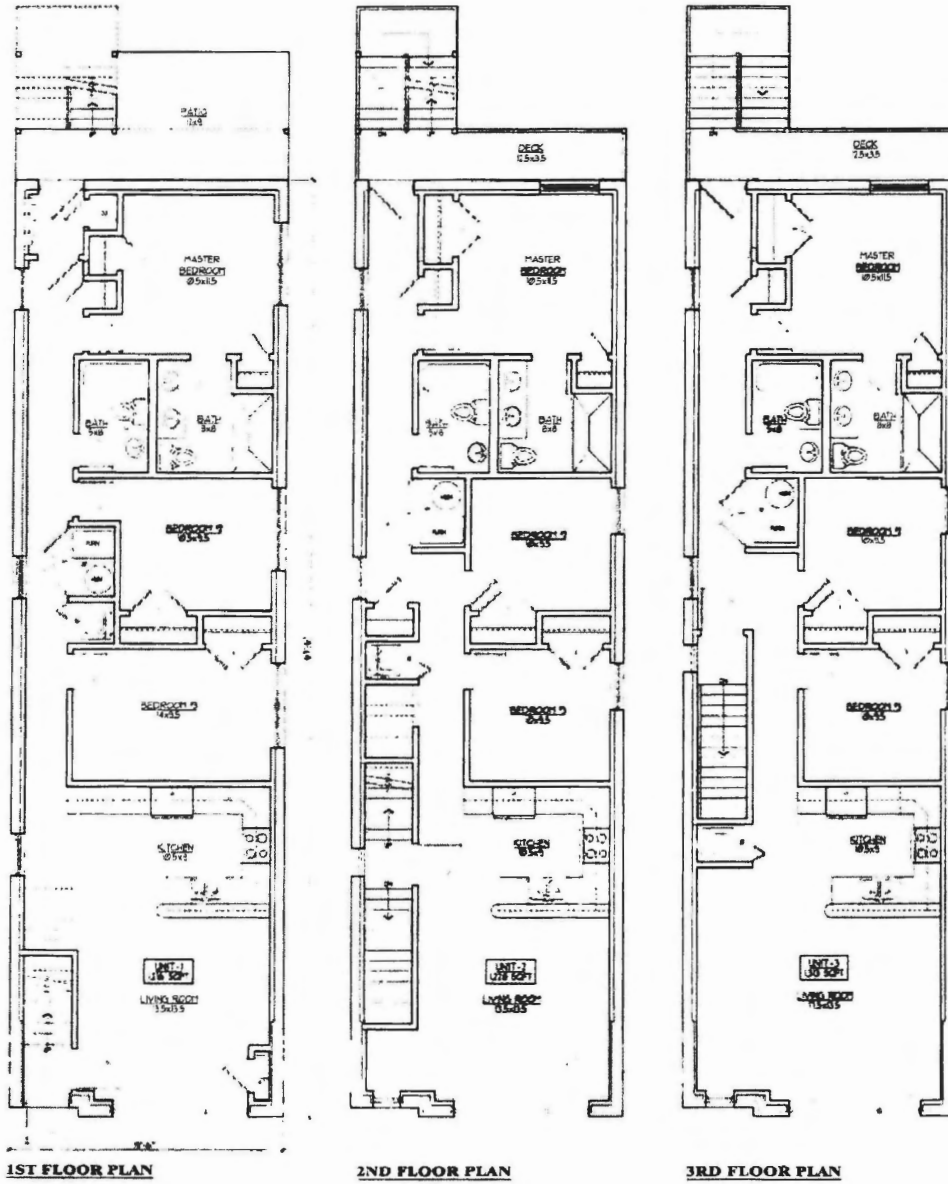
EXISTING ZONING	PROPOSED ZONING	PROPOSED CHANGES
RM 1.5	RM 1.5	
MAX. HEIGHT 35 FT	MAX. HEIGHT 35 FT	
MAX. AREA 100,000 SQ FT	MAX. AREA 100,000 SQ FT	
MAX. LOT AREA 10,000 SQ FT	MAX. LOT AREA 10,000 SQ FT	
MAX. LOT WIDTH 100 FT	MAX. LOT WIDTH 100 FT	
MAX. LOT DEPTH 100 FT	MAX. LOT DEPTH 100 FT	
MAX. LOT AREA 10,000 SQ FT	MAX. LOT AREA 10,000 SQ FT	
MAX. LOT WIDTH 100 FT	MAX. LOT WIDTH 100 FT	
MAX. LOT DEPTH 100 FT	MAX. LOT DEPTH 100 FT	
MAX. LOT AREA 10,000 SQ FT	MAX. LOT AREA 10,000 SQ FT	
MAX. LOT WIDTH 100 FT	MAX. LOT WIDTH 100 FT	
MAX. LOT DEPTH 100 FT	MAX. LOT DEPTH 100 FT	

**PROPOSED 3 STORY, 3 UNIT BUILDING  
2622 W. ADAMS STREET  
CHICAGO, IL**

**SITE PLAN**

**SCALE**  
1" = 20' HORIZONTAL  
1" = 10' VERTICAL

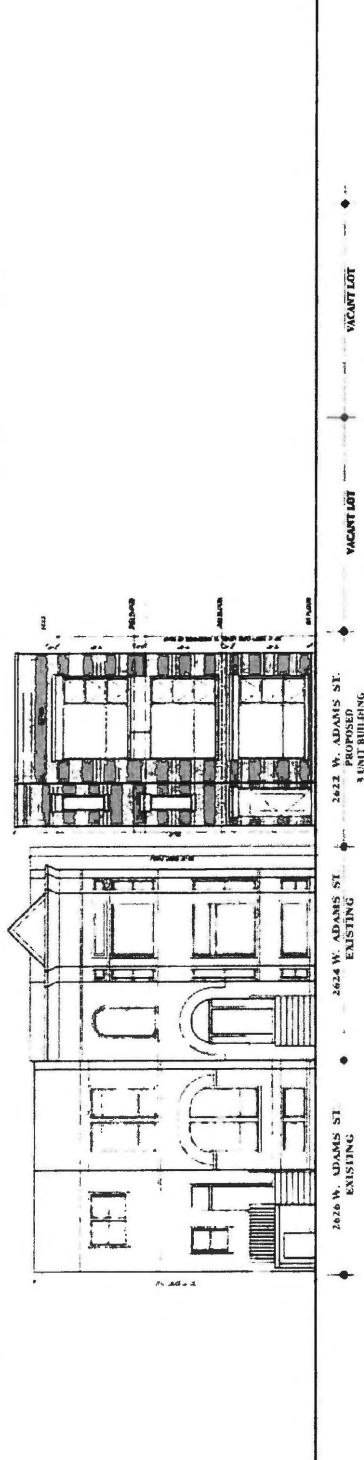
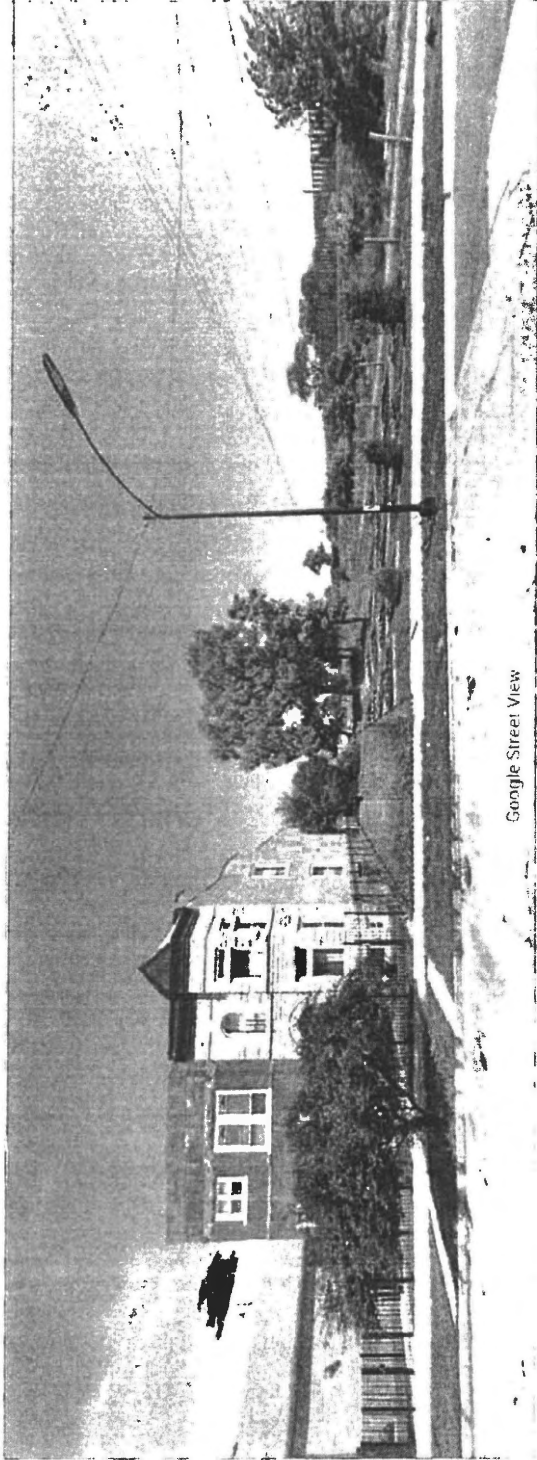
# Final for Publication



**PROPOSED 3 STORY, 3 UNIT BUILDING**  
 2622 W. ADAMS STREET CHICAGO, IL

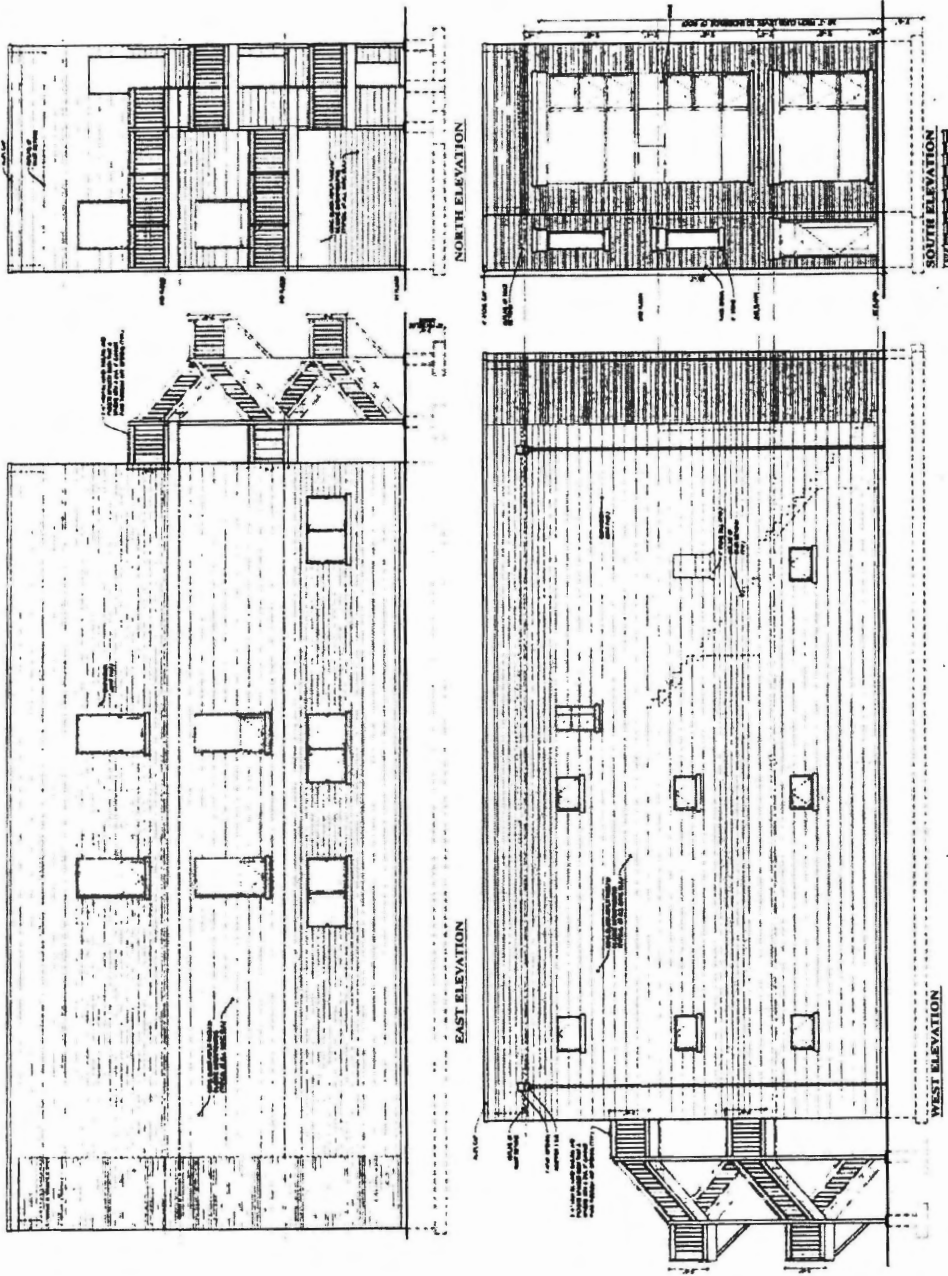


# Final for Publication



## **PROPOSED 3 STORY, 3 UNIT BUILDING 2622 W. ADAMS STREET CHICAGO, IL**

Final for Publication



**PROPOSED 3 STORY, 3 UNIT BUILDING**  
**2622 W. ADAMS STREET**  
**CHICAGO, IL**

*Reclassification Of Area Shown On Map No. 2-I.*  
(Application No. 22481)  
(Common Address: 510 S. California Ave.)

[O2024-0009974]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That Title 17 of the Municipal Code, the Chicago Zoning Ordinance, be amended by changing all the B3-3 Community Shopping District symbols and indications as shown on Map Number 2-I in the area bounded by:

a line 100 feet south of and parallel to West Congress Parkway; South California Avenue; a line 125 feet south of and parallel to West Congress Parkway; and the public alley next west of and parallel to South California Avenue,

to those of a C1-1 Neighborhood Commercial District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

---

*Reclassification Of Area Shown On Map No. 4-H.*  
(Application No. 22483T1)  
(Common Address: 1721 W. 18<sup>th</sup> Pl.)

[O2024-0009976]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all the RT4 Residential Two-Flat, Townhouse and Multi-Unit District symbols and indications as shown on Map Number 4-H in an area bounded by:

West 18<sup>th</sup> Place; a line 192.0 feet west of and parallel to South Paulina Street; the alley next south of and parallel to West 18<sup>th</sup> Place; and a line 216.00 feet west of and parallel to South Paulina Street,

to those of an RM5 Residential Multi-Unit District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

[Plat of Survey; Location Map; Site Plan and Building Data; Basement, 1<sup>st</sup>,  
2<sup>nd</sup> and 3<sup>rd</sup> Floor Plans; Roof Plan; North, South, East and West Building  
Elevations; and Building Sections attached to this ordinance printed  
on pages 14757 through 14767 of this *Journal*.]

Type 1 Narrative Rezoning Analysis attached to this ordinance reads as follows:

## Final for Publication

### **Type 1 Narrative and Plans Zoning Map Amendment at 1721 W. 18<sup>th</sup> Place From RT-4 to RM5**

1. A. Applicant seeks a Type 1 Map Amendment of the City of Chicago Zoning Map from the present RT-4 Residential Two-flat, Townhouse and Multi-unit District to a RM5 Residential Multi-Unit District (TOD). The subject lot currently consists of a 2-story frame residential building on a 3000sf lot. Applicant seeks to improve the subject property with a 3-story, 38' tall, brick + frame building consisting of four dwelling units: one 7BR duplex down on the first level and basement; 2 – 2BR units on the second level; and one 4BR unit on the third floor.

The project provides 2 off-street parking spaces and is in compliance with all necessary qualifying standards and requirements in accordance with TOD standards including the proximity to the CTA Pink Line 18<sup>th</sup>/Paulina stop. The parking spaces will be accessible from the rear alley. There will additionally be a dedicated bicycle storage area.

The accompanying drawings set forth the additional information required in Sec. 17-13-0303-C, paragraph 2.

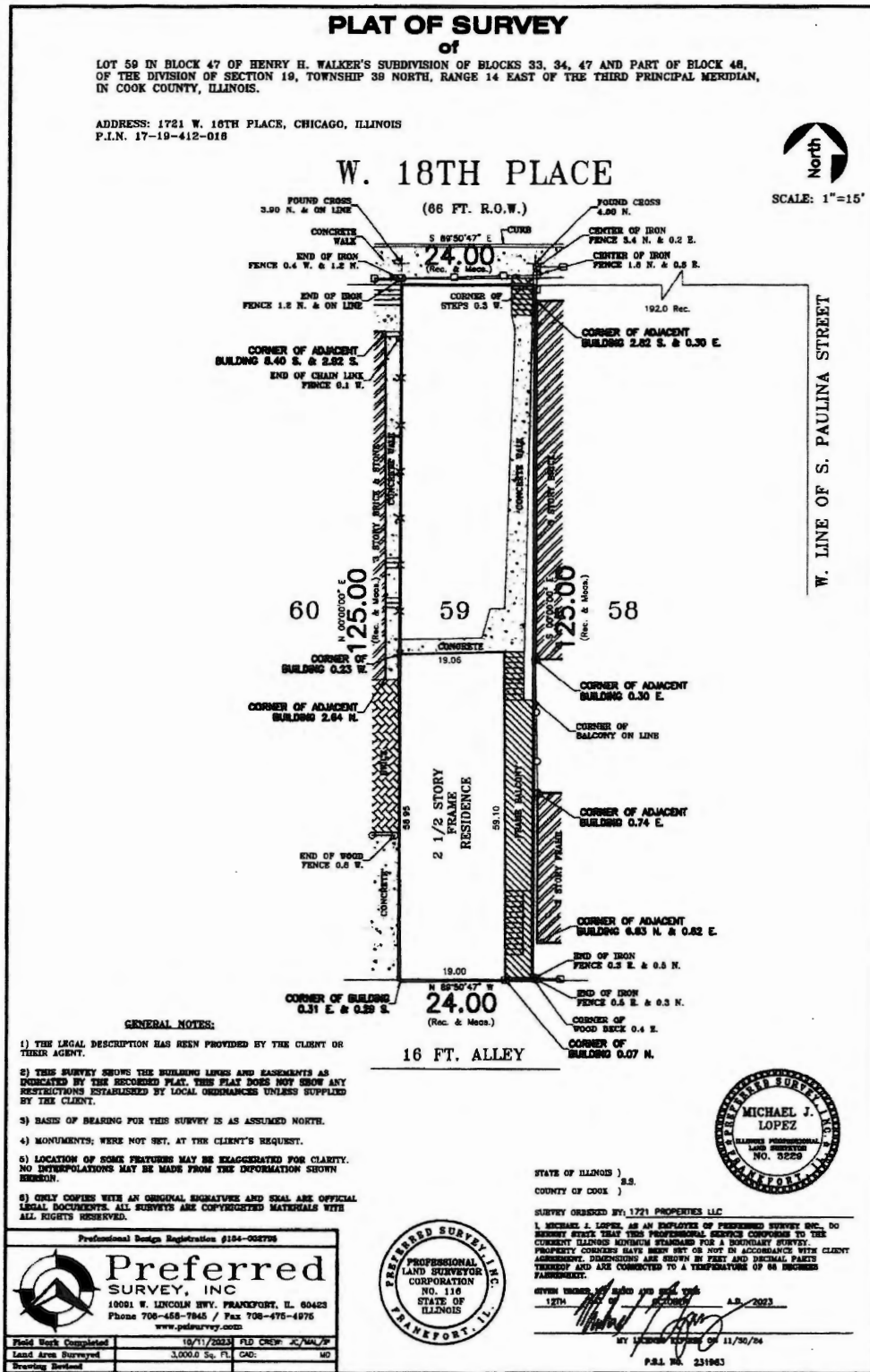
#### Bulk and Density Information for Proposed Development


a) <b>Lot Area:</b>	24'x125' = 3,000sf
b) <b>Density:</b>	Four dwelling units
c) <b>Lot area per dwelling unit:</b>	750sf
d) <b>Off-street parking:</b>	2 spaces*
e) <b>Height:</b>	approximately 37'
f) <b>Floor Area:</b>	approximately 4,800sf
g) <b>Floor Area Ratio:</b>	approximately 1.6
h) <b>Front setback:</b>	5'
i) <b>Rear setback:</b>	30'
j) <b>East side setback:</b>	2'
k) <b>West side setback:</b>	3'

\* as per Section 17-13-0303-D, optional Administrative Adjustment and Variation seeking specifically to reduce required provided parking by 50% in a Transit-Served Location

\*\* The Applicant will comply with Section 17-3-0307 exception to the Chicago Air Quality Ordinance should such provisions be determined as applicable

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**MULTI-FAMILY RESIDENTIAL DEVELOPMENT**

1721 W 18TH PLACE  
CHICAGO IL 60608

ISSUE FOR ZONING DENIAL  
10/13/2023

**STUDIO ARQ**  
ARCHITECTS

1721 W 18TH PLACE  
CHICAGO IL 60608

**MULTI-FAMILY RESIDENTIAL DEVELOPMENT**

PROJECT NO: 2124  
TITLE: COVER SHEET / INDEX SHEET  
Author: G000  
Created by: GS

---

**SCOPE OF WORK**

TYPE OF WORK: NEW STORY + ELEVATIONS, FINISH BUILDING TYPE: NA

TYPE OF USE: MULTI-FAMILY

EXTERIOR WORK: NA

ADDITIONAL NOTES: NEW CONSTRUCTION

**OWNER**

OWNER INFO: [Redacted]

**DRAWING INDEX**

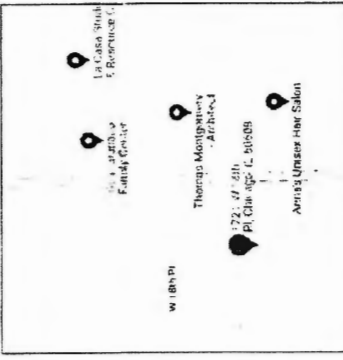
GENERAL: 0000 COVER SHEET / INDEX SHEET, 0101 SITE PLAN & BUILDING DATA

ARCHITECTURE: 1000 ARCHITECTURAL FINISHES, ELEVATIONS, FLOOR PLAN, 1100 SECOND & THIRD LEVEL FLOOR PLAN, 1200 ROOF PLAN, 1300 BUILDING ELEVATIONS, 1400 BUILDING SECTIONS, 1500 BUILDING SECTION

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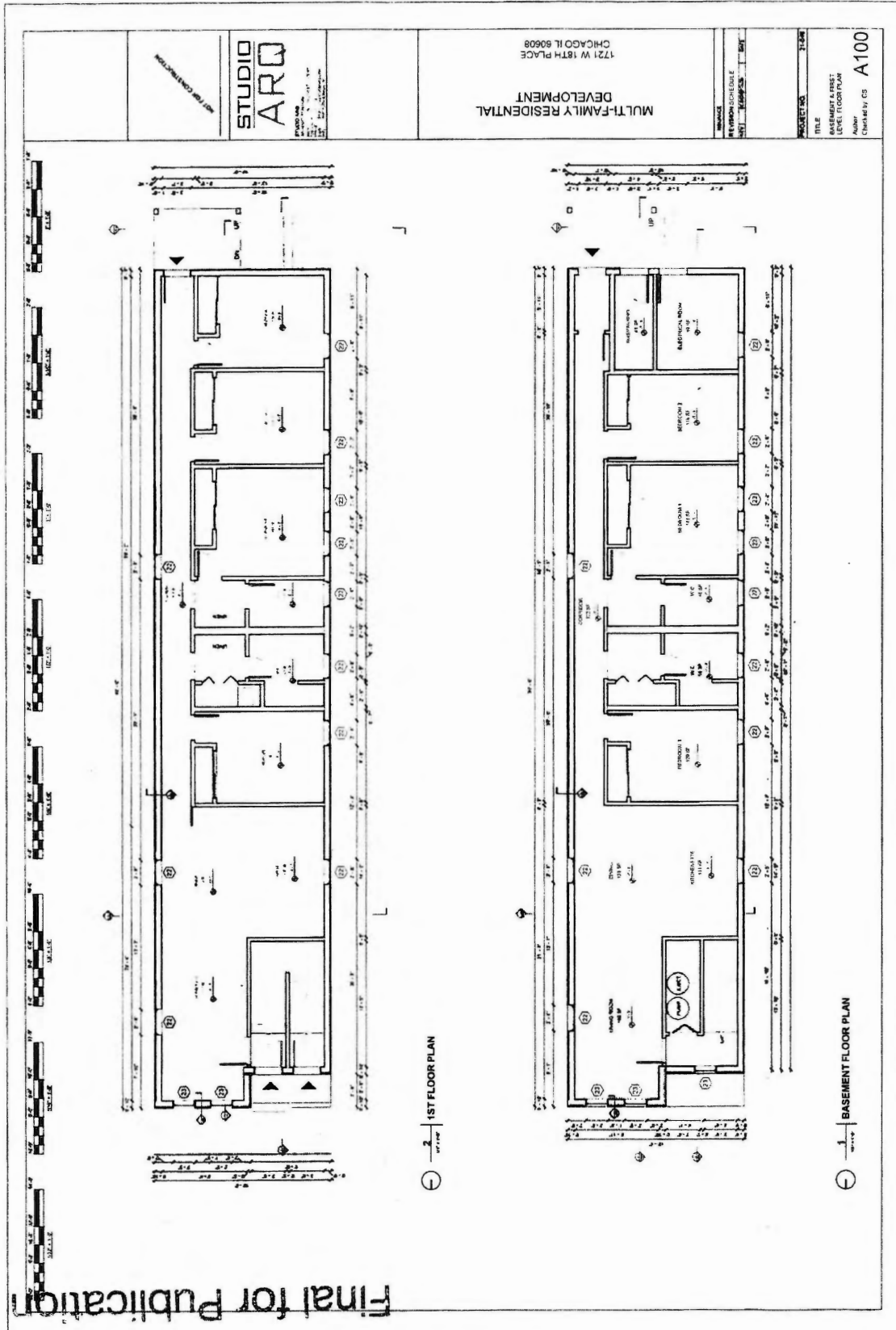
**ARCHITECT OF RECORD**

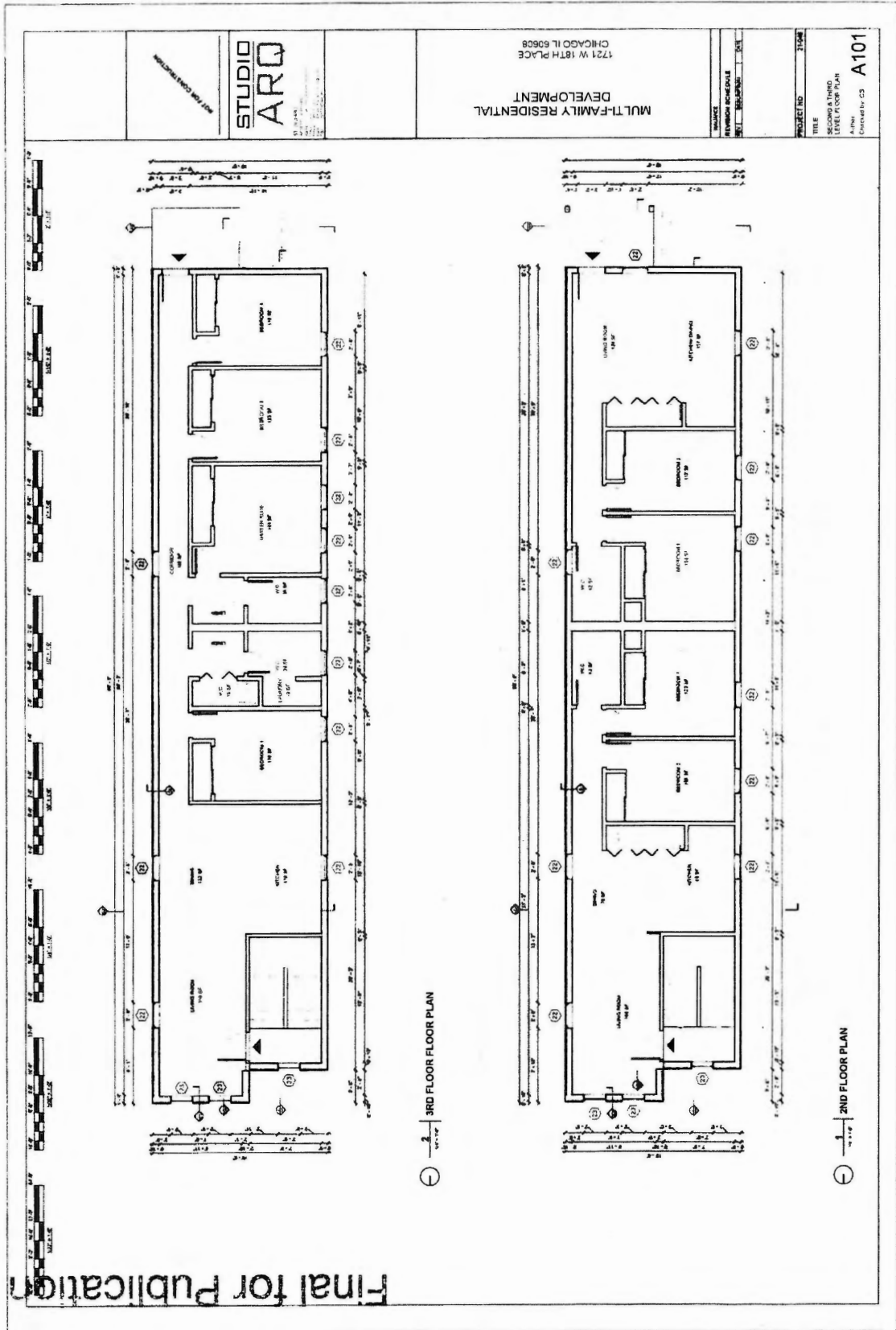
STUDIO ARQ  
1721 W 18TH PLACE  
CHICAGO IL 60608

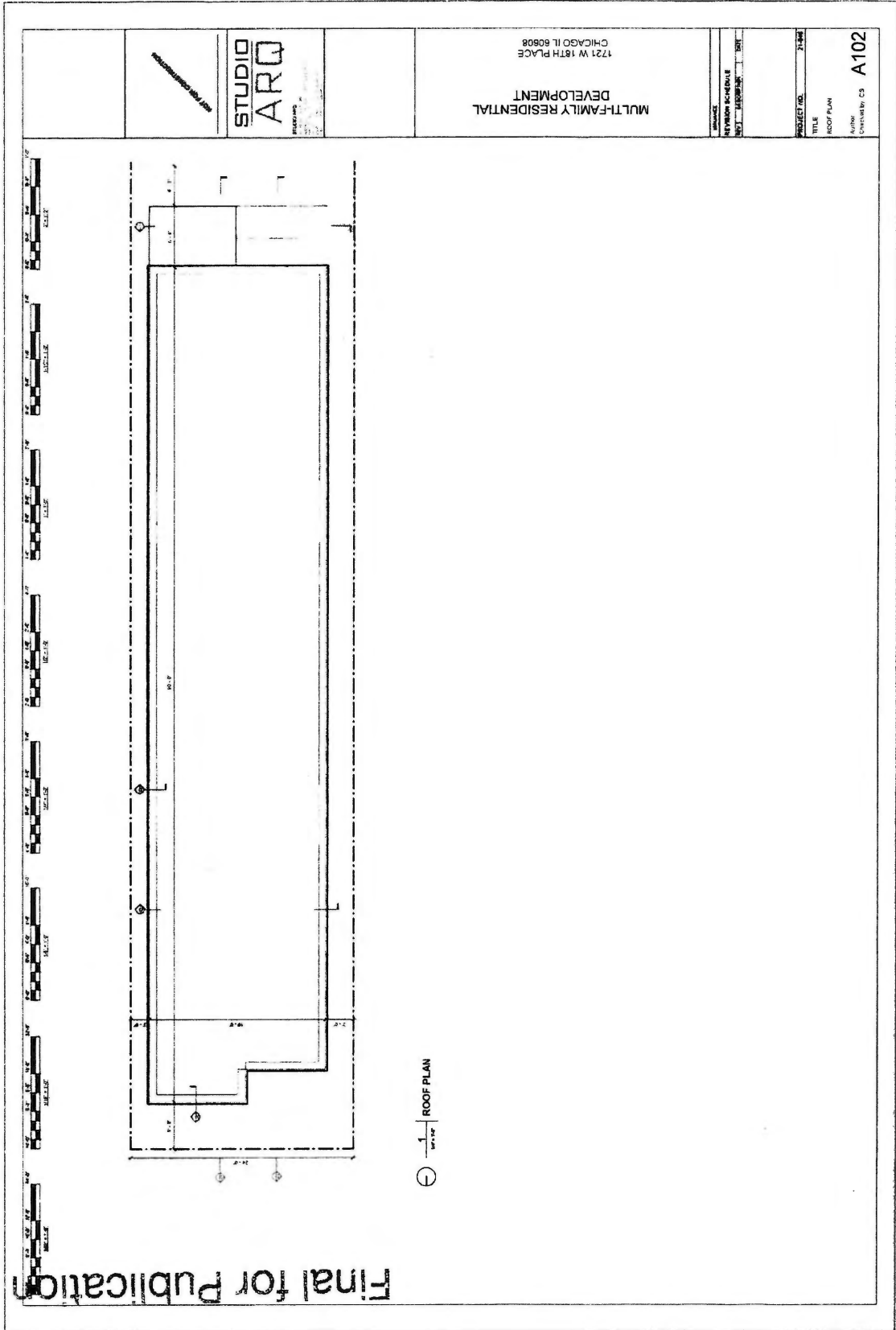


LOCATION MAP









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**1 NORTH BUILDING ELEVATION**  
3/8" = 1'-0"

**2 SOUTH ELEVATION Copy 1**  
3/8" = 1'-0"

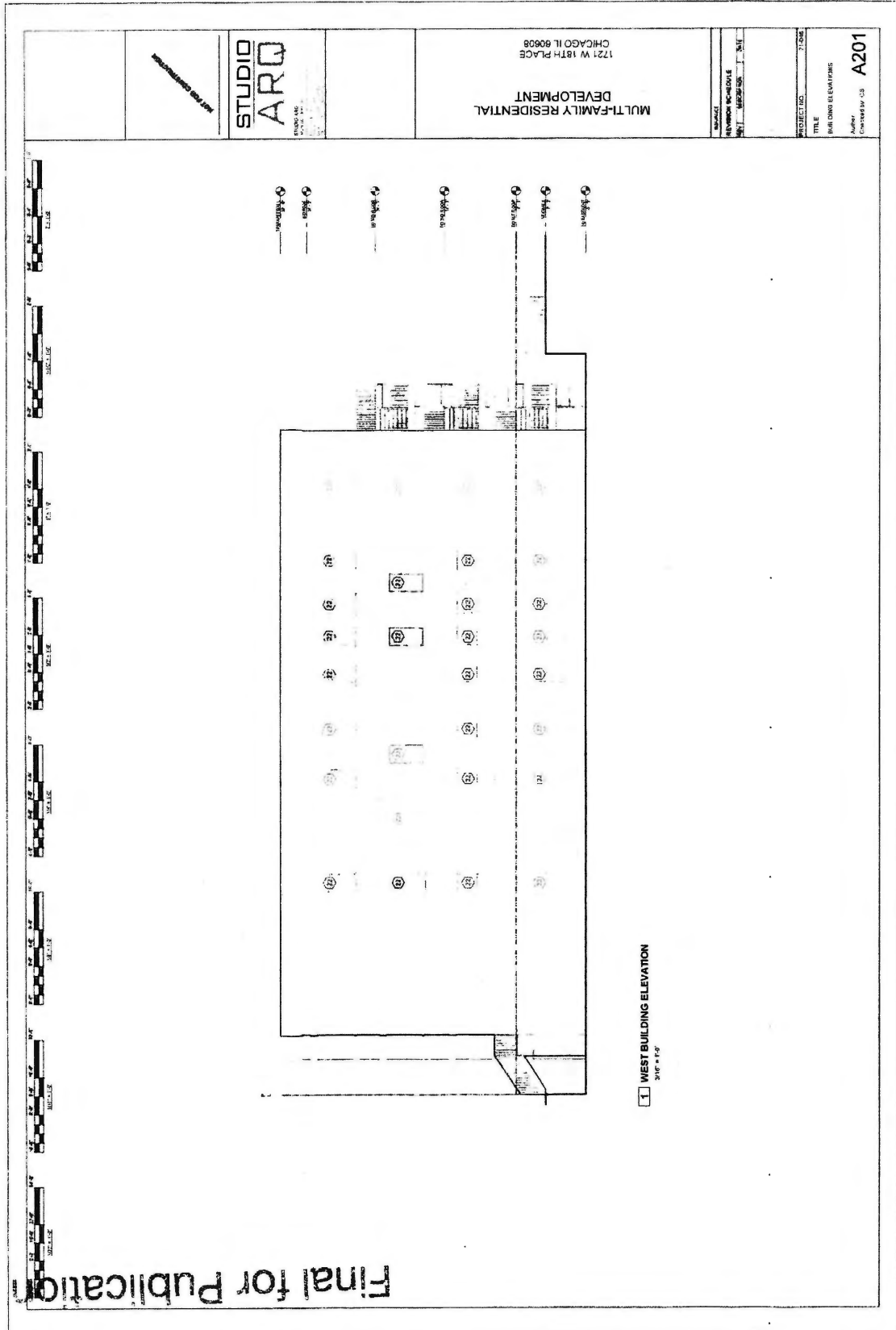
**3 EAST BUILDING ELEVATION**  
3/8" = 1'-0"

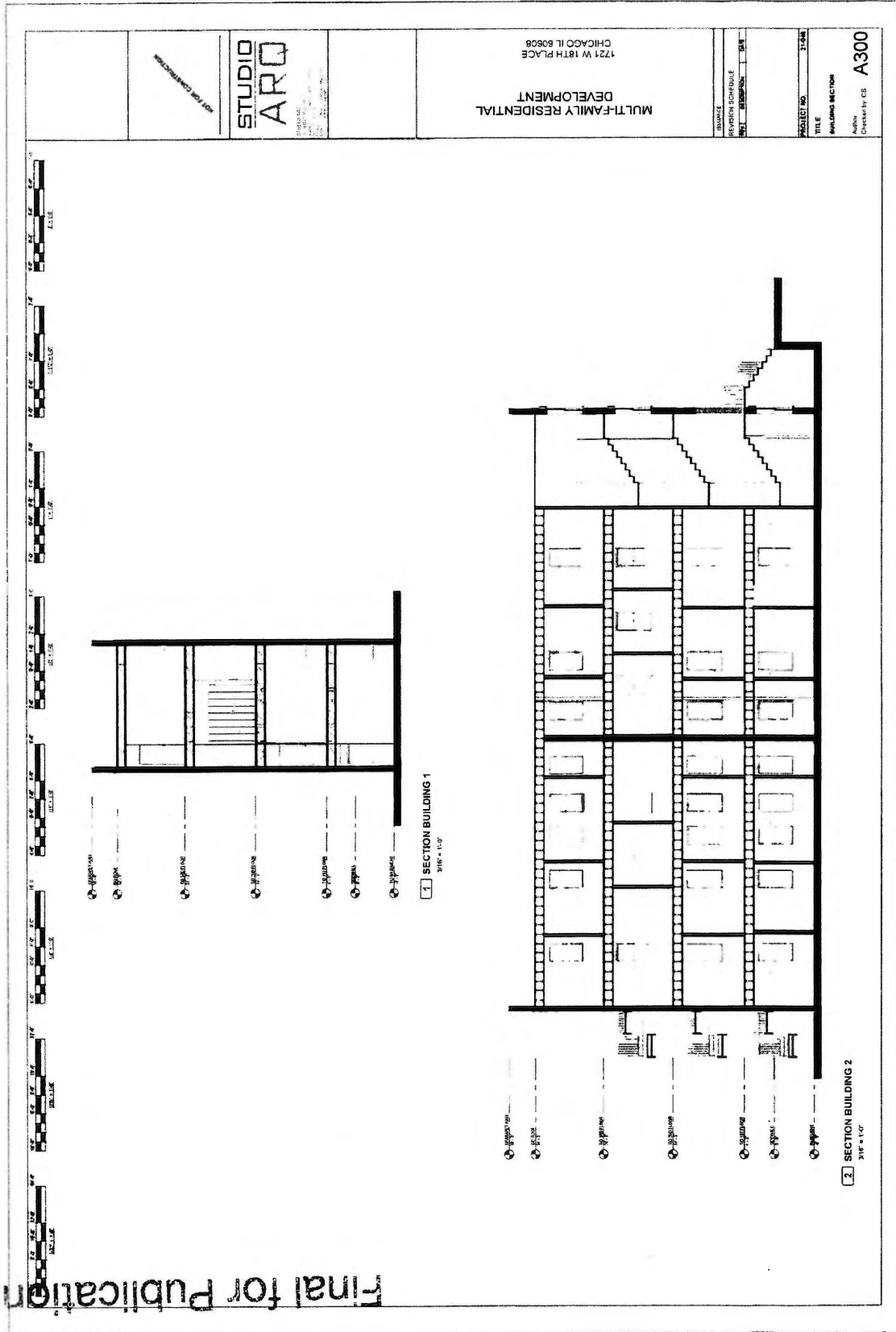
**STUDIO ARQ**

**MULTI-FAMILY RESIDENTIAL DEVELOPMENT**  
1721 W 18TH PLACE  
CHICAGO IL 60608

PROJECT NO. \_\_\_\_\_ TITLE \_\_\_\_\_  
 REVISION SCHEDULE \_\_\_\_\_  
 DATE \_\_\_\_\_ SHEET \_\_\_\_\_

PROJECT NO. \_\_\_\_\_ TITLE \_\_\_\_\_  
 BUILDING ELEVATIONS  
 Author: \_\_\_\_\_  
 Checker: \_\_\_\_\_  
**A200**





Final for Publication

of the Committee

STUDIO  
ARQ

MULTI-FAMILY RESIDENTIAL  
DEVELOPMENT  
1721 W 18TH PLACE  
CHICAGO IL 60608

ISSUANCE  
REVISION SCHEDULE  
NO. 1 2 3 4 5 6 7 8 9 10 11 12

PROJECT NO. 21424

TITLE  
BUILDING SECTION  
A300

Author:  
Checked by: CS

STUDIO  
**ARG**

1721 W. 18TH PLACE  
CHICAGO, IL 60608

MULTI-FAMILY RESIDENTIAL DEVELOPMENT

PROJECT NO. 2128

TITLE BUILDING SECTION

SHEET NO. A301

DATE 7/17/2024

PREPARED BY: JTS

CHECKED BY: JTS

DESIGNED BY: JTS

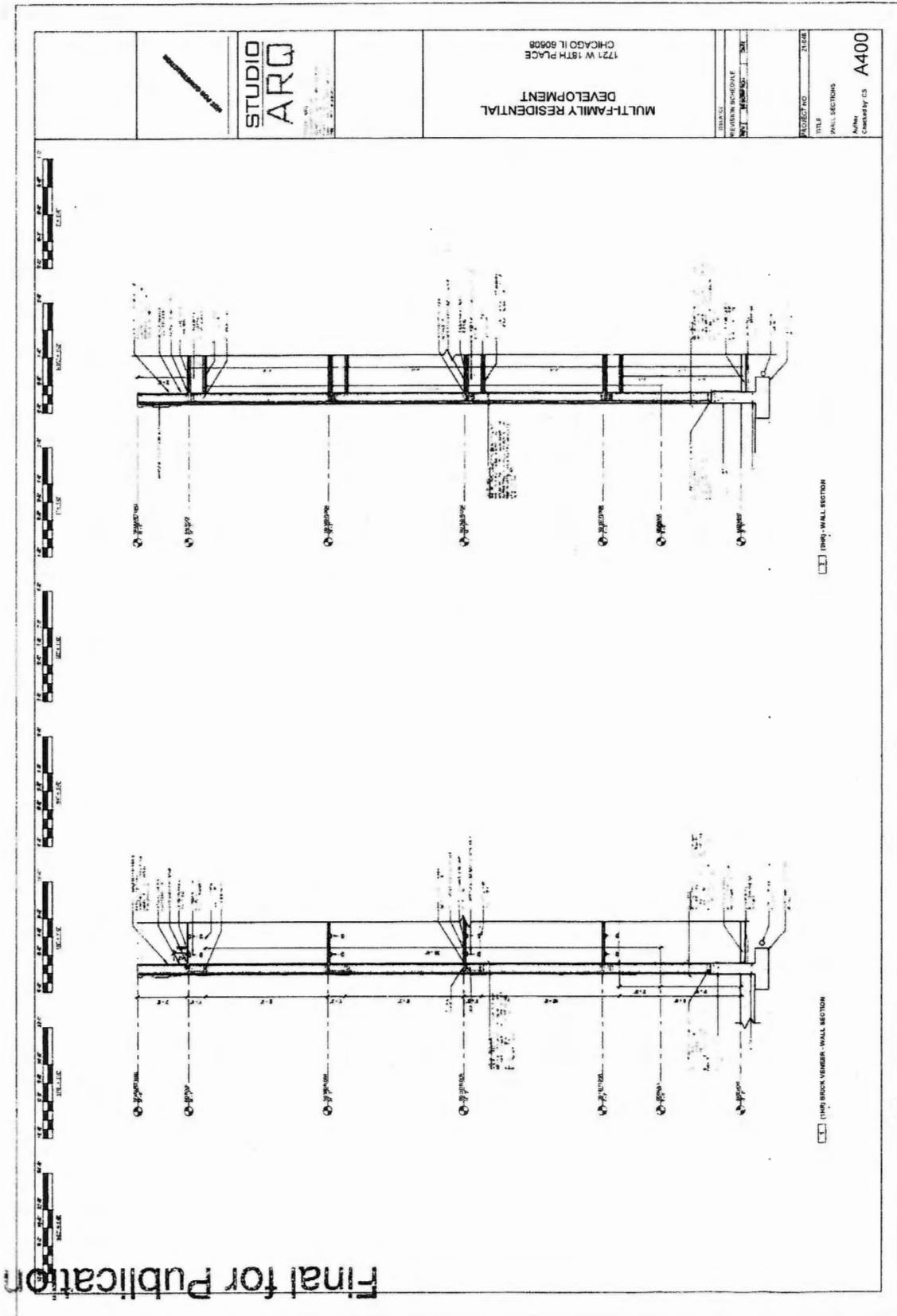
SECTION BUILDING 3

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SECTION BUILDING 3

Final for Publication



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	MULTIFAMILY RESIDENTIAL DEVELOPMENT 1721 W 18TH PLACE CHICAGO IL 60608	PROJECT NO. _____ TITLE WALL SECTIONS A/Rev. _____ Checked by CS A400
	REVISION SCHEDULE DATE _____	DATE _____

*Reclassification Of Area Shown On Map No. 4-I.*

(Application No. 22486T1)

(Common Address: 2835 W. Cullerton St.)

[O2024-00010028]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the M1-2 Limited Manufacturing/Business Park District symbols and indications as shown on Map Number 4-I in the area bounded by:

West Cullerton Street; a line 341 feet west of and parallel to South California Avenue; a line 90 feet south of and parallel to West Cullerton Street; and a line 366 feet west of and parallel to South California Avenue,

to those of an RT4 Residential Two-Flat, Townhouse and Multi-Unit District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

[Plat of Survey; Cover Page; Basement, First and Second Floor Existing/Demolition Plans; North, South, East and West Existing/Demolition Building Elevations; Unit A First and Second Level Floor Plans; Unit B Floor Plan; Basement Plan; Framing Plans; North, South, East and West Building Elevations; Building Section; Enlarged Porch Views; Porch Details; Details; Schedules; Mechanical Floor Plans; Mechanical Notes; Electrical Floor Plan; and Plumbing Diagrams attached to this ordinance printed on pages 14770 through 14784 of this *Journal*.]

Type 1 Narrative Rezoning Analysis attached to this ordinance reads as follows:

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TYPE -1 Narrative and Plans  
Zoning Map Amendment  
at 2835 West Cullerton Street  
from M1-2 to RT4

A. Proposed Land Use:

The subject property is currently a 780 sq. ft, 1.5 story frame structure sits on a substandard lots size of 2,250 sq. ft. The applicant needs a zoning change to meet the bulk and density standards to rehabilitate the building to allow the existing building to be converted to a total of 2 dwelling units, 3 story building. Proposed, a new 2 story upper level addition over the existing, 1 story building. The existing building and proposed new addition with new rear 3 story open deck and stair, sits on a substandard zoning lot, the design will seek relief as per section 17-13-03-3-D Type 1 Submission.

B. Floor Area Ratio: 1.0 (FAR)

C. Project's lot size measures 2,250 sq. ft. density: 1,125 sq. ft per dwelling unit = 2 dwelling units.

D. Amount of off-street parking - 2

E. Setback

Front: 17.10' feet

Rear: 34.9

East: 3.60 feet

West: 0 zero feet

F. Building height is 35-0'

\*The applicant will comply with Section 17-2-0301-C Exceptions of Chicago Air Quality Ordinance should such provision be determined as applicable.


\*As per Section 17-13-0303-D Optional Administrative Adjustment and Variation. Applicant seeks a variation to reduce the setbacks as per section 17-13-1101-B for front, side setback relief and 17-13-1101-A; 17-13-1003-K rear yard open space.

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# PLAT OF SURVEY

**L. R. PASS & ASSOCIATES**  
Professional Land Surveyors

*Plat of Surveys  
Topography  
Mortgage  
Inspection  
Condominiums  
Land Development  
Legal Descriptions*

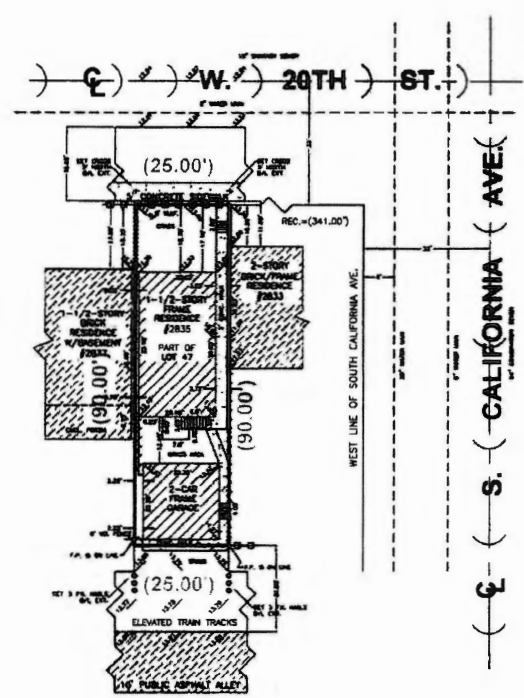


SCALE: 1"=20'

LOT 47 (EXCEPT THE SOUTH 37 FEET THEREOF) IN BLOCK 5 IN LEVI P. MORTON'S SUBDIVISION OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 24, TOWNSHIP 39 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, (EXCEPT THE RIGHT OF WAY TO THE CHICAGO, BURLINGTON AND QUINCY RAILROAD) SITUATED IN THE CITY OF CHICAGO IN COOK COUNTY, ILLINOIS.

(COMMONLY KNOWN AS: 2835 W. CULLERTON ST. CHICAGO, IL 60623)

AREA= 2,425.00 SQ. FT. (MORE OR LESS)  
PERIMETER= 244.00 FT. (MORE OR LESS)  
ACREAGE= 0.072800 (MORE OR LESS)  
BLDG. SQFT.= 777.24 SQ. FT. (MORE OR LESS)



ELEV. 13.79 + 4.90  
B.S. = 18.69 = H.I.  
B.T.H.I. = HEIGHT OF INSTRUMENT

BENCH MARK # 287  
LOCATION DESCRIPTION  
ELEV= 12.463  
CITY OF CHICAGO DATUM

TBM "A" EAST FLANGE OF FIRE HYDRANT LOCATED 4.50 FEET EAST OF BACK OF CURB @ 28.27 FEET WEST OF CULLERTON STREET USED FOR THIS SURVEY ELEV. = 13.79

**LEGEND**

- METAL FENCE
- - - PLASTIC FENCE
- FENCE POST (F.P.)
- "MAC" NAIL SET
- SET IRON PIPE
- IRON PIPE FOUND
- + CUT CROSS - FOUND OR SET
- - - PROPERTY LINE
- 140.45 RECORDED DATA
- 100.45 MEASURED DIMENSION
- NOTCH
- WOOD & METAL FENCE (W.M.F.)
- WOOD FENCE (W.F.)
- × CHAIN LINK FENCE (C.L.F.)
- WROUGHT IRON FENCE (W.I.F.)
- 5 NAILS (SET)

UNLESS REQUESTED OTHERWISE (BY THE CLIENT OR HIS/HER AGENT) MONUMENTS OR WITNESS POINTS SHALL BE SET FOR ALL ACCESSIBLE CORNERS OF THE SURVEY.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS OF PRACTICE APPLICABLE TO BOUNDARY SURVEYS. ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-003083.

P.O. Box 43559  
Chicago, Illinois 60743  
TEL: (773) 779-1700 Fax: (773) 779-9143  
E-mail: lrpassmssoc@yaho.com

**GUADALUPE CASTANEDA**

P.L.N.# 16-24-308-013-0000

CHECKED BY: L.R.P. REFERENCE: 04-03-24 FIELD DATE: 08-27-2023

BOOK NO.: C.P. SURVEYOR: D.S.

PROJECT NO.: 2302-122 SCALE: 1"=20'

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L.R. PASS & ASSOCIATES P.C.  
ALL RIGHTS RESERVED.

COMPARE ALL POINTS BEFORE BUILDING. NO IMPROVEMENTS SHOULD BE MADE ON THE BASIS OF THIS PLAT ALONE. CRITICAL FIELD MONUMENTATION SHOULD BE ESTABLISHED PRIOR TO THE COMMENCEMENT OF ANY AND ALL CONSTRUCTION. PLEASE REFER TO DEED, TITLE POLICY AND/OR LOCAL ORDINANCES FOR BUILDING LINE RESTRICTIONS AND/OR EASEMENTS NOT SHOWN HEREON. PLEASE CHECK LOCAL DESCRIPTION WITH DEED AND IMMEDIATELY REPORT ANY DISCREPANCY TO THE SURVEYOR FOR EXPLANATION AND/OR CORRECTION.

ALL DIMENSIONS AND MEASUREMENTS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF, AND ARE CORRECTED TO A TEMPERATURE OF 62 DEGREES FAHRENHEIT.

PROFESSIONAL LAND SURVEYOR

LEON R PASS  
035-003083

CHICAGO  
ILLINOIS

STATE OF ILLINOIS  
COUNTY OF COOK

WE, L.R. PASS & ASSOCIATES, P.C., DO HEREBY CERTIFY THAT WE HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, THIS PLAT HERON DRAWN IS A REPRESENTATION OF SAID SURVEY.

GIVEN UNDER MY HAND AND SEAL THIS 17TH DAY OF FEBRUARY 2024

LEON R PASS  
LICENSE EXPIRATION DATE: 11/30/24





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# CONVERT SINGLE FAMILY RESIDENCE TO 2-DWELLING UNIT 2 FLAT

EXTERIOR NEW ELEVATIONS AND EXISTING FOOTING DETAILS FOR NEW INTERIORS

**Guadelupe Castaneda**

2835 W CULLERTON, CHICAGO IL 60623

DATE: 07/17/24  
DRAWN BY: [Redacted]  
CHECKED BY: [Redacted]  
SCALE: AS SHOWN

1  
EXISTING DEMO ELEVATION-NORTH  
04-11-24

2  
EXISTING DEMO ELEVATION-SOUTH  
04-11-24

3  
EXISTING DEMO ELEVATION-EAST  
04-11-24

4  
EXISTING DEMO ELEVATION-WEST  
04-11-24

### GENERAL ANNOTATION NOTES

- 1 THE CONTRACTOR SHALL PREPARE ALL DEMOLITION WORK IN ACCORDANCE WITH ILLINOIS LOCAL, STATE AND FEDERAL REGULATIONS AND ORDINANCES OF LOCAL STATE AND FEDERAL AUTHORITIES.
- 2 THE CONTRACTOR SHALL REMOVE ALL EXISTING WALLS, CEILING, FLOOR AND PARTITION WALLS TO BE DEMOLISHED AND RELOCATE ALL EXISTING EQUIPMENT TO BE REMOVED TO ANOTHER LOCATION.
- 3 THE CONTRACTOR SHALL VISIT THE SITE TO EXAMINE THE EXISTING CONDITIONS AND DOCUMENT THE SAME WITH PHOTOGRAPHS AND NOTES.
- 4 THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS WITH THE OWNER AND ARCHITECT PRIOR TO BEGINNING WORK.
- 5 THE CONTRACTOR SHALL REMOVE ALL EXISTING PARTITION WALLS, CEILING, FLOOR AND PARTITION WALLS TO BE DEMOLISHED AND RELOCATE ALL EXISTING EQUIPMENT TO BE REMOVED TO ANOTHER LOCATION.
- 6 THE CONTRACTOR SHALL REMOVE ALL EXISTING PARTITION WALLS, CEILING, FLOOR AND PARTITION WALLS TO BE DEMOLISHED AND RELOCATE ALL EXISTING EQUIPMENT TO BE REMOVED TO ANOTHER LOCATION.
- 7 THE CONTRACTOR SHALL REMOVE ALL EXISTING PARTITION WALLS, CEILING, FLOOR AND PARTITION WALLS TO BE DEMOLISHED AND RELOCATE ALL EXISTING EQUIPMENT TO BE REMOVED TO ANOTHER LOCATION.
- 8 THE CONTRACTOR SHALL REMOVE ALL EXISTING PARTITION WALLS, CEILING, FLOOR AND PARTITION WALLS TO BE DEMOLISHED AND RELOCATE ALL EXISTING EQUIPMENT TO BE REMOVED TO ANOTHER LOCATION.
- 9 THE CONTRACTOR SHALL REMOVE ALL EXISTING PARTITION WALLS, CEILING, FLOOR AND PARTITION WALLS TO BE DEMOLISHED AND RELOCATE ALL EXISTING EQUIPMENT TO BE REMOVED TO ANOTHER LOCATION.
- 10 THE CONTRACTOR SHALL REMOVE ALL EXISTING PARTITION WALLS, CEILING, FLOOR AND PARTITION WALLS TO BE DEMOLISHED AND RELOCATE ALL EXISTING EQUIPMENT TO BE REMOVED TO ANOTHER LOCATION.
- 11 THE CONTRACTOR SHALL REMOVE ALL EXISTING PARTITION WALLS, CEILING, FLOOR AND PARTITION WALLS TO BE DEMOLISHED AND RELOCATE ALL EXISTING EQUIPMENT TO BE REMOVED TO ANOTHER LOCATION.
- 12 THE CONTRACTOR SHALL REMOVE ALL EXISTING PARTITION WALLS, CEILING, FLOOR AND PARTITION WALLS TO BE DEMOLISHED AND RELOCATE ALL EXISTING EQUIPMENT TO BE REMOVED TO ANOTHER LOCATION.
- 13 THE CONTRACTOR SHALL REMOVE ALL EXISTING PARTITION WALLS, CEILING, FLOOR AND PARTITION WALLS TO BE DEMOLISHED AND RELOCATE ALL EXISTING EQUIPMENT TO BE REMOVED TO ANOTHER LOCATION.
- 14 THE CONTRACTOR SHALL REMOVE ALL EXISTING PARTITION WALLS, CEILING, FLOOR AND PARTITION WALLS TO BE DEMOLISHED AND RELOCATE ALL EXISTING EQUIPMENT TO BE REMOVED TO ANOTHER LOCATION.

### DEMOLITION DETAILS

- 1 SHORE UP EXISTING STRUCTURE ABOVE. DEMOLISH EXISTING FOUNDATION AND EXISTING FOUNDATION WALLS WITH CONCRETE PILES & FOOTINGS IN THEIR ENTIRETY (NOT).
- 2 DEMOLISH EXISTING EXTERIOR SHUTTERS PANEL FROM AROUND THE PERIMETER OF THE EXISTING WINDOW BEAM. PROVIDE NEW CLEAN GROUND CUTS THROUGH EXISTING WINDOW BEAM TO REMAIN.
- 3 DEMOLISH EXISTING WINDOWS IN THEIR ENTIRETY.
- 4 DEMOLISH EXISTING DOORS IN THEIR ENTIRETY.
- 5 DEMOLISH EXISTING PARTIAL SUPPORT WALLS IN THEIR ENTIRETY THROUGHOUT CRANE SPACE AREA.
- 6 DEMOLISH EXISTING ACCESS DOOR PANELS IN THEIR ENTIRETY.
- 7 DEMOLISH EXISTING ACCESS DOOR PANELS IN THEIR ENTIRETY.
- 8 DEMOLISH EXISTING STEEL INSULATED DOOR TO REMOVE EXISTING SWING AND HINGES.
- 9 DEMOLISH EXISTING STEEL INSULATED DOOR TO REMOVE EXISTING SWING AND HINGES.
- 10 DEMOLISH EXISTING STEEL INSULATED DOOR TO REMOVE EXISTING SWING AND HINGES.
- 11 DEMOLISH EXISTING STEEL INSULATED DOOR TO REMOVE EXISTING SWING AND HINGES.
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- 16 DEMOLISH EXISTING STEEL INSULATED DOOR TO REMOVE EXISTING SWING AND HINGES.
- 17 DEMOLISH EXISTING STEEL INSULATED DOOR TO REMOVE EXISTING SWING AND HINGES.
- 18 DEMOLISH EXISTING STEEL INSULATED DOOR TO REMOVE EXISTING SWING AND HINGES.
- 19 DEMOLISH EXISTING STEEL INSULATED DOOR TO REMOVE EXISTING SWING AND HINGES.
- 20 DEMOLISH EXISTING STEEL INSULATED DOOR TO REMOVE EXISTING SWING AND HINGES.



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NOTE: MEASURED RESISTANT CYPRUS SCHED. AT ALL HEIGHTS (ONLY)

**1. FRAMING PLAN - FIRST FLOOR**  
 1/8" = 1'-0"

**2. FRAMING PLAN - SECOND FLOOR**  
 1/8" = 1'-0"

**3. FRAMING PLAN - ROOF**  
 1/8" = 1'-0"

**4. P2-PARTITION WALL - 4-1/2" RATED**  
 1/8" = 1'-0"

**5. P2-PARTITION WALL - 1/2" RATED**  
 1/8" = 1'-0"

**6. P2-BATHROOM**  
 1/8" = 1'-0"

**7. P2-CORNER OUT WALL DETAIL**  
 1/8" = 1'-0"

**8. RATED WALL ASSEMBLY**  
 1/8" = 1'-0"

**9. RATED CEILING ASSEMBLY**  
 1/8" = 1'-0"

**GENERAL NOTES:**

- CONTRACTOR TO FIELD VERIFY ALL CONDITIONS PRIOR REMOVING AND REPAIRING THE WORK.
- CONTRACTOR TO VERIFY ALL LOCAL OR INTERNATIONAL PROVISIONS (SUCH AS STRONGTIE, NAILS, BOLTS, ETC.) ARE USED AS NOTED ON DRAWINGS.
- PROVIDE ALL SIMPATIC BRACING, HANGERS, BRACKETS, IRON BOLTS, ETC. TO BE USED AS NOTED ON DRAWINGS.
- CREATE A STRUCTURAL SCANDAL ROD AND WALL SYSTEM.
- PROVIDE A MINIMUM OF 2" AIR LOCKS IN ALL BLOWN WIND/IMPACT RESISTANT AREAS.
- PROVIDE PLUG LIGHT IN ALL ATTIC SPACE AT ENTRANCE OF SCITILE ACCESS.
- PROVIDE ALL NECESSARY FLASHING WHERE ROOF ECHANGES AND WHERE ROOF E WALL MEETS.

**STEEL LINTEL SCHEDULE**

STEEL LINTELS ARE REQUIRED FOR ALL MASONRY OPENINGS AS FOLLOWS:

0-4' 0"	4" x 4" x 1/2"
4' 0" - 8' 0"	4" x 4" x 3/4"
8' 0" - 12' 0"	4" x 4" x 1"
12' 0" - 16' 0"	4" x 4" x 1 1/4"
16' 0" - 20' 0"	4" x 4" x 1 1/2"
20' 0" - 24' 0"	4" x 4" x 1 3/4"
24' 0" - 28' 0"	4" x 4" x 2"
28' 0" - 32' 0"	4" x 4" x 2 1/4"
32' 0" - 36' 0"	4" x 4" x 2 1/2"
36' 0" - 40' 0"	4" x 4" x 2 3/4"
40' 0" - 44' 0"	4" x 4" x 3"
44' 0" - 48' 0"	4" x 4" x 3 1/4"
48' 0" - 52' 0"	4" x 4" x 3 1/2"
52' 0" - 56' 0"	4" x 4" x 3 3/4"
56' 0" - 60' 0"	4" x 4" x 4"

**GENERAL REQUIREMENTS:**

- CONTRACTOR TO FIELD VERIFY ALL CONDITIONS PRIOR REMOVING AND REPAIRING THE WORK.
- CONTRACTOR TO VERIFY ALL LOCAL OR INTERNATIONAL PROVISIONS (SUCH AS STRONGTIE, NAILS, BOLTS, ETC.) ARE USED AS NOTED ON DRAWINGS.
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- PROVIDE PLUG LIGHT IN ALL ATTIC SPACE AT ENTRANCE OF SCITILE ACCESS.
- PROVIDE ALL NECESSARY FLASHING WHERE ROOF ECHANGES AND WHERE ROOF E WALL MEETS.

**FRAMING PLANS**

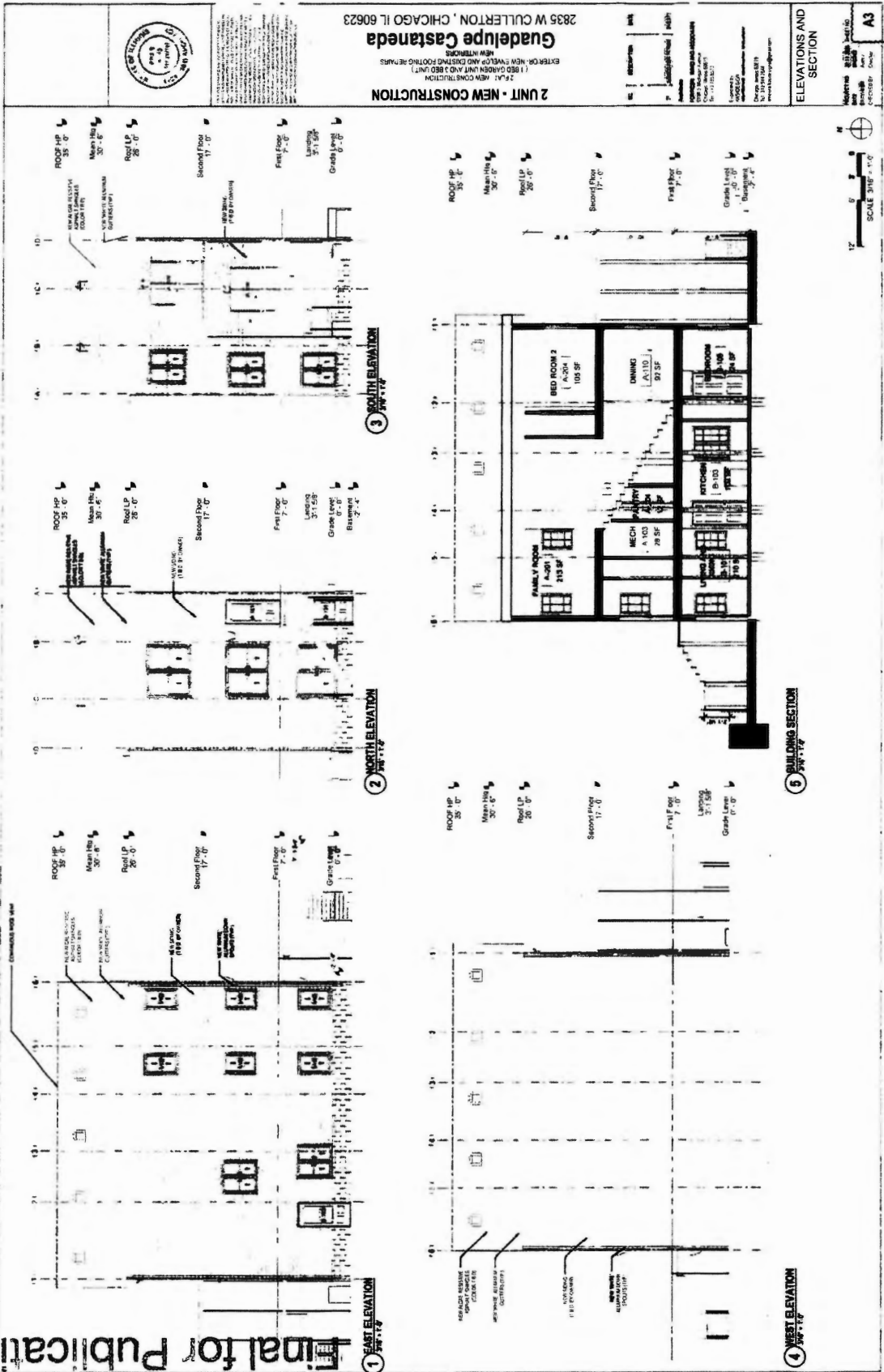
1. 823 GARDEN LANE AND BED UNIT 1  
 2. 2-DWELLING UNIT 2 FLAT  
 3. CONVERT SINGLE FAMILY RESIDENCE  
 4. GUIDELINE CASTANEDA  
 5. 2835 W CULLERTON, CHICAGO IL 60623

Scale: 1/8" = 1'-0"

DATE: 7/17/2024

PROJECT NO: 2024-07-17

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for Publication

**REAR STAIR - LOWER LEVEL**  
10'-0" x 11'-0"

**REAR STAIR - FIRST FLOOR LEVEL**  
10'-0" x 11'-0"

**REAR STAIR - SECOND FLOOR LEVEL**  
10'-0" x 11'-0"

**FRONT STAIR - LOWER LEVEL**  
10'-0" x 11'-0"

**FRONT STAIR - FIRST FLOOR LEVEL**  
10'-0" x 11'-0"

**FRONT STAIR**  
10'-0" x 11'-0"

**REAR STAIR**

**ENLARGED PORCH VIEWS**

SCALE: 1/8" = 1'-0"

**CONVERT SINGLE FAMILY RESIDENCE TO 2-DWELLING UNIT 2 FLOOR**  
**Guadalupe Castaneda**  
 2835 W CULLERTON, CHICAGO IL 60623

EXTERIOR - NEW EXTERIOR AND EXISTING EXTERIOR NEW WINDOWS  
 1. REAR EXTERIOR UNIT 2 FLOOR  
 2. FRONT EXTERIOR UNIT 2 FLOOR

Project No. 2024-0000000000  
 Date of Issue: 07/17/2024  
 Drawn by: [Name]  
 Checked by: [Name]  
 Project Location: [Address]

Professional Engineer  
 State of Illinois  
 License No. [Number]

Scale: 1/8" = 1'-0"

Sheet No. 1 of 1

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**2 SECTION FOOTING DETAIL**  
 2'-0" MIN. FOUNDATION  
 4" MIN. CONCRETE  
 4" MIN. REINFORCING BARS  
 4" MIN. CLEARANCE  
 4" MIN. COVER  
 4" MIN. COVER

**3 SECTION - RAILING ATTACHMENT TO POST**  
 4" MIN. DIA. POST  
 4" MIN. DIA. RAILING  
 4" MIN. DIA. BRACKET  
 4" MIN. DIA. WOOD BLOCK

**4 SECTION - RAILING ATTACHMENT TO POST**  
 4" MIN. DIA. POST  
 4" MIN. DIA. RAILING  
 4" MIN. DIA. BRACKET  
 4" MIN. DIA. WOOD BLOCK

**5 SECTION - LOWER STRINGER CONNECTION**  
 4" MIN. DIA. STRINGER  
 4" MIN. DIA. POST  
 4" MIN. DIA. BRACKET  
 4" MIN. DIA. WOOD BLOCK

**6 SECTION - UPPER STRINGER CONNECTION**  
 4" MIN. DIA. STRINGER  
 4" MIN. DIA. POST  
 4" MIN. DIA. BRACKET  
 4" MIN. DIA. WOOD BLOCK

**7 SECTION - STAR STRINGER CONNECTION**  
 4" MIN. DIA. STRINGER  
 4" MIN. DIA. POST  
 4" MIN. DIA. BRACKET  
 4" MIN. DIA. WOOD BLOCK

**8 SECTION - FLOOR LEDGER CONNECTION DETAIL**  
 4" MIN. DIA. LEDGER  
 4" MIN. DIA. POST  
 4" MIN. DIA. BRACKET  
 4" MIN. DIA. WOOD BLOCK

**9 SECTION - RAILING ATTACHMENT TO X POST**  
 4" MIN. DIA. POST  
 4" MIN. DIA. RAILING  
 4" MIN. DIA. BRACKET  
 4" MIN. DIA. WOOD BLOCK

**10 PLAN - RAILING POST AT CORNER DETAIL**  
 4" MIN. DIA. POST  
 4" MIN. DIA. RAILING  
 4" MIN. DIA. BRACKET  
 4" MIN. DIA. WOOD BLOCK

**11 SECTION - RAILING POST AT CORNER DETAIL**  
 4" MIN. DIA. POST  
 4" MIN. DIA. RAILING  
 4" MIN. DIA. BRACKET  
 4" MIN. DIA. WOOD BLOCK

**12 TYPICAL GUARDRAIL ELEVATION**  
 4" MIN. DIA. POST  
 4" MIN. DIA. RAILING  
 4" MIN. DIA. BRACKET  
 4" MIN. DIA. WOOD BLOCK

**13 STAR CROSS SECTION**  
 4" MIN. DIA. STRINGER  
 4" MIN. DIA. POST  
 4" MIN. DIA. BRACKET  
 4" MIN. DIA. WOOD BLOCK

**GENERAL NOTES:**  
 1. ALL DIMENSIONS ARE IN INCHES UNLESS OTHERWISE NOTED.  
 2. ALL MATERIALS SHALL BE AS SPECIFIED IN THE SPECIFICATIONS.  
 3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF CHICAGO CODES.  
 4. ALL CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH THE CITY OF CHICAGO CODES.  
 5. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE.  
 6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF CHICAGO CODES.  
 7. ALL CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH THE CITY OF CHICAGO CODES.  
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 16. ALL CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH THE CITY OF CHICAGO CODES.  
 17. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE.  
 18. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF CHICAGO CODES.  
 19. ALL CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH THE CITY OF CHICAGO CODES.  
 20. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE.

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 6. SECTION - UPPER STRINGER CONNECTION 6  
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 8. SECTION - FLOOR LEDGER CONNECTION DETAIL 8  
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 12. TYPICAL GUARDRAIL ELEVATION 12  
 13. STAR CROSS SECTION 13

**SCALE:**  
 SECTION 2-13: 1/4" = 1'-0"  
 SECTION 12: 1/2" = 1'-0"

**CONVERT SINGLE FAMILY RESIDENCE TO 2-DWELLING UNIT 2 FLAT**  
 Guadelupe Castaneda  
 2835 W CULLERTON, CHICAGO IL 60623

**SEAL:**  
 ARCHITECT  
 CHICAGO, ILLINOIS

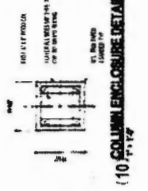
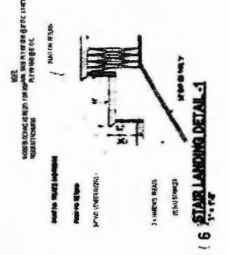
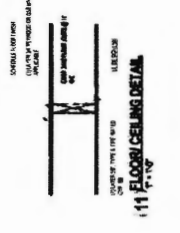
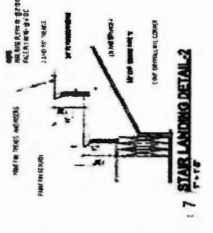
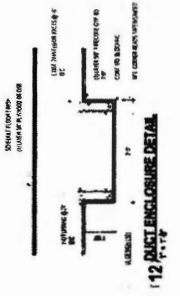
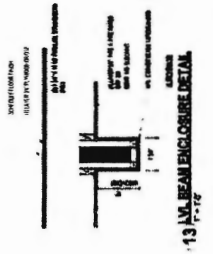
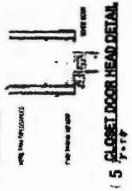
**DATE:**  
 07/17/2024

**PROJECT NO.:**  
 24000000000000000000

**SCALE:**  
 SECTION 2-13: 1/4" = 1'-0"  
 SECTION 12: 1/2" = 1'-0"

**SCALE:**  
 SECTION 2-13: 1/4" = 1'-0"  
 SECTION 12: 1/2" = 1'-0"

Final for Publication



Guadalupe Castaneda  
Professional Engineer  
No. 123456789  
State of Illinois

**CONVERT SINGLE FAMILY RESIDENCE TO 2-DWELLING UNIT 2 FLAT**  
**Guadalupe Castaneda**  
2835 W CULLERTON, CHICAGO IL 60623  
EXTERIOR NEW ELEM CP AND EXISTING FOOTING REMAINS NEW INTERIORS  
1-200-800-1111  
1-773-333-1111

**DETAILS**  
DATE: 07/17/2024  
PROJECT: 2024-001  
DRAWN BY: J. Smith  
CHECKED BY: M. Jones  
SCALE: AS SHOWN  
SHEET: 10 OF 10  
PROJECT NO: 2024-001

Final for Publication

### DOOR SCHEDULE

Room Number	Room Name	SEE	Frame	Material	Finish	Notes
A-101	CL. 1	1 1/2" x 6"	WOOD	WOOD	WOOD	
A-102	CL. 2	1 1/2" x 6"	WOOD	WOOD	WOOD	
A-103	CL. 3	1 1/2" x 6"	WOOD	WOOD	WOOD	
A-104	CL. 4	1 1/2" x 6"	WOOD	WOOD	WOOD	
A-105	CL. 5	1 1/2" x 6"	WOOD	WOOD	WOOD	
A-106	CL. 6	1 1/2" x 6"	WOOD	WOOD	WOOD	
A-107	CL. 7	1 1/2" x 6"	WOOD	WOOD	WOOD	
A-108	CL. 8	1 1/2" x 6"	WOOD	WOOD	WOOD	
A-109	CL. 9	1 1/2" x 6"	WOOD	WOOD	WOOD	
A-110	CL. 10	1 1/2" x 6"	WOOD	WOOD	WOOD	
A-111	CL. 11	1 1/2" x 6"	WOOD	WOOD	WOOD	
A-112	CL. 12	1 1/2" x 6"	WOOD	WOOD	WOOD	
A-113	CL. 13	1 1/2" x 6"	WOOD	WOOD	WOOD	
A-114	CL. 14	1 1/2" x 6"	WOOD	WOOD	WOOD	
A-115	CL. 15	1 1/2" x 6"	WOOD	WOOD	WOOD	
A-116	CL. 16	1 1/2" x 6"	WOOD	WOOD	WOOD	
A-117	CL. 17	1 1/2" x 6"	WOOD	WOOD	WOOD	
A-118	CL. 18	1 1/2" x 6"	WOOD	WOOD	WOOD	
A-119	CL. 19	1 1/2" x 6"	WOOD	WOOD	WOOD	
A-120	CL. 20	1 1/2" x 6"	WOOD	WOOD	WOOD	
A-121	CL. 21	1 1/2" x 6"	WOOD	WOOD	WOOD	
A-122	CL. 22	1 1/2" x 6"	WOOD	WOOD	WOOD	
A-123	CL. 23	1 1/2" x 6"	WOOD	WOOD	WOOD	
A-124	CL. 24	1 1/2" x 6"	WOOD	WOOD	WOOD	
A-125	CL. 25	1 1/2" x 6"	WOOD	WOOD	WOOD	
A-126	CL. 26	1 1/2" x 6"	WOOD	WOOD	WOOD	
A-127	CL. 27	1 1/2" x 6"	WOOD	WOOD	WOOD	
A-128	CL. 28	1 1/2" x 6"	WOOD	WOOD	WOOD	
A-129	CL. 29	1 1/2" x 6"	WOOD	WOOD	WOOD	
A-130	CL. 30	1 1/2" x 6"	WOOD	WOOD	WOOD	
A-131	CL. 31	1 1/2" x 6"	WOOD	WOOD	WOOD	
A-132	CL. 32	1 1/2" x 6"	WOOD	WOOD	WOOD	
A-133	CL. 33	1 1/2" x 6"	WOOD	WOOD	WOOD	
A-134	CL. 34	1 1/2" x 6"	WOOD	WOOD	WOOD	
A-135	CL. 35	1 1/2" x 6"	WOOD	WOOD	WOOD	

### WINDOW SCHEDULE

Room	Window	Material	Finish	Notes
W-101	W-101	WOOD	WOOD	
W-102	W-102	WOOD	WOOD	
W-103	W-103	WOOD	WOOD	
W-104	W-104	WOOD	WOOD	
W-105	W-105	WOOD	WOOD	
W-106	W-106	WOOD	WOOD	
W-107	W-107	WOOD	WOOD	
W-108	W-108	WOOD	WOOD	
W-109	W-109	WOOD	WOOD	
W-110	W-110	WOOD	WOOD	
W-111	W-111	WOOD	WOOD	
W-112	W-112	WOOD	WOOD	
W-113	W-113	WOOD	WOOD	
W-114	W-114	WOOD	WOOD	
W-115	W-115	WOOD	WOOD	
W-116	W-116	WOOD	WOOD	
W-117	W-117	WOOD	WOOD	
W-118	W-118	WOOD	WOOD	
W-119	W-119	WOOD	WOOD	
W-120	W-120	WOOD	WOOD	
W-121	W-121	WOOD	WOOD	
W-122	W-122	WOOD	WOOD	
W-123	W-123	WOOD	WOOD	
W-124	W-124	WOOD	WOOD	
W-125	W-125	WOOD	WOOD	

### DETAILS

### NOTES

- ALL WINDOW OPENING CONDITIONS SHALL BE AS SHOWN ON DRAWINGS UNLESS OTHERWISE NOTED.
- ALL WINDOW OPENINGS SHALL BE PROVIDED WITH INSULATION AND FINISH TO MATCH ADJACENT WALLS.
- ALL WINDOW OPENINGS SHALL BE PROVIDED WITH OPERABLE HARDWARE AS SHOWN ON DRAWINGS.
- ALL WINDOW OPENINGS SHALL BE PROVIDED WITH FINISH TO MATCH ADJACENT WALLS.
- ALL WINDOW OPENINGS SHALL BE PROVIDED WITH FINISH TO MATCH ADJACENT WALLS.

### CONTRACT INFORMATION

TO 2-DWELLING UNIT 2 FLAT  
**Guadalupe Castaneda**  
 2835 W CULLERTON, CHICAGO IL 60623

# Final for Publication

**MECHANICAL FLOOR PLANS**

TO 2-DWELLING UNIT 2 FLAT  
CONVERT SINGLE FAMILY RESIDENCE  
1 (3) GARAGE UNIT AND 3 BED UNIT  
EXTENSION, NEW ENTRY AND FOOTING REPAIRS NEW INTERIORS  
2835 W CULLERTON, CHICAGO IL 60623

**MECHANICAL FLOOR PLANS**

DATE: 07/17/2024  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
SCALE: AS SHOWN

**MECHANICAL FLOOR PLAN - UNIT 2 - LEVEL 2**

1 MECHANICAL PLAN - UNIT 2 - LEVEL 2  
2 MECHANICAL PLAN - UNIT 2 - LEVEL 2  
3 MECHANICAL PLAN - UNIT 2 - LEVEL 2

**MECHANICAL SCHEDULE**

NO.	DESCRIPTION	TYPE	SIZE	LOCATION
1	Rectangular Duct Supply	Supply	12" x 12"	Living Room
2	Rectangular Duct Return	Return	12" x 12"	Living Room
3	Rectangular Duct Supply	Supply	8" x 8"	Bedroom
4	Rectangular Duct Return	Return	8" x 8"	Bedroom
5	Rectangular Duct Supply	Supply	10" x 10"	Bathroom
6	Rectangular Duct Return	Return	10" x 10"	Bathroom
7	Rectangular Duct Supply	Supply	14" x 14"	Kitchen
8	Rectangular Duct Return	Return	14" x 14"	Kitchen
9	Rectangular Duct Supply	Supply	16" x 16"	Hallway
10	Rectangular Duct Return	Return	16" x 16"	Hallway

**REGISTER SCHEDULE**

NO.	DESCRIPTION	TYPE	SIZE	LOCATION
1	Rectangular Register	Supply	12" x 12"	Living Room
2	Rectangular Register	Return	12" x 12"	Living Room
3	Rectangular Register	Supply	8" x 8"	Bedroom
4	Rectangular Register	Return	8" x 8"	Bedroom
5	Rectangular Register	Supply	10" x 10"	Bathroom
6	Rectangular Register	Return	10" x 10"	Bathroom
7	Rectangular Register	Supply	14" x 14"	Kitchen
8	Rectangular Register	Return	14" x 14"	Kitchen
9	Rectangular Register	Supply	16" x 16"	Hallway
10	Rectangular Register	Return	16" x 16"	Hallway

**DUCTWORK SCHEDULE**

NO.	DESCRIPTION	TYPE	SIZE	LOCATION
1	Rectangular Duct Supply	Supply	12" x 12"	Living Room
2	Rectangular Duct Return	Return	12" x 12"	Living Room
3	Rectangular Duct Supply	Supply	8" x 8"	Bedroom
4	Rectangular Duct Return	Return	8" x 8"	Bedroom
5	Rectangular Duct Supply	Supply	10" x 10"	Bathroom
6	Rectangular Duct Return	Return	10" x 10"	Bathroom
7	Rectangular Duct Supply	Supply	14" x 14"	Kitchen
8	Rectangular Duct Return	Return	14" x 14"	Kitchen
9	Rectangular Duct Supply	Supply	16" x 16"	Hallway
10	Rectangular Duct Return	Return	16" x 16"	Hallway

**MECHANICAL SCHEDULE**

NO.	DESCRIPTION	TYPE	SIZE	LOCATION
1	Rectangular Duct Supply	Supply	12" x 12"	Living Room
2	Rectangular Duct Return	Return	12" x 12"	Living Room
3	Rectangular Duct Supply	Supply	8" x 8"	Bedroom
4	Rectangular Duct Return	Return	8" x 8"	Bedroom
5	Rectangular Duct Supply	Supply	10" x 10"	Bathroom
6	Rectangular Duct Return	Return	10" x 10"	Bathroom
7	Rectangular Duct Supply	Supply	14" x 14"	Kitchen
8	Rectangular Duct Return	Return	14" x 14"	Kitchen
9	Rectangular Duct Supply	Supply	16" x 16"	Hallway
10	Rectangular Duct Return	Return	16" x 16"	Hallway

**GENERAL NOTES:**

1. ALL MECHANICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE MECHANICAL CODES AND STANDARDS OF THE CITY OF CHICAGO.
2. ALL MECHANICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE MECHANICAL CODES AND STANDARDS OF THE CITY OF CHICAGO.
3. ALL MECHANICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE MECHANICAL CODES AND STANDARDS OF THE CITY OF CHICAGO.
4. ALL MECHANICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE MECHANICAL CODES AND STANDARDS OF THE CITY OF CHICAGO.
5. ALL MECHANICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE MECHANICAL CODES AND STANDARDS OF THE CITY OF CHICAGO.

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5. ALL MECHANICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE MECHANICAL CODES AND STANDARDS OF THE CITY OF CHICAGO.

**REGISTER SCHEDULE:**

1. ALL MECHANICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE MECHANICAL CODES AND STANDARDS OF THE CITY OF CHICAGO.

2. ALL MECHANICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE MECHANICAL CODES AND STANDARDS OF THE CITY OF CHICAGO.

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5. ALL MECHANICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE MECHANICAL CODES AND STANDARDS OF THE CITY OF CHICAGO.

**DUCTWORK SCHEDULE:**

1. ALL MECHANICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE MECHANICAL CODES AND STANDARDS OF THE CITY OF CHICAGO.

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3. ALL MECHANICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE MECHANICAL CODES AND STANDARDS OF THE CITY OF CHICAGO.

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4. ALL MECHANICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE MECHANICAL CODES AND STANDARDS OF THE CITY OF CHICAGO.

5. ALL MECHANICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE MECHANICAL CODES AND STANDARDS OF THE CITY OF CHICAGO.

Final for Publication

**MECHANICAL NOTES**

1. DRAWINGS ARE GENERALLY DIMENSIONAL. ROUTING OF PIPING AND DUCTWORK AS SHOWN DOES NOT INTEND TO SHOW EXPOSED RISER, UNLESS OTHERWISE NOTED. EVERY TRUNK, BRANCH AND HANGAR SHALL BE MADE OF GALVANIZED STEEL UNLESS OTHERWISE SPECIFIED.

2. CONTRACTOR SHALL VERIFY THAT ALL DIMENSIONS SHOWN ARE CORRECT AND SHALL BE CORRECTED BEFORE COMMENCEMENT OF WORK. CONTRACTOR SHALL VERIFY THAT ALL DIMENSIONS SHOWN ARE CORRECT AND SHALL BE CORRECTED BEFORE COMMENCEMENT OF WORK.

3. CONTRACTOR SHALL CHECK DRAWINGS OF OTHER TRADES TO VERIFY THAT SPACES OF OTHER TRADES WILL BE MAINTAINED CLEAR OF OBSTRUCTIONS. WORK SHALL BE INSTALLED AS SHOWN UNLESS OTHERWISE NOTED.

4. CONTRACTOR SHALL VERIFY THAT ALL DIMENSIONS SHOWN ARE CORRECT AND SHALL BE CORRECTED BEFORE COMMENCEMENT OF WORK. CONTRACTOR SHALL VERIFY THAT ALL DIMENSIONS SHOWN ARE CORRECT AND SHALL BE CORRECTED BEFORE COMMENCEMENT OF WORK.

5. CONTRACTOR SHALL VERIFY THAT ALL DIMENSIONS SHOWN ARE CORRECT AND SHALL BE CORRECTED BEFORE COMMENCEMENT OF WORK. CONTRACTOR SHALL VERIFY THAT ALL DIMENSIONS SHOWN ARE CORRECT AND SHALL BE CORRECTED BEFORE COMMENCEMENT OF WORK.

**MECHANICAL NOTES**

1. ALL WORK SHALL CONFORM TO CITY OF CHICAGO BUILDING CODE AND CITY OF CHICAGO PLUMBING CODE.

2. ALL DUCTWORK SHALL BE CONSTRUCTED OF GALVANIZED STEEL UNLESS OTHERWISE SPECIFIED.

3. ALL DUCTWORK SHALL BE CONSTRUCTED OF GALVANIZED STEEL UNLESS OTHERWISE SPECIFIED.

4. ALL DUCTWORK SHALL BE CONSTRUCTED OF GALVANIZED STEEL UNLESS OTHERWISE SPECIFIED.

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4. ALL DUCTWORK SHALL BE CONSTRUCTED OF GALVANIZED STEEL UNLESS OTHERWISE SPECIFIED.

5. ALL DUCTWORK SHALL BE CONSTRUCTED OF GALVANIZED STEEL UNLESS OTHERWISE SPECIFIED.

CONVERT SINGLE FAMILY RESIDENCE  
 TO 2 DWELLING UNIT 2 FLAT  
 1. 200 CUBIC FT. UNIT AND 200 CUBIC FT. UNIT  
 2835 W CULLERTON, CHICAGO IL 60623  
**Guadalupe Castañeda**  
 ARCHITECT  
 2835 W CULLERTON, CHICAGO IL 60623

MECHANICAL NOTES  
 1. ALL WORK SHALL CONFORM TO CITY OF CHICAGO BUILDING CODE AND CITY OF CHICAGO PLUMBING CODE.  
 2. ALL DUCTWORK SHALL BE CONSTRUCTED OF GALVANIZED STEEL UNLESS OTHERWISE SPECIFIED.  
 3. ALL DUCTWORK SHALL BE CONSTRUCTED OF GALVANIZED STEEL UNLESS OTHERWISE SPECIFIED.  
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MECHANICAL NOTES  
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 5. ALL DUCTWORK SHALL BE CONSTRUCTED OF GALVANIZED STEEL UNLESS OTHERWISE SPECIFIED.

**CONCRETE NOTES**

1. ALL CONCRETE SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN UNLESS OTHERWISE SPECIFIED.

2. ALL CONCRETE SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN UNLESS OTHERWISE SPECIFIED.

3. ALL CONCRETE SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN UNLESS OTHERWISE SPECIFIED.

4. ALL CONCRETE SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN UNLESS OTHERWISE SPECIFIED.

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**MECHANICAL NOTES**

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5. ALL DUCTWORK SHALL BE CONSTRUCTED OF GALVANIZED STEEL UNLESS OTHERWISE SPECIFIED.

Final for Publication

**CONVERT SINGLE FAMILY RESIDENCE TO 2-DWELLING UNIT 2 FLAT**  
 EXTERIOR NEW ENVELOPE AND EXISTING FINISHING NEW INTERIORS  
 Guadalupe Castaneda  
 2835 W CULLERTON, CHICAGO IL 60623

**ELECTRICAL PANEL NOTES:**  
 1. THE CONTRACTOR SHALL PROVIDE ALL NEW WIRING INCLUDING CONDUIT, TRAY, AND WIRING DEVICES. ALL NEW WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL ORDINANCES. ALL WIRING SHALL BE IDENTIFIED BY COLOR AND NUMBERING TO MATCH THE PANEL SCHEDULE. ALL WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL ORDINANCES. ALL WIRING SHALL BE IDENTIFIED BY COLOR AND NUMBERING TO MATCH THE PANEL SCHEDULE. ALL WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL ORDINANCES. ALL WIRING SHALL BE IDENTIFIED BY COLOR AND NUMBERING TO MATCH THE PANEL SCHEDULE.

**ELECTRICAL PANEL SCHEDULE:**

Panel	Breaker	Panel	Breaker
1	60A/100V	2	40A/100V
3	40A/100V	4	20A/100V
5	20A/100V	6	20A/100V
7	20A/100V	8	20A/100V
9	20A/100V	10	20A/100V
11	20A/100V	12	20A/100V
13	20A/100V	14	20A/100V
15	20A/100V	16	20A/100V
17	20A/100V	18	20A/100V
19	20A/100V	20	20A/100V
21	20A/100V	22	20A/100V
23	20A/100V	24	20A/100V
25	20A/100V	26	20A/100V
27	20A/100V	28	20A/100V
29	20A/100V	30	20A/100V
31	20A/100V	32	20A/100V
33	20A/100V	34	20A/100V
35	20A/100V	36	20A/100V
37	20A/100V	38	20A/100V
39	20A/100V	40	20A/100V

**ELECTRICAL SYMBOLS:**  
 1. ELECTRICAL SYMBOLS  
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 37. ELECTRICAL SYMBOLS  
 38. ELECTRICAL SYMBOLS  
 39. ELECTRICAL SYMBOLS  
 40. ELECTRICAL SYMBOLS

**1** ELECTRICAL PLAN - UNIT B  
 2/26/24  
 SCALE: 1/8" = 1'-0"

**2** ELECTRICAL PLAN - UNIT A - LEVEL 2  
 2/26/24  
 SCALE: 1/8" = 1'-0"

**3** ELECTRICAL PLAN - UNIT A - LEVEL 2  
 2/26/24  
 SCALE: 1/8" = 1'-0"

**ELECTRICAL FLOOR PLAN**  
 PROJECT: CONVERT SINGLE FAMILY RESIDENCE TO 2-DWELLING UNIT 2 FLAT  
 DATE: 07/17/2024  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 APPROVED BY: [Name]

**STATE OF ILLINOIS**  
 OFFICE OF PROFESSIONAL REGULATION AND ADMINISTRATION  
 ELECTRICIAN REGISTRATION BOARD

# Final for Publication

### GENERAL PLUMBING NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF CHICAGO.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO PLUMBING CODE AND THE CHICAGO BUILDING CODE.
3. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF CHICAGO.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF CHICAGO.
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### PLUMBING DIAGRAMS

TO 2 DWELLING UNIT 2 FLAT  
 GUADALUPE CASTANEDA  
 2835 W CULLERTON, CHICAGO IL 60623

### GENERAL PLUMBING NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF CHICAGO.
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### PLUMBING DIAGRAMS

TO 2 DWELLING UNIT 2 FLAT  
 GUADALUPE CASTANEDA  
 2835 W CULLERTON, CHICAGO IL 60623

*Reclassification Of Area Shown On Map No. 6-H.*

(As Amended)

(Application No. 22406T1)

(Common Address: 2315 W. 24<sup>th</sup> Pl.)

[SO2024-0008874]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all the B2-3 Neighborhood Mixed-Use District symbols and indications as shown on Map Number 6-H in the area bounded by:

West 24<sup>th</sup> Place; the public alley next west of and parallel to South Oakley Avenue; the public alley next south of and parallel to West 24<sup>th</sup> Place; and a line 168.0 feet west of and parallel to South Oakley Avenue,

to those of a B2-3 Neighborhood Mixed-Use District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

[ALTA/NSPS Land Title Survey; Site Plan; Basement, 1<sup>st</sup>, 2<sup>nd</sup> and 3<sup>rd</sup> Floor Architectural Plans; and North, South, East and West Building Elevations attached to this ordinance printed on pages 14787 through 14795 of this *Journal*.]

Type 1 Narrative Rezoning Analysis attached to this ordinance reads as follows:

# Final for Publication

**SUBSTITUTE NARRATIVE AND PLANS**  
**TYPE I Rezoning Attachment**  
 2315 West 24<sup>th</sup> Place  
 From B2-3 to B2-3

**The Property**

The subject property is located in a B2-3 Neighborhood Mixed-Use District and sits in an Equitable Transit Served Location per the Chicago Zoning Ordinance and is approximately within 536.0 feet of a CTA Western (Route 49) Bus Corridor stop.

The subject property is improved with a two-story residential building with nine units and three indoor parking spaces. The Applicant rezoned the property in 05-25-2022 as a Type-1 rezoning application to convert the building from eight units to nine units.

**The Project**

Cloud Property Management LLC, 2315 Series (the "Applicant") seeks a rezoning to amend the previously approved Type-1 Application passed by City Council on 05-25-2022 to convert the building from nine to 12 units. The Applicant also will be constructing a third-floor addition to accommodate the three new proposed units. There will be two new bicycle spaces added for a total of eleven bicycle spaces on the property. There will be no additional parking.

The Applicant also seeks Type-1 application relief pursuant to section 17-13-0300 of the Chicago Zoning Ordinance for an Administrative Adjustment under section 17-13-1003-EE to reduce 2 required parking spaces to zero for properties located in an Equitable Transit Served Location, and Variations under section 17-13-1101-B to reduce the front yard setback from 4.28' to 3.25' (existing), reduce the combined side yards from 9.6' to zero (existing), and reduce the rear yard setback from 30.0' to zero.

To allow the proposed project, the Applicant seeks a change in zoning classification for the subject property from a B2-3 Neighborhood Mixed-Use District to a B2-3 Neighborhood Mixed-Use District.

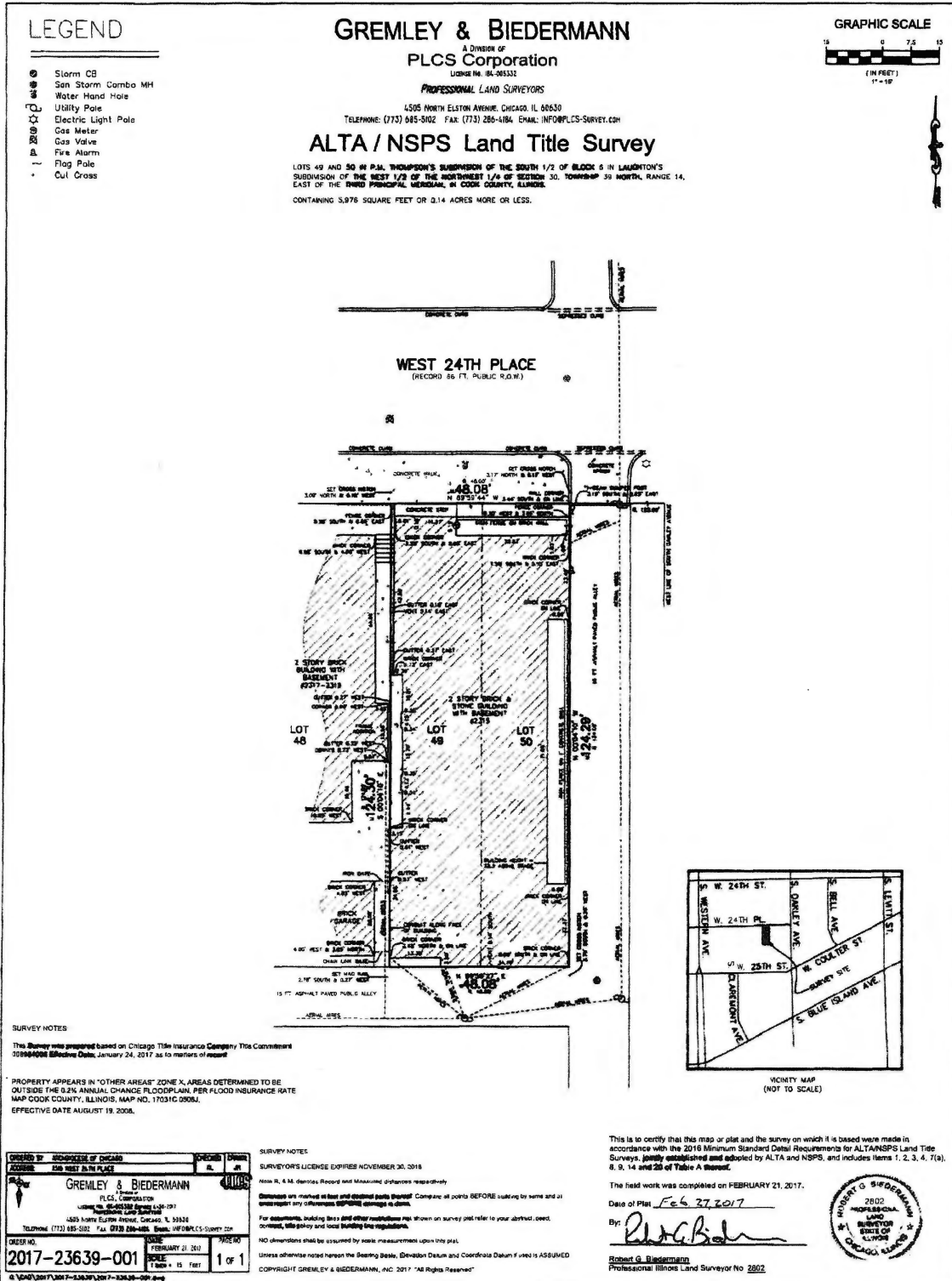
The following are the relevant zoning parameters for the proposed project:

Lot Area:	5,952 square feet
FAR:	3.38
Floor Area:	20,168 square feet
Residential Dwelling Units:	12
MLA Density:	496.0 square feet
Height:	43'-3" (bottom of the third floor ceiling per elevation)
Bicycle Parking:	11
Automobile Parking:	3*
Setbacks:	North (West 24 <sup>th</sup> Pl): 3.25'** South (rear): 0.0** East: 0.0** West: 0.0**

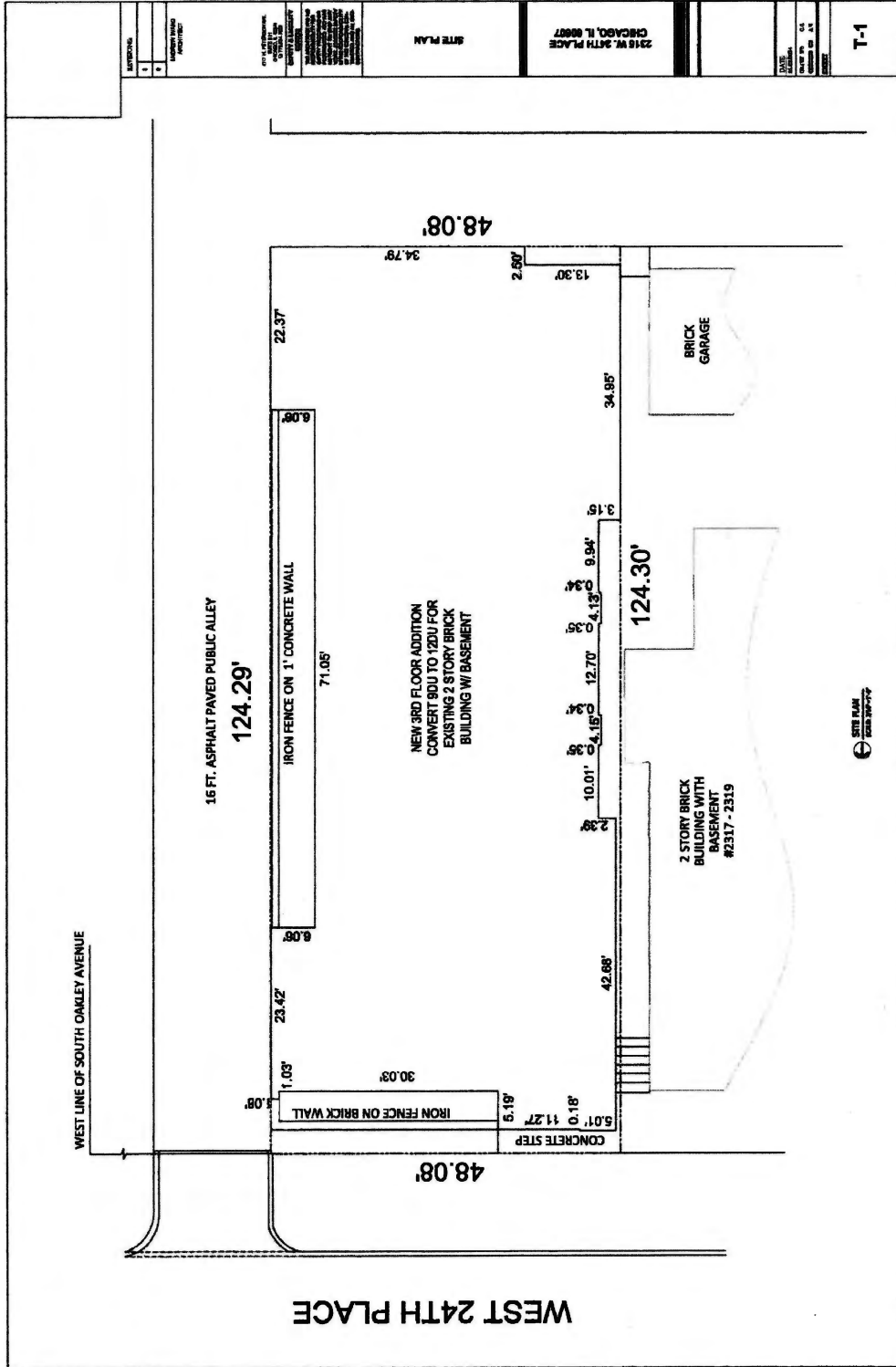
A set of plans is attached.

\* As mentioned above, the Applicant seeks optional Administrative Adjustment relief under section 17-13-0303-D to reduce parking from two new spaces to zero under ETOD regulations and also seeks optional Variation to reduce the front yard setback from 4.28' to 3.25' (existing), reduce the combined side yards from 9.6' to zero (existing), and reduce the rear yard setback from 30.0' to zero.

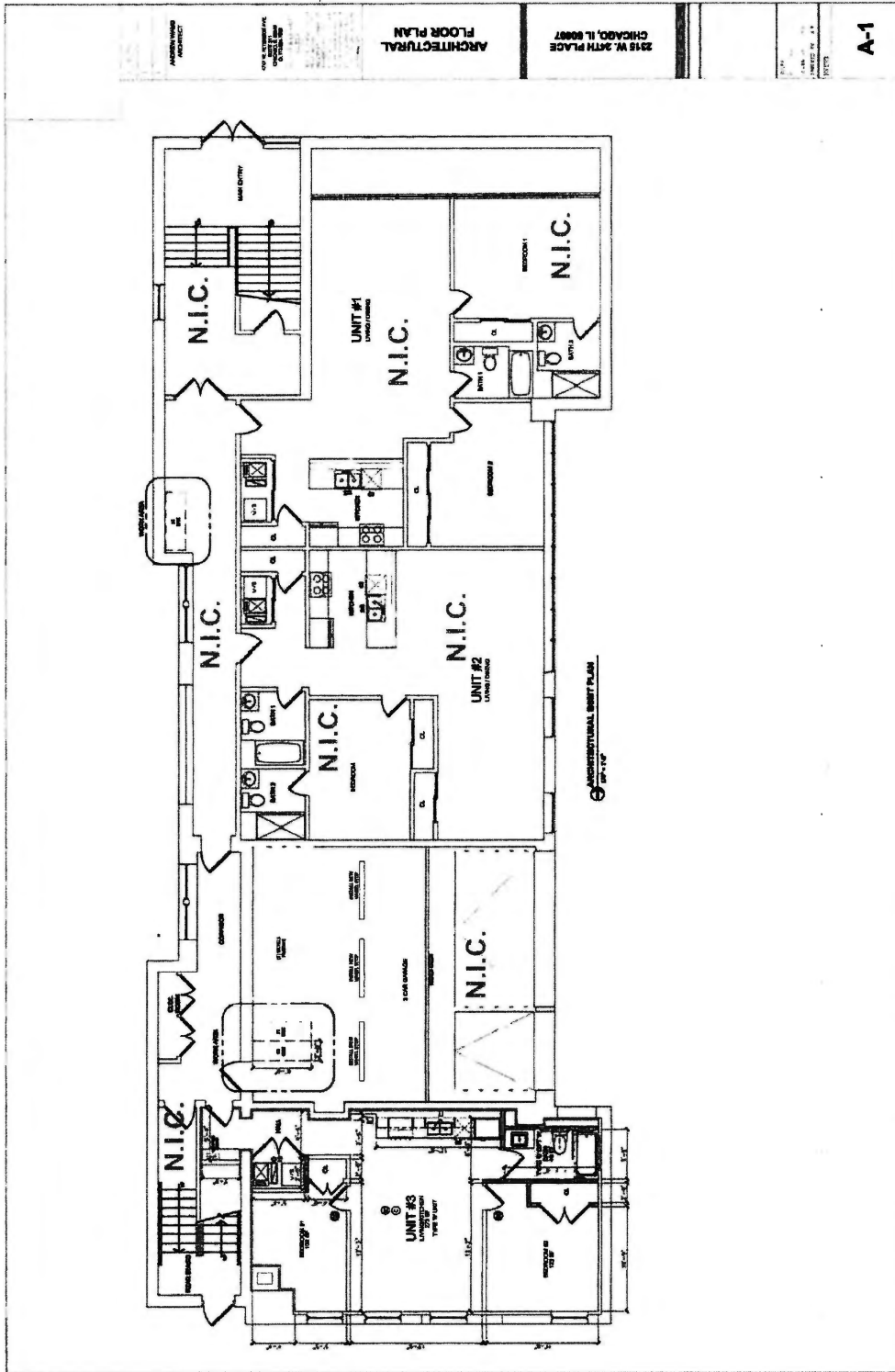
# Final for Publication



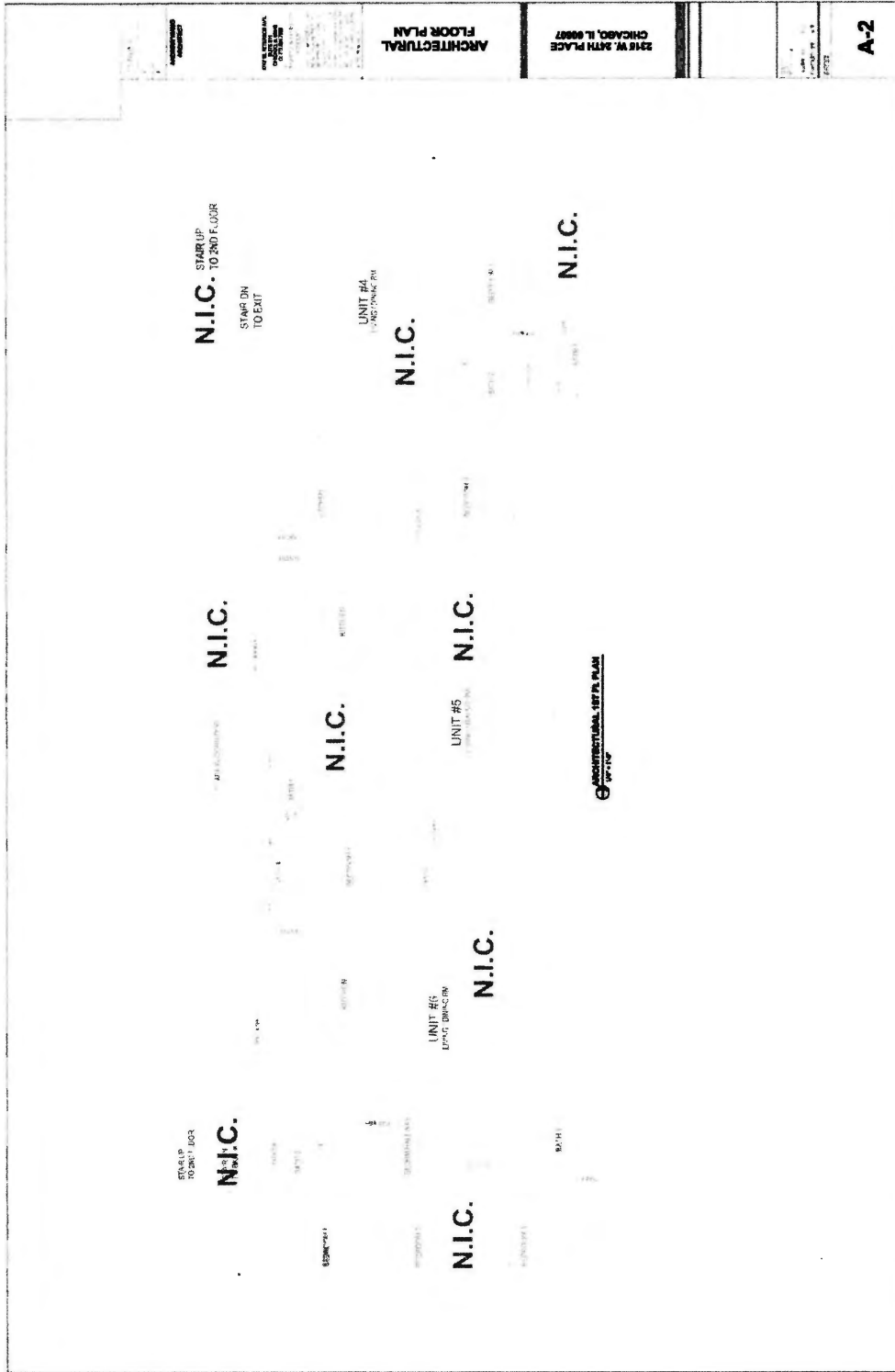
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Final for Publication



Final for Publication



Final for Publication

The architectural floor plan shows a grid of units. The units are labeled as follows:

- UNIT #9 (top row)
- UNIT #6 (middle row)
- UNIT #7 (bottom row)

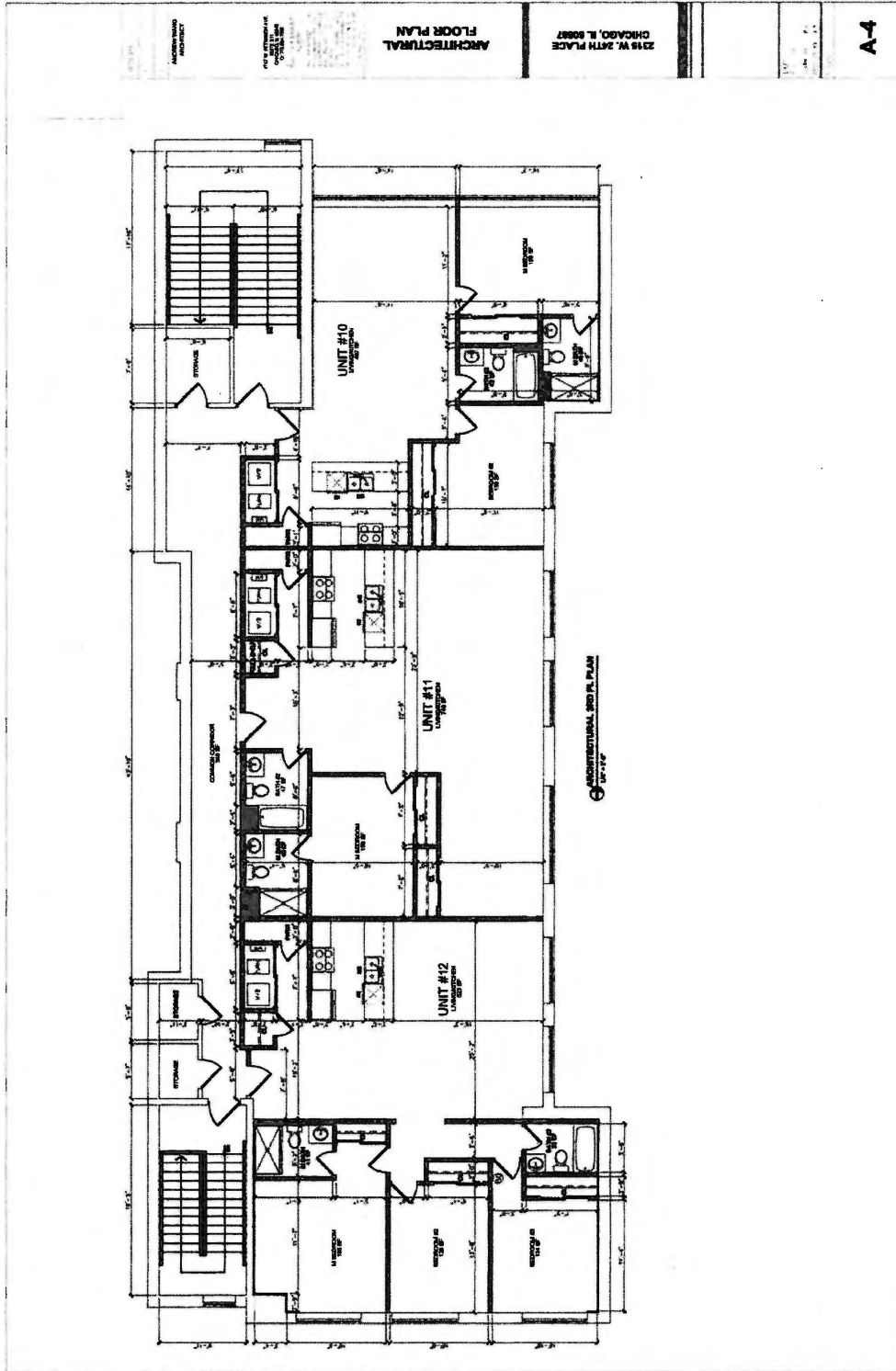
Each unit is labeled with "N.I.C." (Not In Compliance). There are also diagrams of window blinds and a title block at the bottom right.

2816 W. 24TH PLACE  
CHICAGO, IL 60607

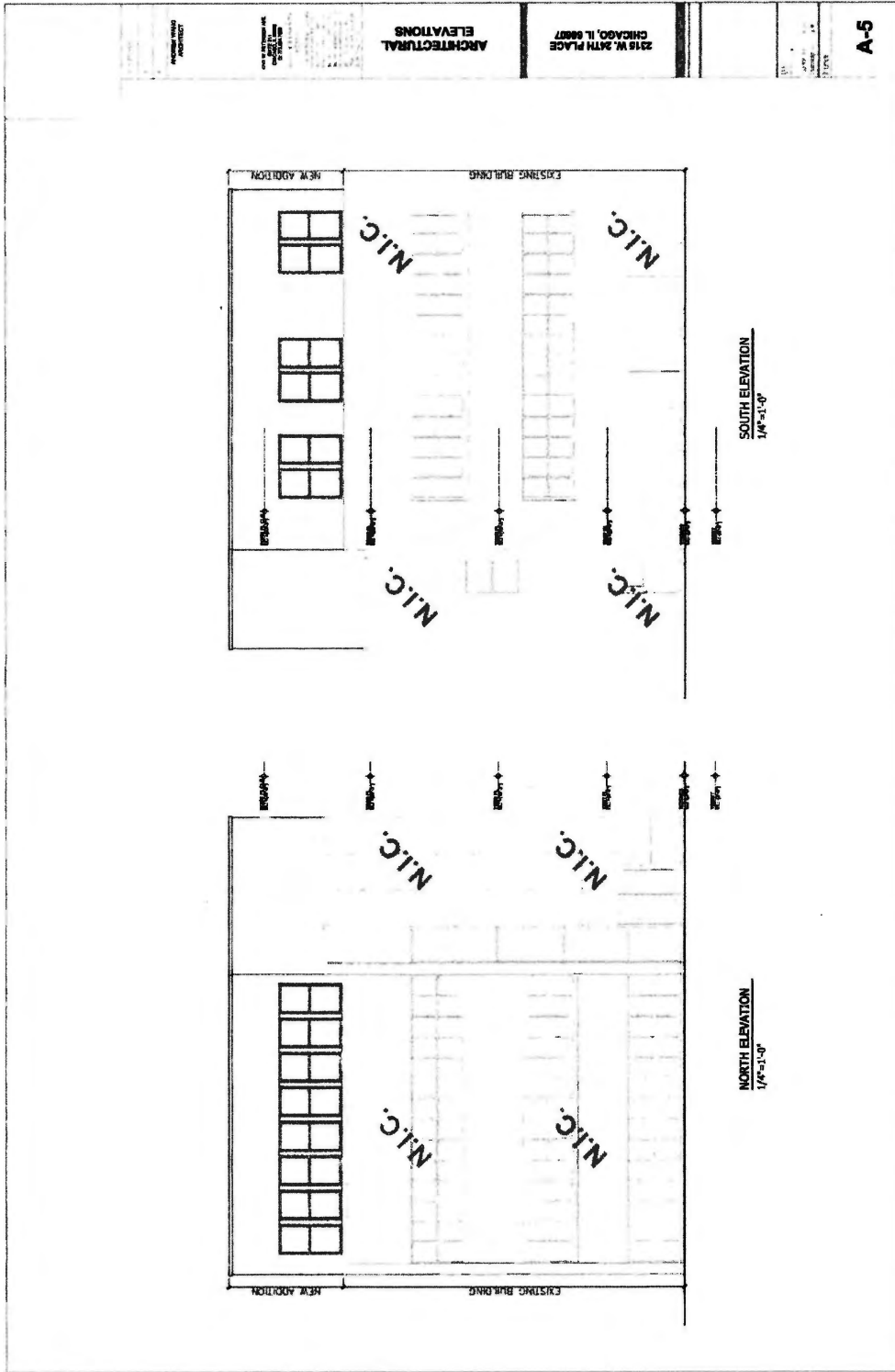
ARCHITECTURAL FLOOR PLAN

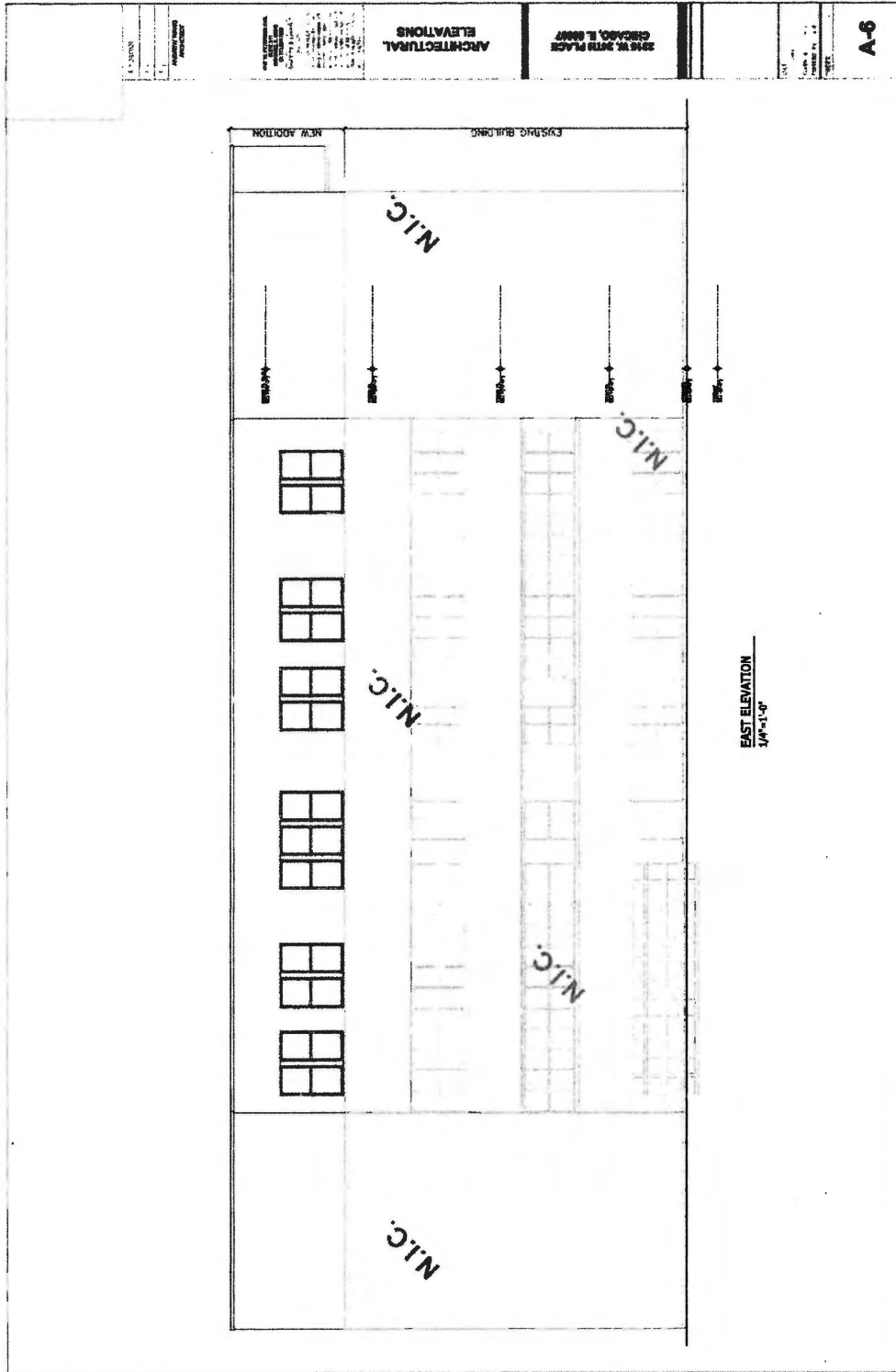
A-3

Final for Publication

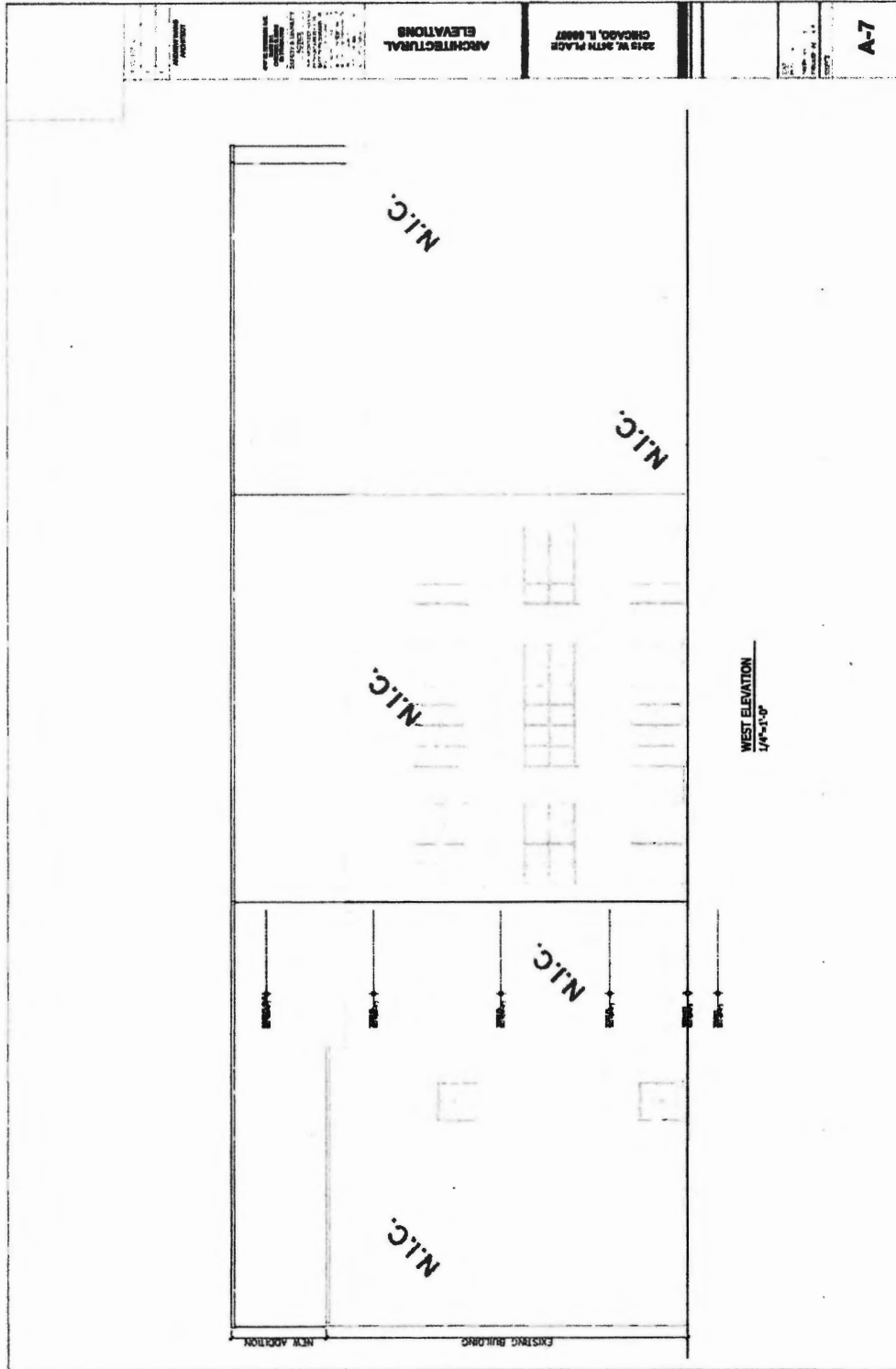


Final for Publication





Final for Publication



Final for Publication

*Reclassification Of Area Shown On Map No. 7-F.*  
(Application No. 22487)  
(Common Address: 433 W. Diversey Pkwy.)

[O2024-0010033]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, be amended by changing all of the B3-2 Community Shopping District symbols and indications as shown on Map Number 7-F in the area bounded by:

West Diversey Parkway; a line 316.00 feet west of and parallel to North Lakeview Avenue; the alley next south of and parallel to West Diversey Parkway; and a line 341.00 feet west of and parallel to North Lakeview Avenue,

to those of a C1-3 Neighborhood Commercial District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

[Plat of Survey; Site Plan; Proposed 1<sup>st</sup> and 2<sup>nd</sup> Floor Plans;  
Existing Mezzanine; North, South, East and West  
Building Elevations; and TSL Map and  
Statement attached to this ordinance  
printed on pages 14801 through  
14806 of this *Journal*.]

Type 1 Narrative Rezoning Analysis attached to this ordinance reads as follows:

## Final for Publication

**17-13-0303-C (1) Type 1 Narrative & Plans - Zoning Map Amendment**  
433 West Diversey Parkway, Chicago, Illinois

Proposed Zoning: C1-3 Neighborhood Commercial District

Lot Area: 3,771 square feet

Proposed Land Use: The Applicant is seeking a *Zoning Map Amendment* in order to permit the erection of a vertical addition ("2<sup>nd</sup> Floor") above the existing one-story building, at the subject property, which such addition will contain enhanced operational space for the existing *restaurant* (with *tavern* license) and a single *dwelling unit*. The design for the new improvements includes the establishment of an all-season room (with retractable roof) and an outdoor patio at the front of the 2<sup>nd</sup> Floor, which will provide expanded dining-seating options for patrons of the *restaurant-tavern*. Due to the footprint of the existing improvements and in consideration of the property's classification as a *Transit Served Location* (TSL), there is and will remain no off-street/onsite automobile parking. The building, with proposed vertical addition and accessory improvements, measures 39 feet- 1¼ inches in height.

- (A) The Project's Floor Area Ratio: 6,045 square feet (1.6 FAR)
- (B) The Project's Density (Lot Area Per Dwelling Unit): 1 dwelling units (3,771 square feet per dwelling unit)
- (C) The amount of off-street parking: \*0 total automobile spaces

*\*Subject to Administrative Adjustment [Section 17-13-1003-EE], pursuant to this Type 1 Application - Zoning Map Amendment [Section 17-13-0300].*

- (D) Setbacks:
  - a. Front Setback: 1 foot-10½ inches
  - b. Rear Setback: \*0 feet-0 inches

*\*Subject to Variation [Section 17-13-1101-B], pursuant to this Type 1 Application - Zoning Map Amendment [Section 17-13-0300].*

- c. Side Setbacks:
    - East: 0 feet-0 inches
    - West: 0 feet-0 inches
- (E) Building Height: 39 feet-1¼ inches (*top of gable*)

## Final for Publication

### **COMPLIANCE WITH SECTION 17-3-0308: Specific Criteria for Transit-Served Locations**

In all B and C districts, any new construction within 2,640 feet of a CTA or METRA rail station entrance must satisfy all of the following specific criteria:

**1. The project complies with the applicable standards of Section 17-10-0102-B.**

The project calls for the physical and functional expansion of the existing one-story building at the subject property, which such property qualifies as a *Transit-Served Location* (TSL) due to its proximity along and with immediate access to multiple vital *CTA Bus Routes*. The programming for the proposed improvements calls for the erection of a vertical addition (“2<sup>nd</sup> Floor”) above the existing one-story building, which such addition will contain enhanced operational space for the existing *restaurant*, as well as a single newly rendered *dwelling unit*. The Applicant owns and operates the existing *restaurant*. In further consideration of this application for *Zoning Map Amendment*, the Applicant will be procuring a *tavern* license to enrich the existing *restaurant* operations and will also be moving their personal residence into the new *dwelling unit*. The design for the new improvements also includes the establishment of an all-season room (with retractable roof) and an outdoor patio at the front of the 2<sup>nd</sup> Floor, which will provide expanded dining-seating options for patrons of the *restaurant-tavern*. As originally constructed and will be maintained, there is an open patio at grade level, which serves patrons of the restaurant during the warmer months. This patio is accessible directly off of the pedestrian way, providing an inviting environment for passersby, while too allowing for landscaped and activated spatial interest further enhancing the diverse streetscape. The proposed programming carries that pedestrian activation up to the new 2<sup>nd</sup> Floor, with the introduction of some meaningful elevated outdoor spaces, with spectacular views of the marina, parks and Lake Michigan to the east, an amenity that is highly desired by the residents and visitors to the neighborhood. The expanded activation should have a reciprocal effect on patronage, thereby drawing more pedestrians to this stretch of Diversey Parkway, which has been plagued by shuttered businesses and restaurants over the past several years, with the intent of revitalizing this once vibrant commercial corridor. Towards these same ends, in an effort to promote walkability of the neighborhood and other forms of meaningful public transit, while also mitigating vehicular congestion at and around the property which has immediate access to the Lake and Parks System, there will remain no off-street/onsite parking. \*[*The Applicant - the sole resident of the property, does not require a personal vehicle, as he works full-time at and with the restaurant-tavern.*]

**2. The project complies with the standards and regulations of Section 17-3-0504, (except paragraph H if the project is not located along a *pedestrian street*), pertaining to *pedestrian streets* and *pedestrian retail streets*, even if the project is not located along a *pedestrian street* or a *pedestrian retail street*.**

The outdoor dining patio – an “Encouraged Use” along a *Pedestrian Street* [17-3-0504-J], occupies the entire width of the subject site and is situated just over 1 foot off of the sidewalk, in full compliance of the applicable *Building Location* standards.

## Final for Publication

Beyond the patio, patrons are invited into the building by and through a fully retractable glass and metal “garage door”, with an additional glass entry door, which such design elements comprise at least 60% of the ground floor building façade, satisfying the applicable *Transparency* standards. The programming for the existing and expanded operations and corresponding physical improvements also conforms to the *Parking* standards for *Pedestrian Streets*, in that the Applicant is maintaining no off-street parking accommodations on the property, so as to encourage carbon neutralized patronage from and among residents and occupants of the bustling neighborhood and ensuring a safe and unencumbered pedestrian experience at and around the site.

- 3. The project complies with the general goals set forth in the Transit Friendly Development Guide: Station Area Typology, and any other station-specific plans, designs or guidelines adopted by the Chicago Plan Commission.**

The *Transit Friendly Development Guide* defines ‘transit friendly development’ as *[d]evelopment which is oriented towards and integrated with adjacent transit*. By way of relevant example, the proposed new improvements incorporate pedestrian accessibility and connectivity for and between the energetic marina, parks, beaches and historic buildings comprising the east end of Diversey Parkway and the abundance of local businesses, restaurants, and other hospitality establishments that line this same parkway and the adjacent feeder thoroughfares (Clark Street, Halsted Street and Broadway Avenue) for over a half-mile up to the *Diversey Parkway CTA Train Station*. The proposed improvements will also be further enhancing the already bustling *restaurant-tavern* at the site, providing a full-service sanctuary for pedestrians exploring and exploiting the diverse and plentiful activities and establishments that epitomize this truly unique neighborhood, which is home to some of the City’s most patronized public parks and recreational facilities, just south of the *Wrigleyville* entertainment corridor and the world-renowned professional baseball field of the same monicker.

- 4. Residential building projects shall not have a number of parking spaces in excess of 50% of the Minimum Automobile Parking Ratio for the applicable district listed in Section 17-10-0207 with any fractional result rounded up to the next higher whole number, unless additional parking spaces are approved as an *administrative adjustment* under the provisions of Section 17-13-1003-EE.**

There will remain no off-street automobile parking for the existing and newly expanded improvements and corresponding operations, in full compliance of this Standard.

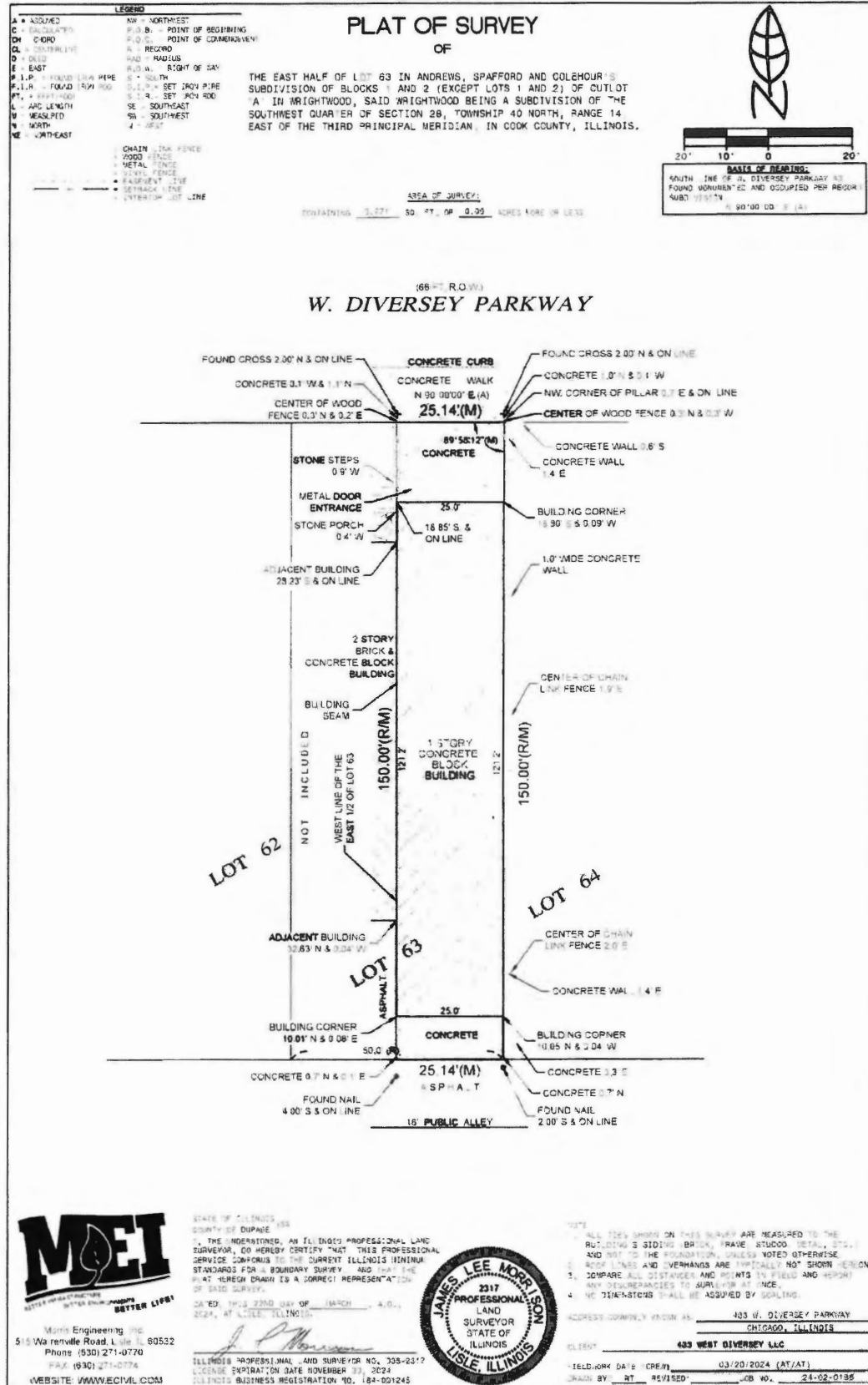
- 5. The project complies with the Travel Demand Study and Management Plan rules of the Chicago Department of Transportation. The City’s Commissioner of Transportation is authorized to issue Travel Demand Study and Management Plan rules consistent with this section.**

## Final for Publication

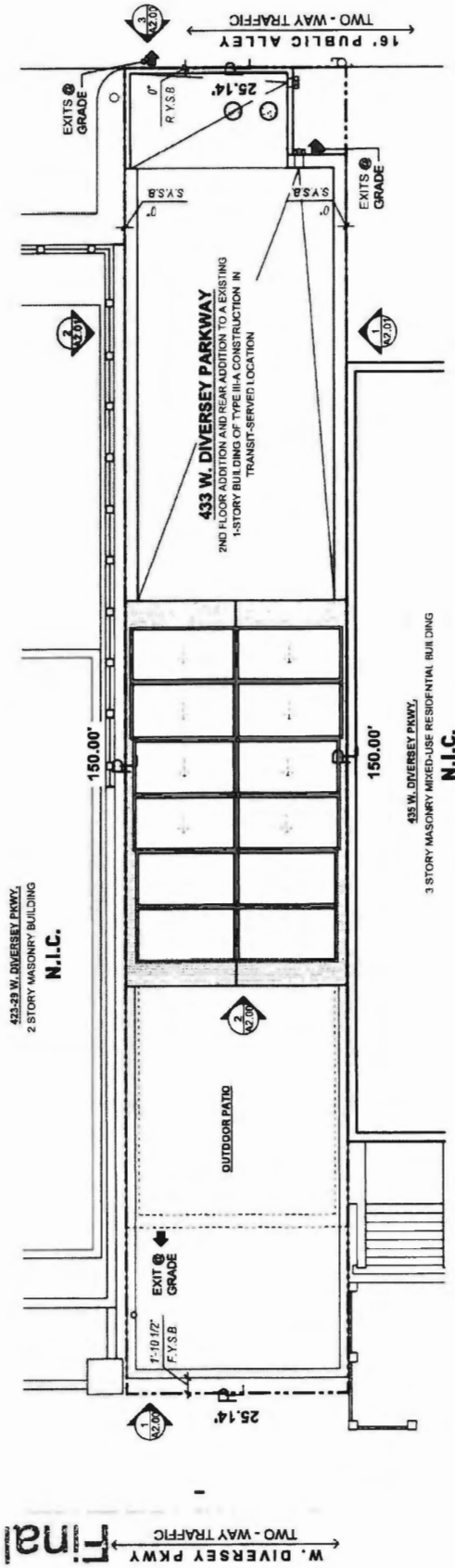
In a direct and deliberate effort to promote public forms of transportation, and – too, to mitigate vehicular congestion and traffic in this pedestrian-oriented neighborhood, while still balancing the express interests and demands of the existing residents of the community, the Applicant moderated the *residential* density for the site, instead choosing to add amenity and occupiable space to the existing and thriving *restaurant-tavern*, which is a local favorite patronized predominantly by the many residents and occupants of this historic neighborhood. Furthermore, the proposed new improvements incorporate pedestrian accessibility and connectivity for and between the energetic marina, parks, beaches and historic buildings comprising the east end of Diversey Parkway and the abundance of local businesses, restaurants, and other hospitality establishments that line this same parkway and the adjacent feeder thoroughfares (Clark Street, Halsted Street and Broadway Avenue) for over a half-mile up to the *Diversey Parkway CTA Train Station*. The proposed improvements will also be further enhancing the already bustling *restaurant-tavern* at the site, providing a full-service sanctuary for pedestrians exploring and exploiting the diverse and plentiful activities and establishments that epitomize this truly unique neighborhood, which is home to some of the City's most patronized public parks and recreational facilities, just south of the *Wrigleyville* entertainment corridor and the world-renowned professional baseball field of the same monicker.

*\*Pursuant to the recently ratified City of Chicago – Travel Demand Study & Management Plan (TDM), the Applicant will submit the corresponding Site Plan and Project Narrative to the Chicago Department of Transportation (CDOT) Plan Review Committee for a (Tier 1) determination as to any additional requirements that may be deemed necessary to ensure compliance with all such standards and guidelines.*

# Final for Publication



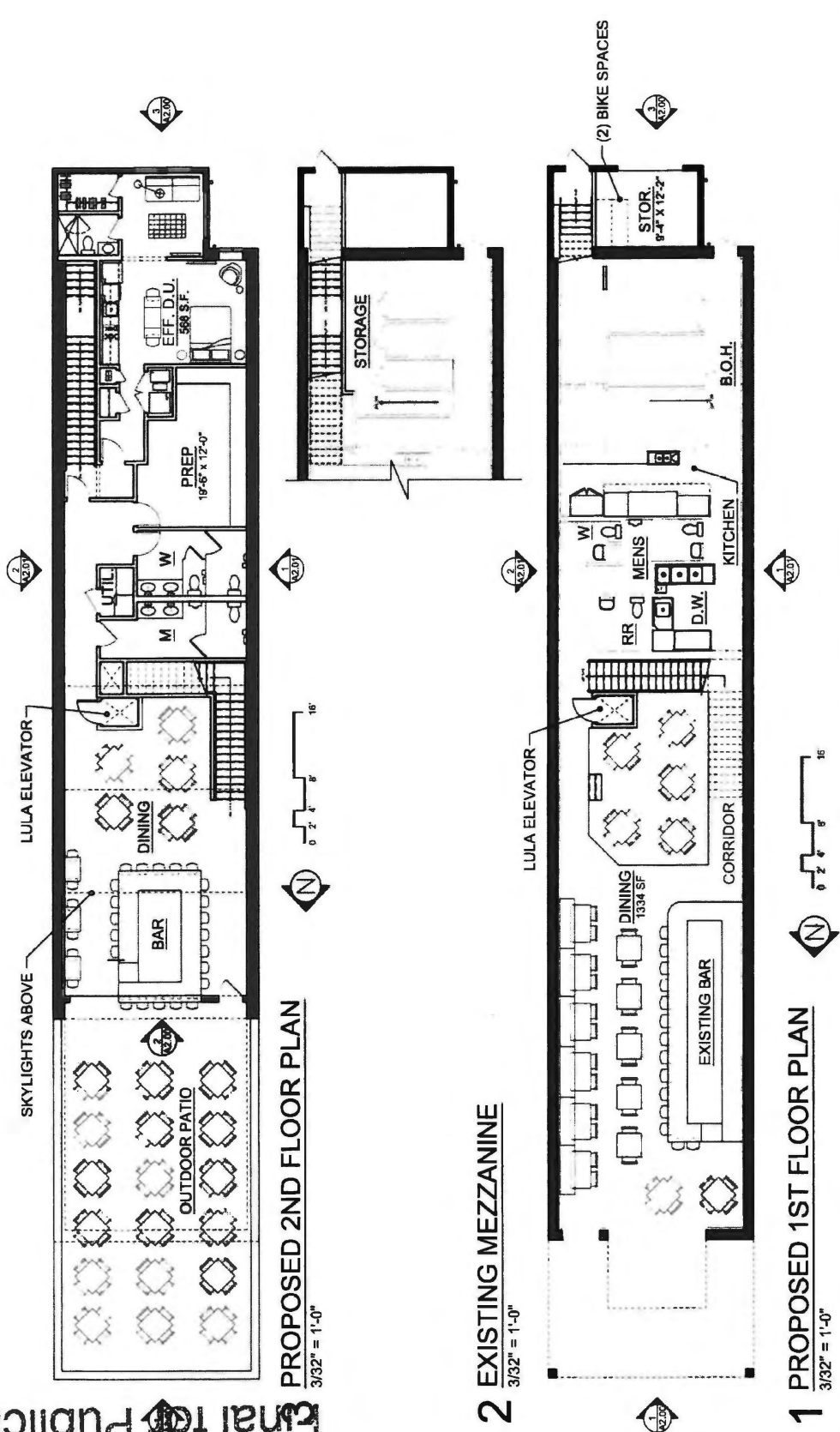
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**1 SITE PLAN**  
 3/32" = 1'-0"

**WILLIE LILL'S**  
 433 W. DIVERSEY PARKWAY  
 CHICAGO, ILLINOIS 60614

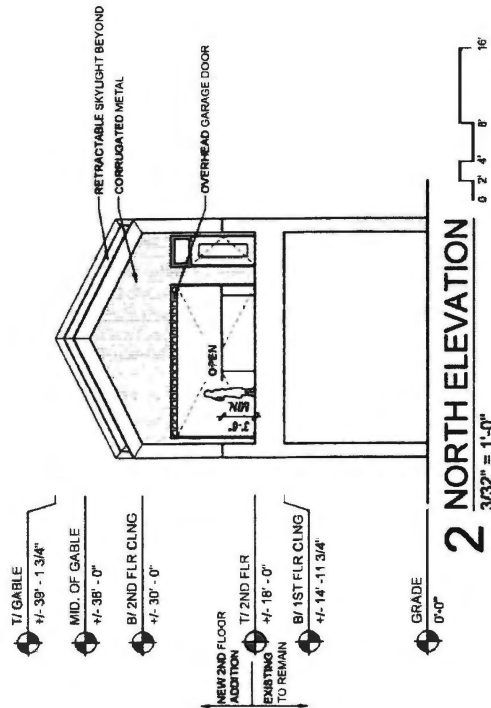
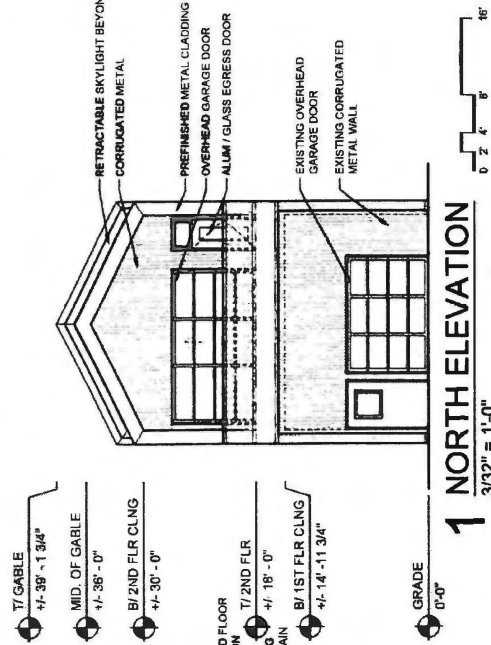
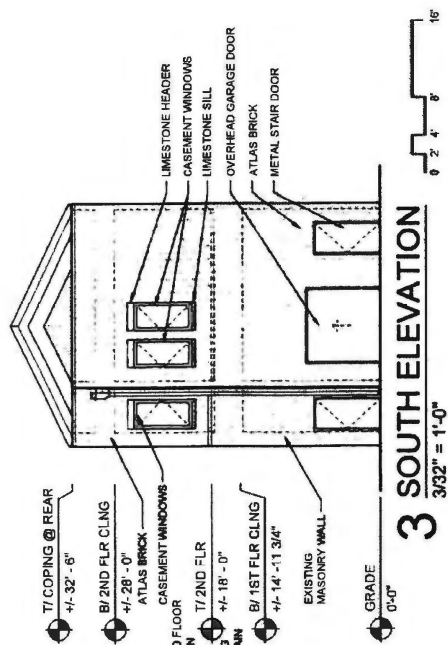
**SPACE**  
 ARCHITECT: J. J. JENSEN  
 VERSION: **A0.10**  
 07-02-2024



**WILLIE LILL'S**  
 433 W. DIVERSEY PARKWAY  
 CHICAGO, ILLINOIS 60614

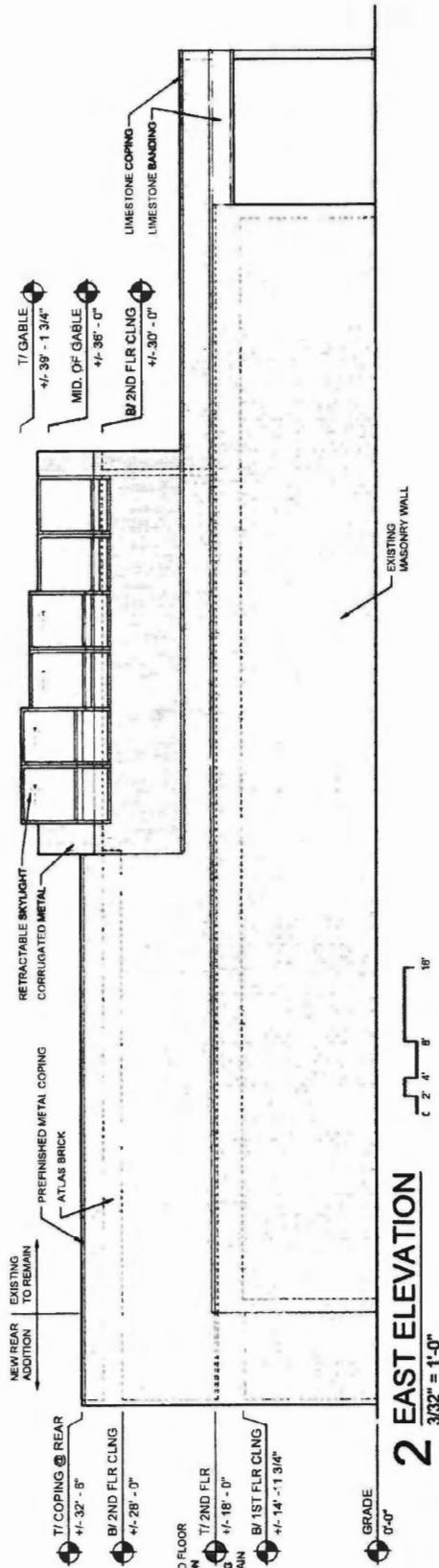
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 07.12.2024

Final for Publication

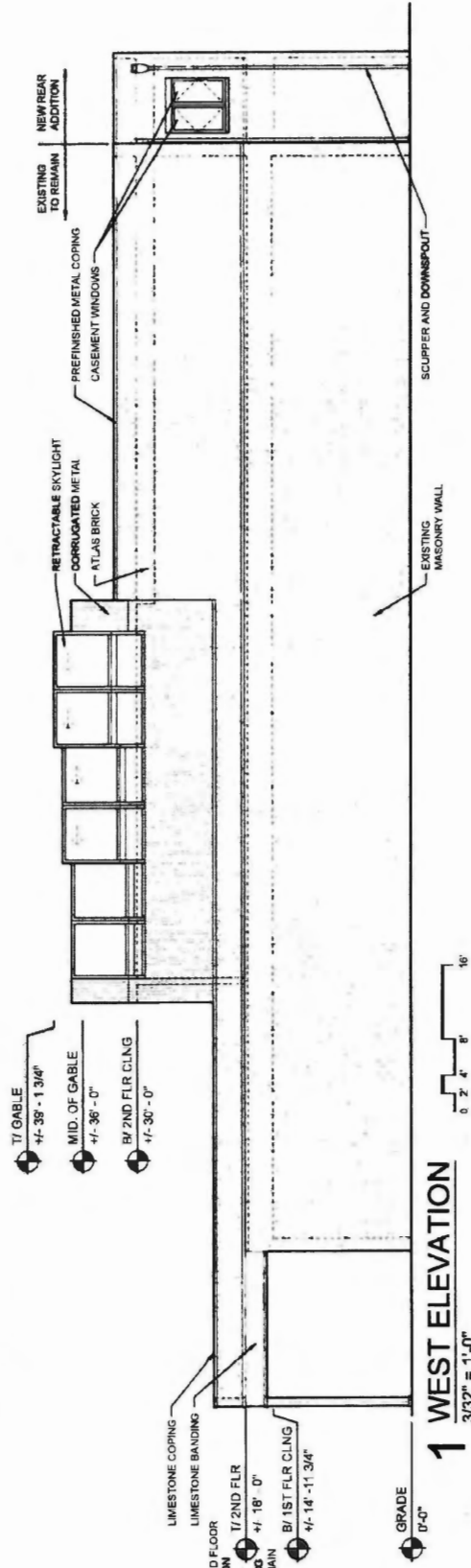


**WILLIE LILL'S**  
 433W. DIVERSEY PARKWAY  
 CHICAGO, ILLINOIS 60614

**SPACE** | VERSION  
 ARCHITECTS, P.C. | ARCHITECTS  
**A2-00**  
 07.02.2024



2 EAST ELEVATION  
3/32" = 1'-0"



1 WEST ELEVATION  
3/32" = 1'-0"

WILLIE LILL'S  
433 W. DIVERSEY PARKWAY  
CHICAGO, ILLINOIS 60614

SPACE  
ARCHITECTS, P.A.  
1111 N. LA SALLE ST.  
CHICAGO, IL 60610

VERSION  
A2.01  
07.22.2024

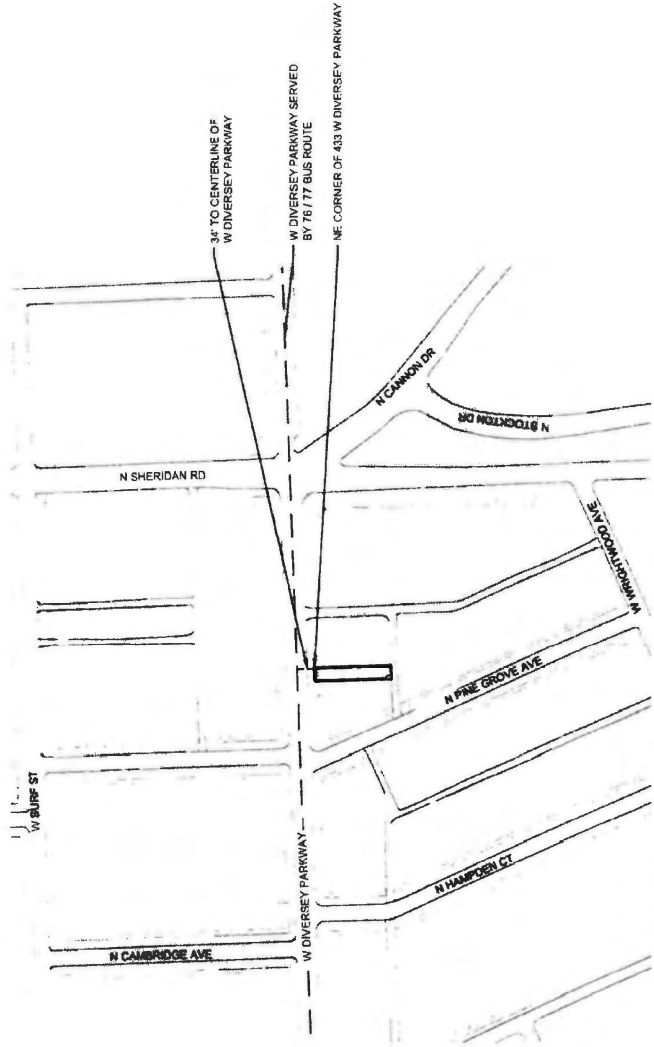
Final for Publication

I HEREBY CERTIFY THAT THE CIRCULATING MAP WAS PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE IS CORRECT AND TO SCALE, BASED ON THE CITY OF CHICAGO BLDG MAP INFORMATION AVAILABLE AT THE TIME IT WAS PREPARED. I ALSO CERTIFY THAT THE PROJECT LOCATION GUIDELINES, THE PROJECT ENTRY WITHIN 1320' OF A CTA BUS LANE TRANSIT SERVED LOCATION GUIDELINES, THE PROJECT ENTRY WITHIN 1320' OF A CTA BUS LANE CORRIDOR ROADWAY SEGMENT LISTED IN TABLE 17-17-449B-B - MEASURED TO THE CROWN LINES.

DRAWN: *J. Keller*  
 JAY M. KELLER

DATE: 07.02.2024

REGISTERED ARCHITECT  
 JAY M. KELLER  
 001-018443  
 STATE OF ILLINOIS



TSL MAP & STATEMENT  
SCALE: 1" = 200'

**WILLIE LILL'S**  
 433 W. DIVERSEY PARKWAY  
 CHICAGO, ILLINOIS 60614  
© COPYRIGHT 2014 BY WILLIE LILL'S

**SPACE**  
ARCHITECTS & ENGINEERS  
**A0.02**  
DATE: 07.02.2024

VERSION  
**A0.02**  
07.02.2024

*Reclassification Of Area Shown On Map No. 7-G.*  
(Application No. 22477)  
(Common Address: 2852 -- 2856 N. Southport Ave.)

[O2024-0009966]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the B1-2 Neighborhood Shopping District symbols and indications as shown on Map Number 7-G in an area bounded by:

West George Street; North Southport Avenue; a line 72.80 feet south of and parallel to West George Street; and the alley next west of and parallel to North Southport Avenue,

to those of a B3-2 Community Shopping District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

---

*Reclassification Of Area Shown On Map No. 7-J.*  
(Application No. 22306T1)  
(Common Address: 3120 N. Kedzie Ave.)

[O2023-0006180]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the B3-1 Community Shopping District symbols and indications as shown on Map Number 7-J in the area bounded by:

a line 222 feet north of and parallel to West Barry Avenue; North Kedzie Avenue; a line 197 feet north of and parallel to West Barry Avenue; and the alley next west of and parallel to North Kedzie Avenue,

to those of a B2-3 Neighborhood Mixed-Use District.

SECTION 2. This ordinance shall be in full force and effect from and after its passage and due publication.

[Plat of Survey; Site Plan; Existing and Proposed Ground, First, Second and Attic Floor Plans; and Front, North, South, East and West Building Elevations attached to this ordinance printed on pages 14809 through 14811 of this *Journal*.]

Type 1 Narrative Rezoning Analysis attached to this ordinance reads as follows:

# Final for Publication

## SUBSTITUTE NARRATIVE AND PLANS

Type 1 Rezoning Attachment  
3120 North Kedzie Avenue  
From B3-1 to B2-3  
File No-22306-T1

### The Project

The Property will be improved with two-story building to convert from 2 dwelling unit to 4 dwelling units, two of which is compliant and three parking spaces. The applicant seeks to rezone the property to bring the other two dwelling units into compliance for a total of four compliant dwelling units on the property. The applicant also seeks to increase the two automobile parking spaces into three and be allowed to be in compliance pertaining to the non-permitted and existing additions. No exterior additions or changes are proposed except as stated in the Zoning amendment plan. The height of the building will be kept at 30 feet.

The subject property is located in a block which is improved with buildings containing multi-family residences and commercial buildings ranging in height from one to three and half stories. To allow the proposed development, the applicant seeks a change in zoning classification for the subject property from the current B3-1 Community Shopping District to B2-3 Neighborhood Mixed -Use District in an area with mixed uses and zoning districts in close proximity to the intersection of Kedzie Avenue, Belmont Avenue, and the Kennedy Expressway. This change of zoning classification is being sought through the Type 1 rezoning process of Section 17-13-0302-A of the Zoning Ordinance because the FAR in the B2-3 district is more than double the FAR of the current B3-1 district. The subject property is in a Transit Served Location per the Transit-Oriented Provisions of the Chicago Zoning Ordinance as it located within 430 feet of The CTA Belmont Avenue Bus Lines (Route 77). Additionally, the property is located approximately 1,605 feet from the Belmont Blue Line Station. Also, as per section 17-13-0303-D: Optional Administrative Adjustment or Variation: 17-13-1101-B.

The following relevant zoning parameters for the proposed project:

Lot area	2,804 square feet	
Maximum FAR	8,412 Square feet	
Residential Dwelling units	4	
MLA Density	701 square foot	
Height (Current/Proposed)	32.6 feet/35.10feet	
Automobile Parking	3	
Setbacks:	Front (Kedzie)	0.00 feet
	Sides	
	North	0.00 feet
	South	0.00 feet
	Rear	51.16 feet

A set of plans is attached. The project will comply with the Transit Served Location provisions of as per section 17-10-0102-B1.

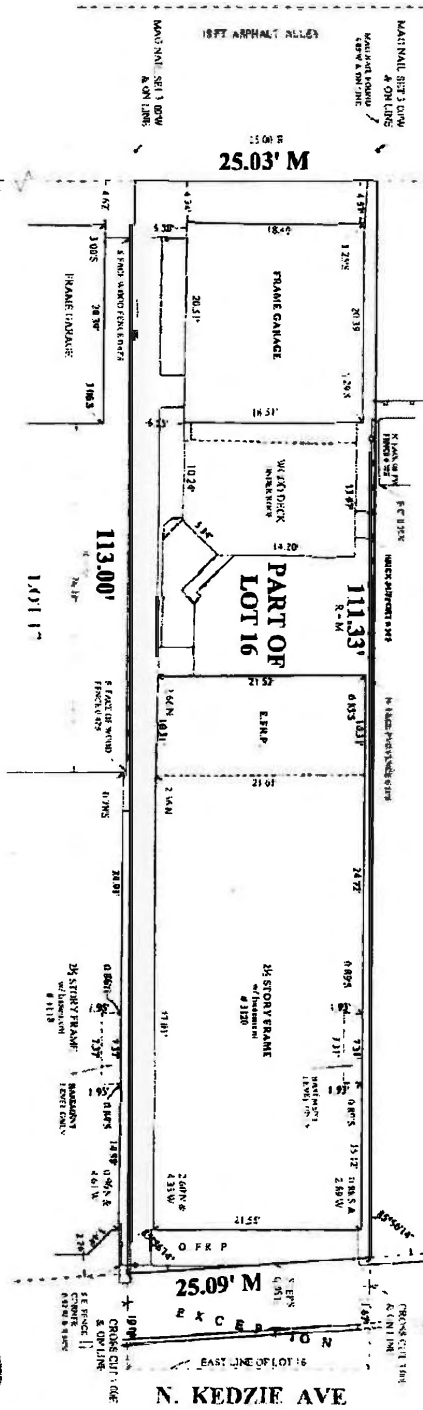
Final for Publication



PLAT OF SURVEY

LOT 16 IN BLOCK 95 EXCEPT THAT PART OF LOT 16 LYING EAST OF A LINE THAT INTERSECTS THE NORTH LINE THEREOF 107 FEET WEST OF THE WEST CORNER THEREOF AND INTERSECTS THE SOUTH LINE THEREOF 107 FEET WEST OF THE WEST CORNER THEREOF AND THE EAST LINE THEREOF 107 FEET WEST OF THE WEST CORNER THEREOF AND THE WEST LINE THEREOF 107 FEET WEST OF THE WEST CORNER THEREOF OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 40 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS

TOTAL LAND AREA = 2.807 ACRES  
PROPERTY ADDRESS 1208 N. KEDZIE AVE., CHICAGO, IL 60618  
PERMANENT INDEX NUMBER 137K-20-037AW



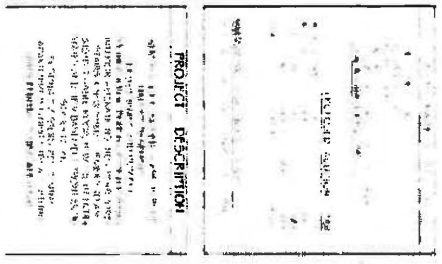
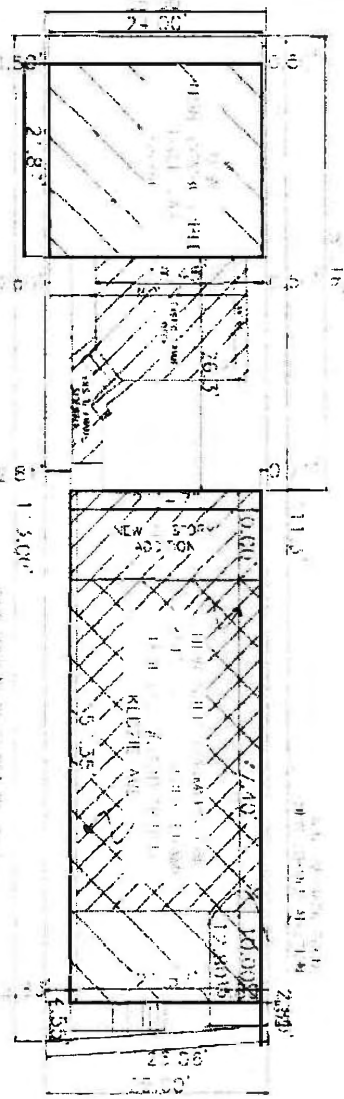
INDEX MAP  
SCALE 1"=200'  
DATE JUNE 26, 2024  
DRAWN BY PAUL LANTINI

CONSTRUCTION NOTES  
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.  
2. ALL DIMENSIONS ARE TO BE ACCURATE TO WITHIN 1/8" PER FOOT.  
3. ALL DIMENSIONS ARE TO BE ACCURATE TO WITHIN 1/8" PER FOOT.  
4. ALL DIMENSIONS ARE TO BE ACCURATE TO WITHIN 1/8" PER FOOT.

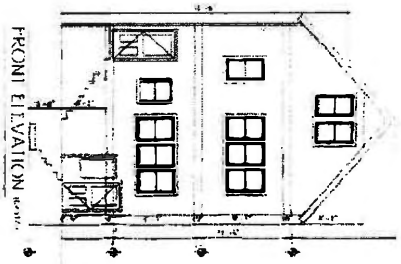
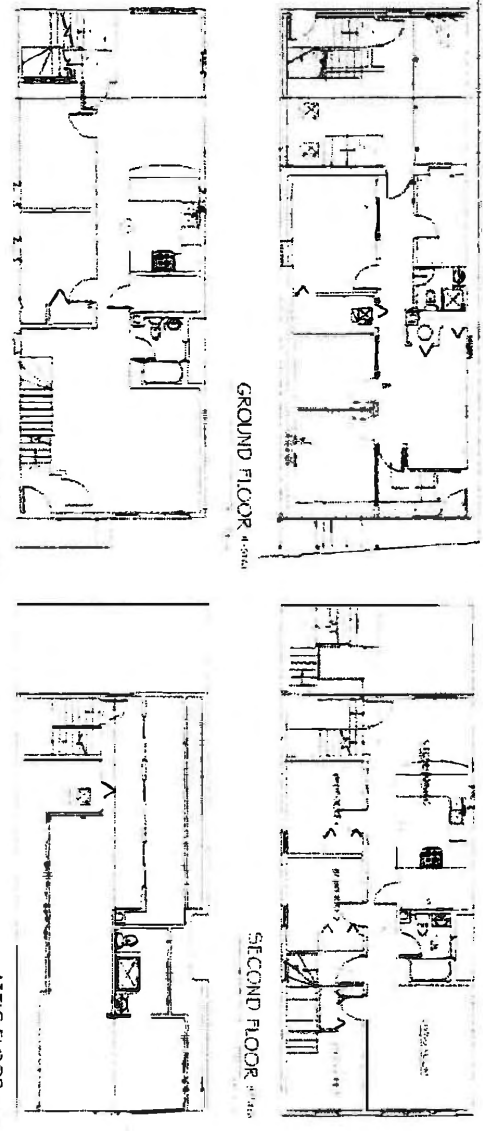
STATE OF ILLINOIS  
COUNTY OF COOK  
I, ZBIGNIEW DOMOZYCH, do hereby certify that I have surveyed the above described property and that the data herein shown is a correct representation of said survey.  
Signature: Zbigniew Domozych  
Date: JUNE 26, 2024  
REG-ILL Land Surveyor No. 03-3738  
LIC EXP NOVEMBER 30, 2024

ZBIGNIEW DOMOZYCH SERVICES  
PHONE: (773) 956-4040  
(773) 210-8271  
zbd@zbdlandsurvey.com  
zbd@zbdlandsurvey.com

Final for Publication



**ZONING CHANGE FROM B3-1 TO B2-3**  
 3120 NORTH KEDZIE AVENUE  
 CHICAGO, IL

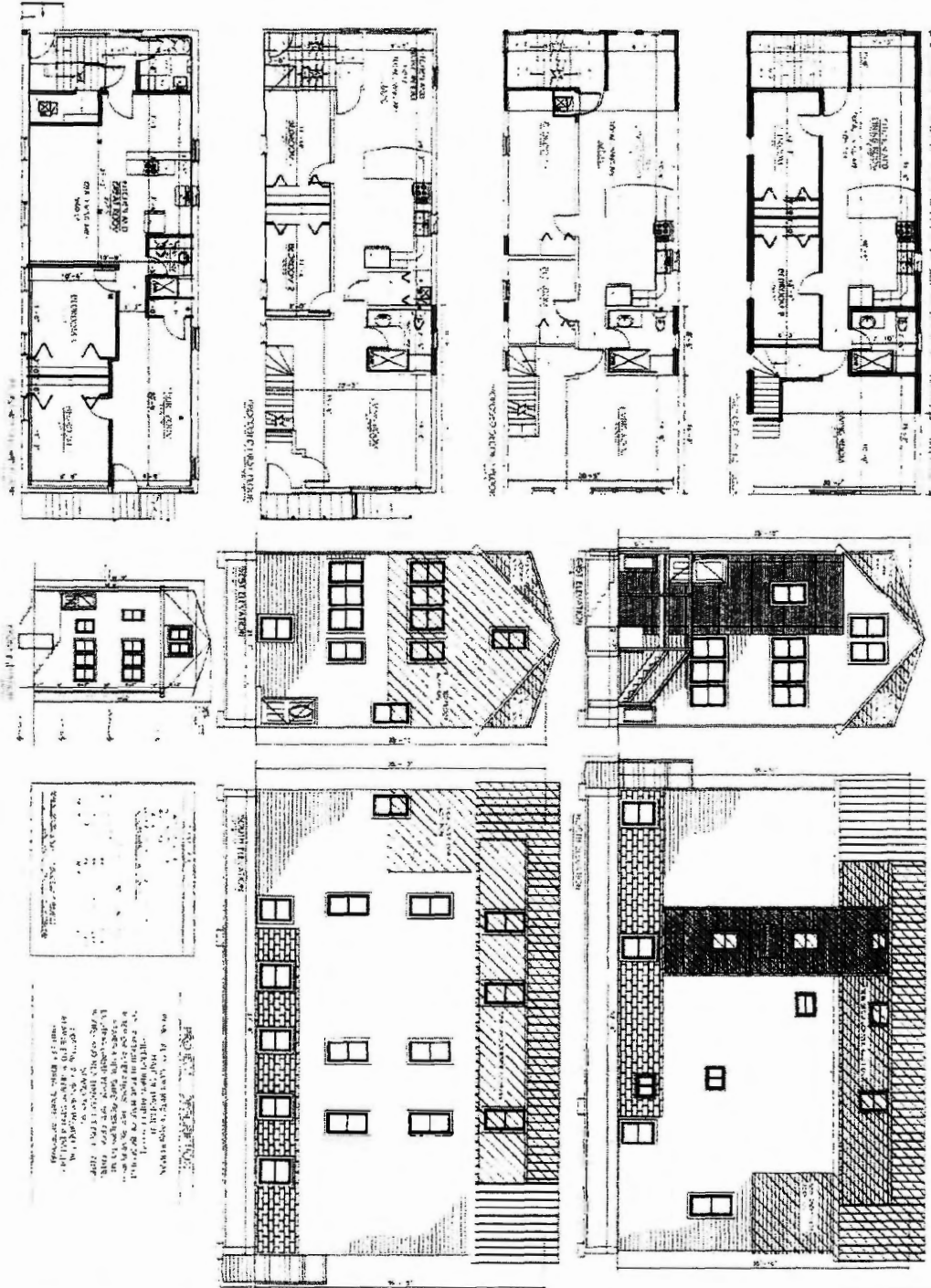


TITLE SHEET  
 NUMBER: A-1

LIPOSTRUCTURES INC.  
 11-30-24

11-30-24

Final for Publication



*Reclassification Of Area Shown On Map No. 9-H.*  
(Application No. A-8889)  
(Common Address: 3904 N. Hamilton Ave.)

[O2024-0009681]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That the Chicago Zoning Ordinance be amended by changing the current RT4 Residential Single-Unit (Detached House) District as shown on Map Number 9-H in the area bounded by:

a line 70.47 feet north of and parallel to West Byron Street; North Hamilton Avenue; a line 40.47 feet north of and parallel to West Byron Street; and the public alley next west of and parallel to North Hamilton Avenue,

to those of an RS3 Residential Two-Flat, Townhouse and Multi-Unit District.

SECTION 2. This ordinance shall be in full force and effect from and after its passage and due publication.

---

*Reclassification Of Area Shown On Map No. 9-H.*  
(As Amended)  
(Application No. 22472T1)  
(Common Address: 3327 -- 3335 N. Lincoln Ave.)

[SO2024-0009614]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, be amended by changing all the B3-3 Community Shopping District symbols and indications as shown on Map Number 9-H in the area bounded by:

beginning at a line 196 feet south of and parallel to West Roscoe Street; North Marshfield Avenue; a line 321 feet south of and parallel to West Roscoe Street; a line 381.50 feet south of West Roscoe Street, as measured along the easterly right-of-way line of North Lincoln Avenue and perpendicular thereto; North Lincoln Avenue; and a line 256.50 feet south of West Roscoe Street, as measured along the easterly right-of-way line of North Lincoln Avenue and perpendicular thereto, running northeast to the point of beginning,

to those of a B3-3 Community Shopping District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

[Boundary and Topographic Survey; Site Plan; Basement Plan; First Floor Plan (Revised); Second, Third, Fourth, Fifth, Sixth and Seventh Floor Plans; West Building Elevation (Lincoln Avenue); East Building Elevation (Marshfield Avenue); and Transit Served Location Proximity Map attached to this ordinance printed on pages 14819 through 14831 of this *Journal*.]

Type 1 Narrative Rezoning Analysis attached to this ordinance reads as follows:

## Final for Publication

Application No. 22472-T1

**17-13-0303-C (1) Type 1 Narrative & Plans - Zoning Map Amendment – SUBSTITUTE**  
3327-3335 North Lincoln Avenue, Chicago, Illinois

Proposed Zoning: B3-3 Community Shopping District

Lot Area: 13,368 square feet

Proposed Land Use: The Applicant is seeking a *Type 1 Zoning Map Amendment* and secondary *Administrative Adjustment / Variation* relief, pursuant to Section 17-13-0300 of the Chicago Zoning Ordinance, in order to permit the reactivation of the subject property with a new seven-story (with basement) *mixed-use* development, with *commercial/retail* space (+/- 3,945 square feet), a residential lobby/lounge (+/- 1,400 square feet) and off-street parking for twenty (20) automobiles on the ground (1<sup>st</sup>) floor, and a total of forty-two (42) *dwelling units* on and between the upper (2<sup>nd</sup> thru 6<sup>th</sup>) floors. The proposed improvements will be masonry in construction and will measure approximately 78 feet-10 inches in height.

- (A) The Project's Floor Area Ratio: 52,991 square feet \*(3.96 FAR)

*The subject property is located on a designated Six-Corners Pedestrian Street, within 2,640 linear feet of the entrance to the Paulina Brown Line (CTA) Train Station and the Lincoln Avenue Bus Line Corridor, thereby qualifying as a Transit Served Location. [17-10-0102-B], under the current Zoning Ordinance (as amended). The programming for the development calls for the provision of 100% of the required 'affordable' units to be located onsite and such programming is in compliance with Section 17-3-0308 of the Zoning Ordinance. Therefore, the Applicant is eligible for an increase in maximum floor area ratio (FAR) up to 4.0, pursuant to this Type 1 Zoning Map Amendment. [17-3-0403-B]*

- (B) The Project's Density (Lot Area Per Dwelling Unit): 42 total dwelling units; \*318.3 square feet per dwelling unit

*The subject property is located on a designated Six-Corners Pedestrian Street, within 2,640 linear feet of the entrance to the Paulina Brown Line (CTA) Train Station and the Lincoln Avenue Bus Line Corridor, thereby qualifying as a Transit Served Location. [17-10-0102-B], under the current Zoning Ordinance (as amended). The programming for the development calls for the provision of 100% of the required 'affordable' units to be located onsite and such programming is in compliance with Section 17-3-0308 of the Zoning Ordinance. Therefore, the Applicant is eligible for a reduction in the required minimum lot area (MLA) per dwelling unit - down to a minimum of 300 square feet per unit, pursuant to this Type 1 Zoning Map Amendment. [17-3-0402-B]*

## Final for Publication

- (C) The amount of off-street parking: \*20 automobile spaces; at least 54 bicycle spaces  
\*0 loading spaces

*The subject property is located on a designated Six-Corners Pedestrian Street, within 2,640 linear feet of the entrance to the Paulina Brown Line (CTA) Train Station and the Lincoln Avenue Bus Line Corridor, thereby qualifying as a Transit Served Location. [17-10-0102-B], under the current Zoning Ordinance (as amended). The programming for the development calls for the provision of 3,945 square feet of commercial/retail space and a total of forty-two (42) residential/dwelling units. In an effort to mitigate vehicular congestion in the neighborhood and to promote the use of public transit and other alternatives to private automobile ownership, the Applicant is seeking an Administrative Adjustment - in conjunction with this Type 1 Zoning Map Amendment, to reduce the minimum off-street automobile parking ratio, for a Transit-Served Location ("TSL"), by approximately 52% - from 42 spaces to 20 spaces, to serve the proposed mixed-use development. [Section 17-10-0102-B; Section 17-13-1003-EE]*

*In a further effort to mitigate congestion in and/or incidental obstruction of the shared public rights-of-way servicing the subject property and the other properties that comprise this block of Lincoln Avenue, as well as several residential properties with frontages on Marshfield Avenue (east), the Applicant is also seeking a Variation to eliminate the one (1) required off-street loading berth for the proposed new development. [Section 17-10-1101 and Section 17-13-1101-D] Alternative accommodations for deliveries and residential moves will be adapted within the ground floor garage of the new building, pursuant to diligent scheduling and leasing with the Applicant's Management Team.*

- (D) Setbacks:
- a. Front Setback: 0 foot-0 inches
  - b. \*Rear Setback: 14 feet-9 inches
  - c. Side Setbacks:
    - North: 0 feet-0 inches
    - South: 0 feet-0 inches

*\*In order to conform to the general purpose of the Connected Communities (eTOD) Ordinance and corresponding design guidelines, which such Ordinance promotes larger scale diverse housing developments at and around Transit Served Locations, and in a contemporaneous effort to satisfy the varying demands and limitations expressed by the local community members and stakeholders, the Applicant had to amplify the footprint (floor plates) of the proposed new building to allow for the provision of a diverse mix of "family-sized" residential units, each with recessed open space, while - too, providing secured interior automobile parking for at least 48% of such units. Therefore, in order to permit the proposal, the Applicant is seeking a Variation to reduce the minimum rear setback for floors containing dwelling units - from 30 feet to 14 feet-9 inches. [Section 17-3-0405-A and Section 17-13-1101-B.]*

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(D) Setbacks: Rear Setback (CONTINUED)

*The proposed rear setback improves the setback condition created by the existing two-story and three-story mixed-use buildings – which is “zero” and is consistent with the development that comprises the adjacent property to the south, as well as a majority of the other buildings and improvements with their frontage on Lincoln Avenue. This proposed rear setback condition was also vetted with interested members of the community and the local Alderman prior to submission of this application for Zoning Map Amendment and was supported by such parties, accordingly.*

(E) Building Height: 78 feet-10 inches (*underside of 7<sup>th</sup> Floor ceiling beam*)

**COMPLIANCE WITH SECTION 17-3-0308: Specific Criteria for Transit-Served Locations**

In all B and C districts, any new construction within 2,640 feet of a CTA or METRA rail station entrance must satisfy all of the following specific criteria:

**1. The project complies with the applicable standards of Section 17-10-0102-B.**

The project calls for the construction of a new *mixed-use* building that will contain a total of forty-two (42) *dwelling units* and off-street accessory parking for twenty (20) vehicles, which represents just over a 50% *reduction* in the otherwise required one-to-one parking ratio for *residential uses*, and which such reduction is mandated pursuant to Sections 17-3-0308 and 17-10-0102-B(1) of the current *Zoning Ordinance*. Toward these same ends, the project calls for a *Storage Room* to be located within the attached *garage* (1<sup>st</sup> Floor) of the proposed new building, which will be for the exclusive use of the residents and which can accommodate at least fifty-four (54) bicycles – more than double the amount of required *onsite* bicycle parking [*Subsection (2)*].

Furthermore, pursuant to the *2021 Affordable Requirements Ordinance (ARO)*, the Applicant is required to designate at least 20% (8 *dwelling units*) of the total number of (42) *dwelling units* as “affordable.” The programming for this particular project, calls for 100% of the eight (8) required *affordable units* to be located *onsite* (evenly represented and dispersed throughout the new building).

**2. The project complies with the standards and regulations of Section 17-3-0504, (except paragraph H if the project is not located along a pedestrian street), pertaining to pedestrian streets and pedestrian retail streets, even if the project is not located along a pedestrian street or a pedestrian retail street.**

The design for the new proposed building calls for the entirety of the Lincoln Avenue (*street facing*) facade to directly abut the sidewalk (i.e., 0 feet-0 inches *front setbacks*), with the four primary pedestrian entrances (three for the *commercial spaces* + one for the *residential lobby*) on Lincoln Avenue NOT exceeding 12 feet of the width of either such facade, and – too, NOT exceeding two-stories in height. \*[*There is a fourth limited-access pedestrian entrance for the Bicycle Storage Room, also located on the Lincoln Avenue facade, which similarly complies with all of the applicable standards.*] Toward these same ends, per the design, a minimum of 60% of the Lincoln Avenue Street facing facade will be comprised of *transparent non-reflective windows and/or doors*. Lastly, all of the required off-street *parking* will be located wholly within the four-corners of the 1<sup>st</sup> Floor of the new proposed building (*garage*) – at the rear, \*so to NOT be visible from Lincoln Avenue (*pedestrian street-public way*), while – too, vehicular access to such parking will be accommodated via Marshfield Avenue, that runs along the rear (east end) of the site, which is the primary means of vehicular access for the existing improvements on Lincoln Avenue. \*[*The entirety of the “rear” of the ground floor – with “frontage” on Marshfield Avenue, will be occupied by a “non-commercial use” - vehicular and bicycle parking for the residents of the new building. As such, the Pedestrian Street - Transparent Window Standards of Section 17-3-0308-2 of the Zoning Ordinance do NOT apply to such facade.*]

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3. **The project complies with the general goals set forth in the Transit Friendly Development Guide: Station Area Typology, and any other station-specific plans, designs or guidelines adopted by the Chicago Plan Commission.**

The *Transit Friendly Development Guide* defines 'transit friendly development' as [d]evelopment which is oriented towards and integrated with adjacent transit. By way of relevant example, the proposed new development incorporates pedestrian accessibility and connectivity less than 530 linear feet from the entrance to the *Paulina Brown Line CTA Train Station* and directly on one of the City's most exploited *CTA Bus Routes* (Lincoln Avenue), while – too, activating over 125 feet of significant, presently dormant, street frontage along Lincoln Avenue, which serves as the predominant transition/pedestrian connection between the low-density family-oriented *residential neighborhoods* to the east and the many *retail-commercial, office and hospitality* establishments that comprise this vital *Six-Corners Pedestrian-Retail Corridor* - with a new *business* that will be intended to service the *residents* of the immediate community and patrons of the same. Along these same lines, the new proposed improvements are situated in the heart of the neighborhood's most robust *retail and hospitality* corridor, which extends for at least five blocks to the north and south and connects to the same such *corridor* along School Street (south) and Roscoe Street (north), while – too, providing an immediate connection to the other nearby communities via a short bus or train ride, or – weather pending, via bicycle (personal or with multiple *Divvy Bicycle Stations* along the way).

4. **Residential building projects shall not have a number of parking spaces in excess of 50% of the Minimum Automobile Parking Ratio for the applicable district listed in Section 17-10-0207 with any fractional result rounded up to the next higher whole number, unless additional parking spaces are approved as an administrative adjustment under the provisions of Section 17-13-1003-EE.**

The project calls for the construction of a new *mixed-use* building that will contain a total of forty-two (42) *dwelling units* and off-street accessory parking for twenty (20) vehicles, which represents just under the maximum 50% *Automobile Parking Ratio*, mandated by the current *Zoning (Connected Communities) Ordinance* [Sections 17-3-0308 and 17-10-0102-B(1)].

5. **The project complies with the Travel Demand Study and Management Plan rules of the Chicago Department of Transportation. The City's Commissioner of Transportation is authorized to issue Travel Demand Study and Management Plan rules consistent with this section.**

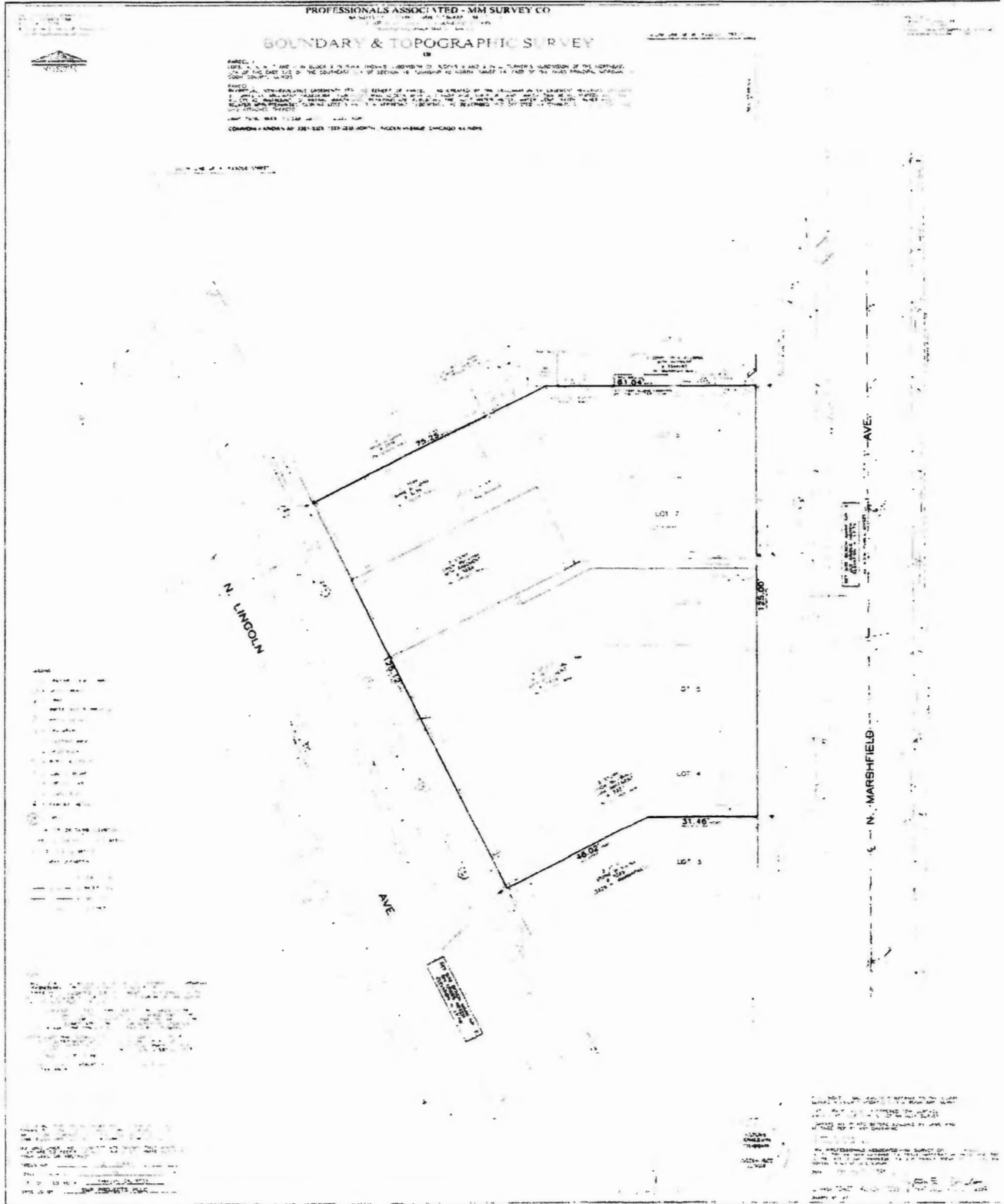
In a direct and deliberate effort to promote public forms of transportation, and – too, to mitigate vehicular congestion and traffic in this pedestrian-oriented neighborhood, while still balancing the express interests and demands of the existing residents of the community, the proposed new development will provide one (1) designated off-street *parking* space for every two (2) *dwelling units*, with priority being offered to tenants of the larger (*two-bedroom and three-bedroom*) units in the building, on a first come basis. Such considerations should dissuade residents who require and/or rely on individual automobile ownership from renting within the proposed new building, thereby attracting those residents who desire to rely on public and/or non-vehicular (carbon-neutral) forms of transit.

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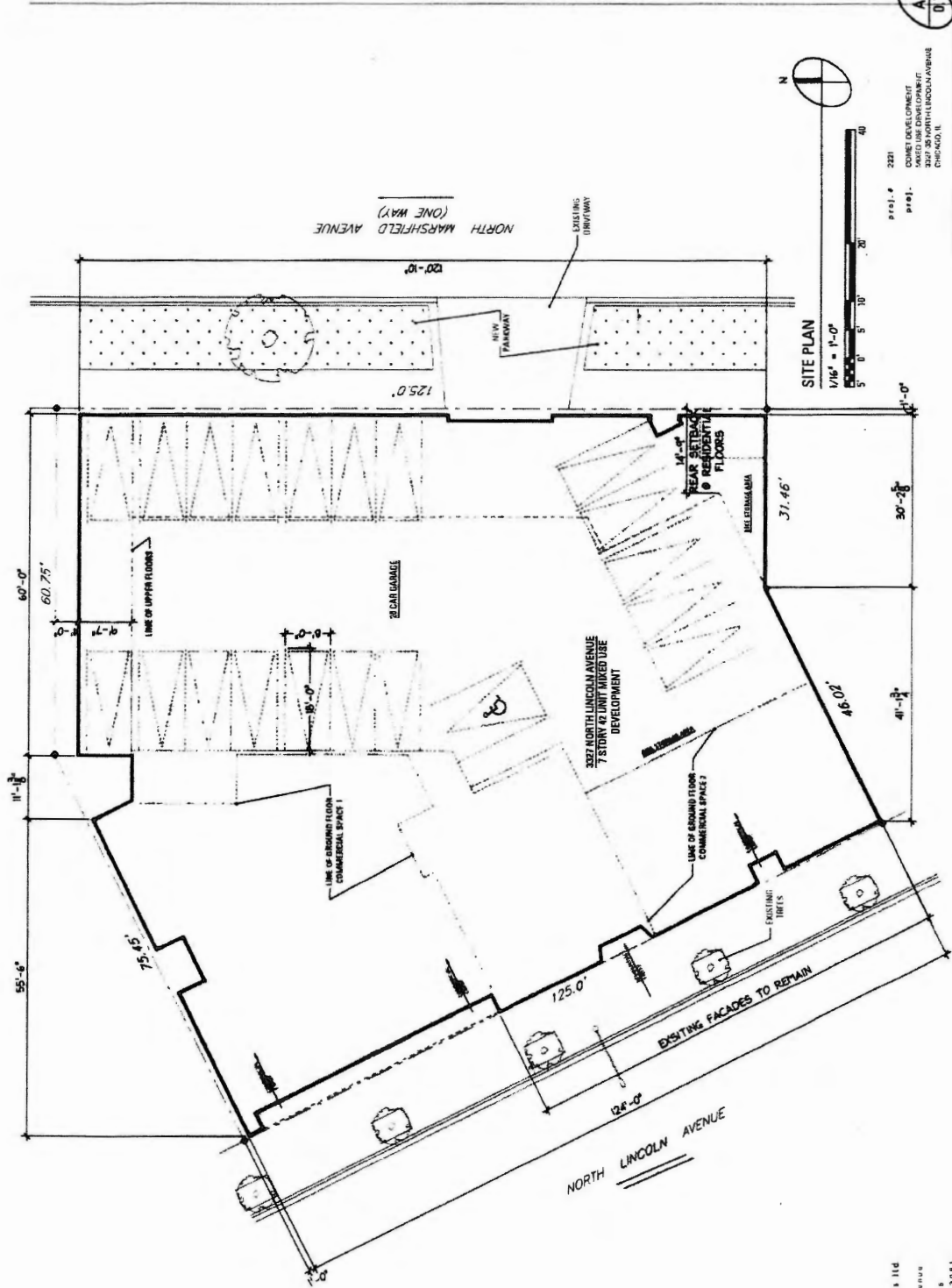
As well, the proposed development includes a sizeable *Storage Room*, within the ground floor (*garage*) of the building that can accommodate interior parking for at least fifty-four (54) bicycles and/or scooters. Beyond these onsite accommodations, there are additional bicycle racks located on the sidewalk in front of the subject site and the Applicant is committed to working with the local Alderman and representatives from the CTA and CDOT, toward providing additional public bicycle racks and/or *Divvy Stations*, should such be desired. In further effort to promote more reliance on the City's bountiful public transit, the Applicant is also committed to working with the local Alderman and the CTA toward installing electronic CTA trackers within the common areas of the building, to allow for more efficient trip planning.

*\*Pursuant to the recently ratified City of Chicago – Travel Demand Study & Management Plan (TDM), the Applicant will submit the corresponding Site Plan and Project Narrative to the Chicago Department of Transportation (CDOT) Plan Review Committee for a (Tier 1) determination as to any additional requirements that may be deemed necessary to ensure compliance with all such standards and guidelines.*

# Final for Publication



# Final for Publication

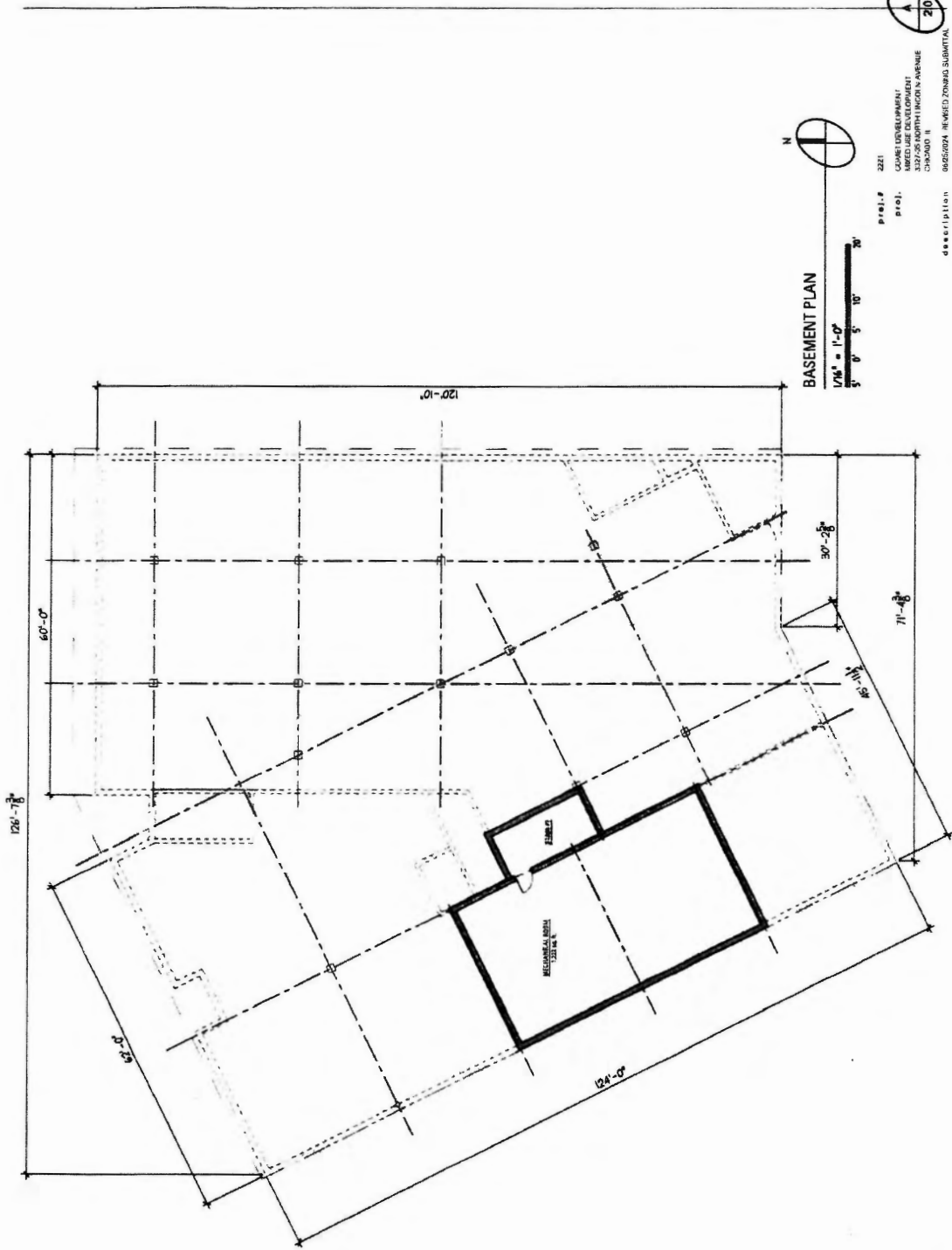


A  
017

PROJ.# 2221  
 CONEY DEVELOPMENT  
 3327 NORTH LINCOLN AVENUE  
 CHICAGO, IL  
 DESCRIPTION: INTERIOR RENOVATION SUBMITTAL

**jsa**  
 jonathan splitt architects llc  
 4001 north lawrencewood avenue  
 chicago, illinois 60612-2378  
 773.883.1017 fax 773.883.3081

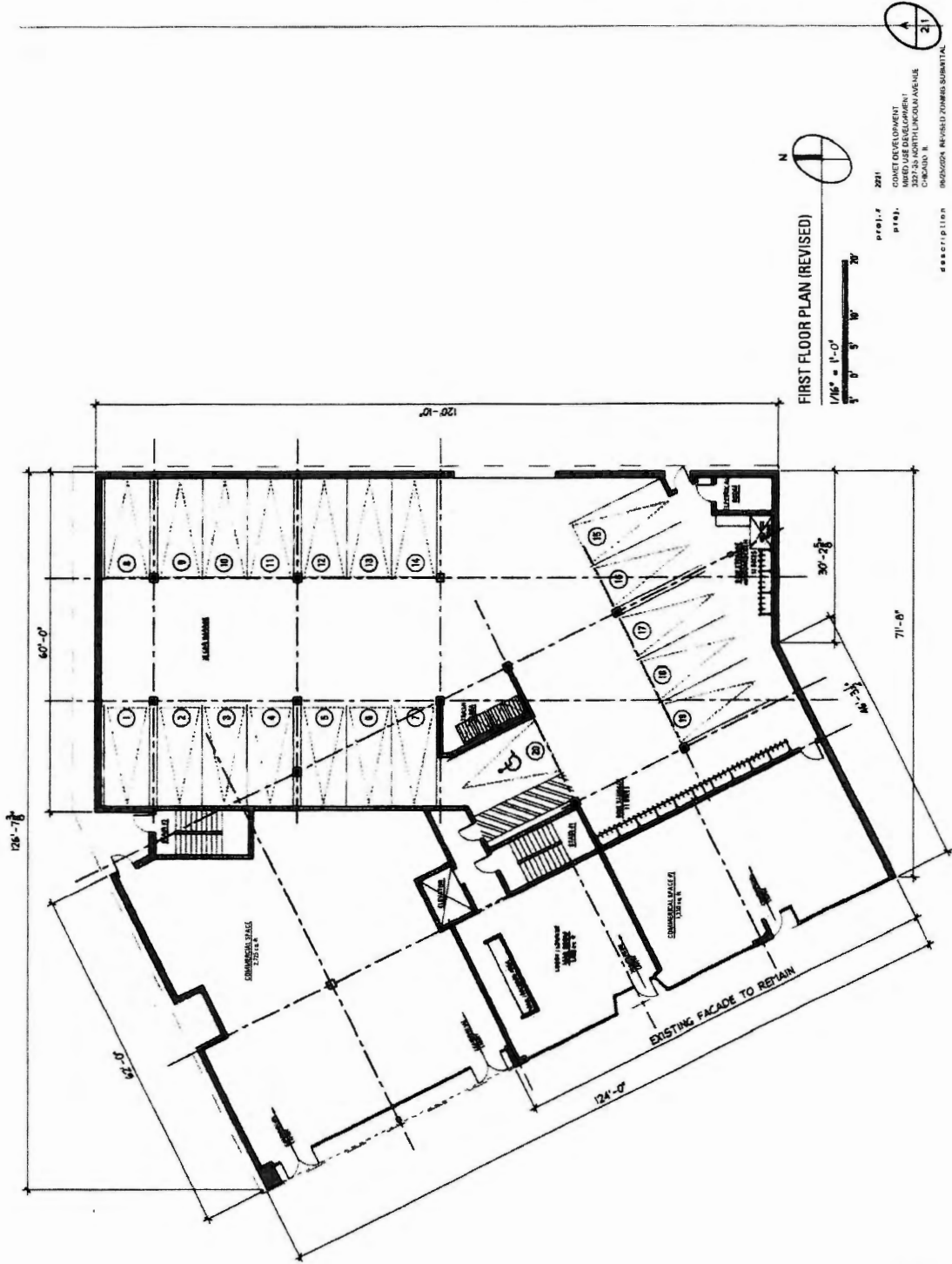
# Final for Publication



221  
 COURT DEVELOPMENT  
 337 SOUTH MICHIGAN AVENUE  
 CHICAGO, IL  
 0425/024 REVISED ZONING SUBMITTA  
 description

jsa  
 Jonathan SPLITT Architects Ltd.  
 400 North Dearborn Avenue  
 Chicago Illinois 60610-3276  
 773 863 1017 fax 773 863 3001

# Final for Publication



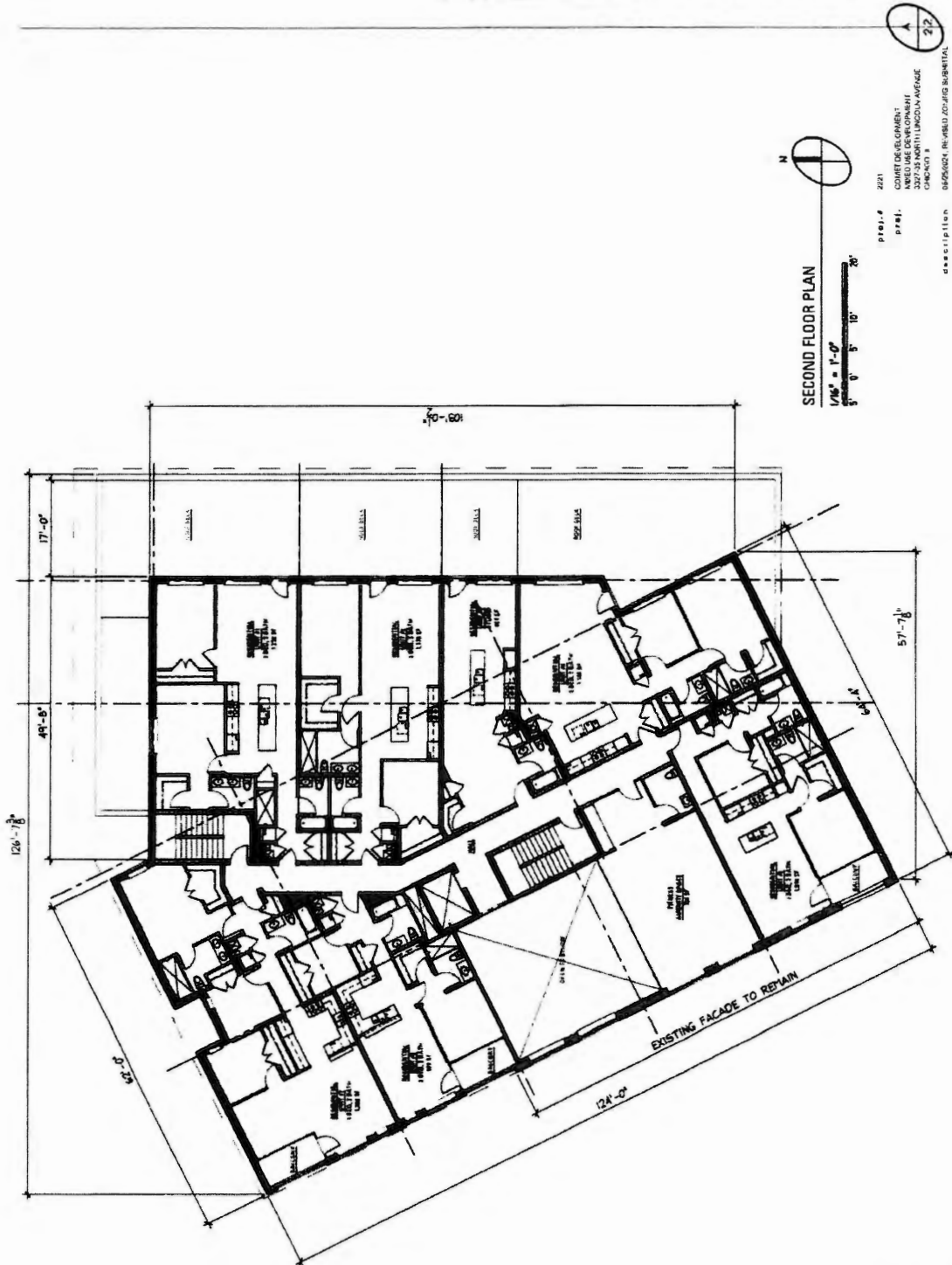
FIRST FLOOR PLAN (REVISED)  
1/8" = 1'-0"

221  
CONVERT DEVELOPMENT  
MIXED USE DEVELOPMENT  
WITH LINCOLN AVENUE  
CHICAGO, IL  
INDUSTRY REHABILITATION SUBMITTAL

proj. #  
proj.  
description

**JS&A**  
JONATHAN SPILLIT ARCHITECTS, LLC  
4891 NORTH LAWRENCE STREET  
SUITE 501  
CHICAGO, ILLINOIS 60630-2925  
773.863.1017 FAX 773.863.5091

# Final for Publication



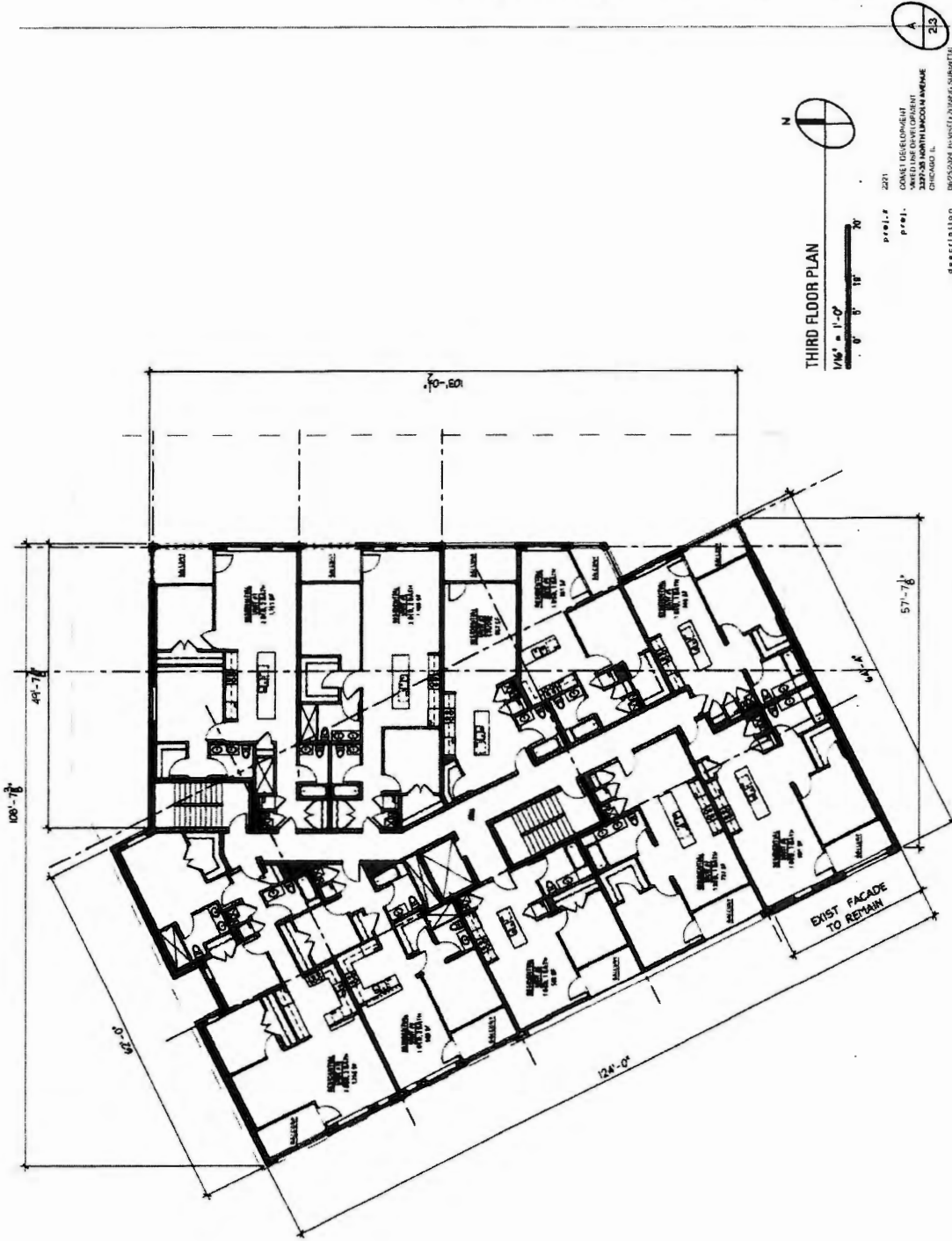
SECOND FLOOR PLAN  
 1/8" = 1'-0"

2/2

prep. 4 2221  
 COMET DEVELOPMENT  
 3327 S. NORTH LINCOLN AVENUE  
 CHICAGO, IL 60654  
 06/26/2024 REVISED ZONING SUBMITTAL

**jsa**  
 jonathan SPPLITT architects llc  
 4081 NORTH LAVERGNEWOOD AVENUE  
 SUITE 600 CHICAGO, ILLINOIS 60641-3474  
 773.883.1617 (or 773.883.8881)

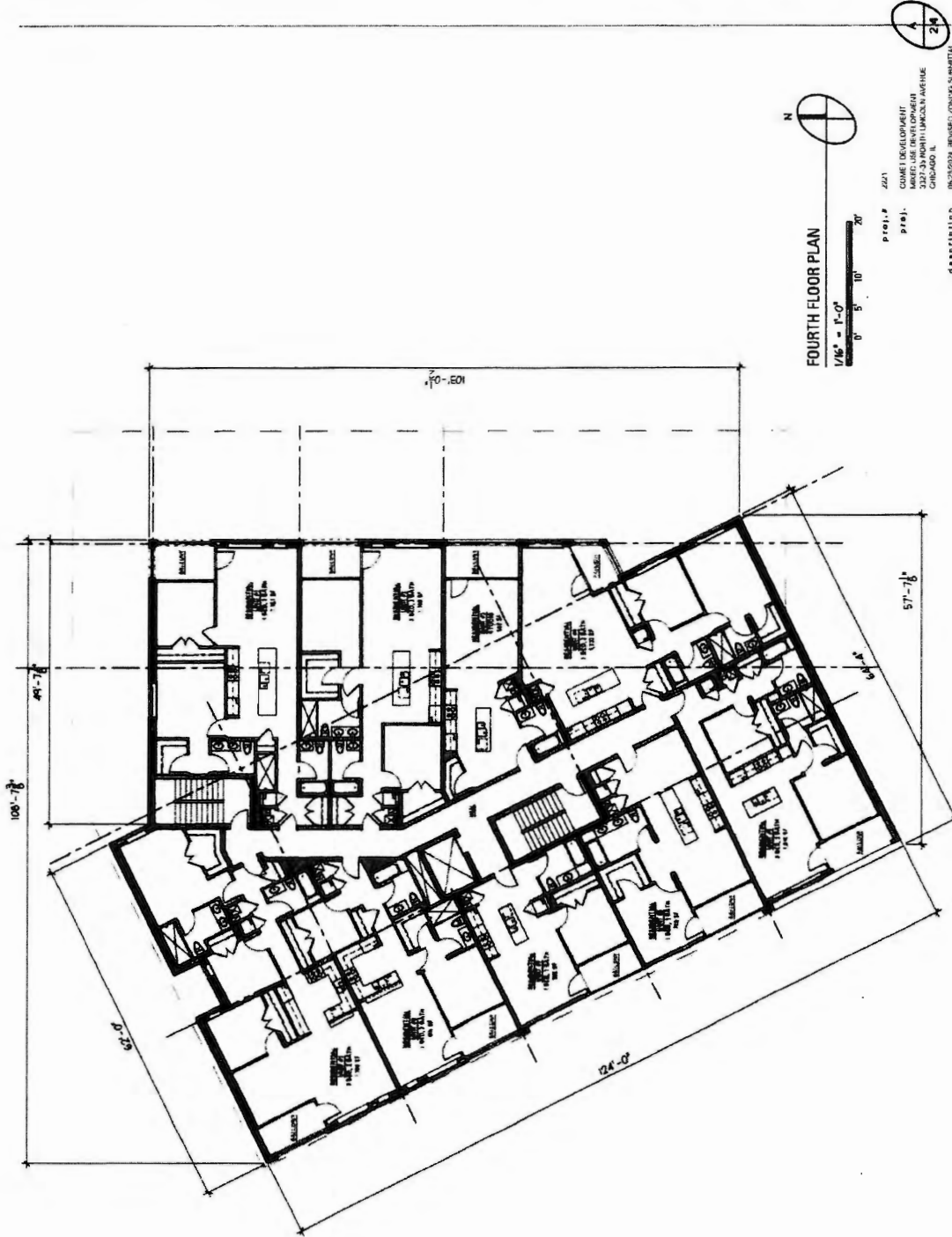
# Final for Publication



2221  
 CONVEY DEVELOPMENT  
 1100 N. STATE STREET  
 CHICAGO, IL 60610  
 DESCRIPTION: REPAIRS TO FACADE, SUBMITTAL

58  
 MATHIAS SPILTT architects llc  
 181 north greenwood avenue  
 ite 601  
 ite 400 ittepec 460120376  
 773 882 3081

# Final for Publication



**FOURTH FLOOR PLAN**  
 1/8" = 1'-0"

0' 0" 5' 10' 20'

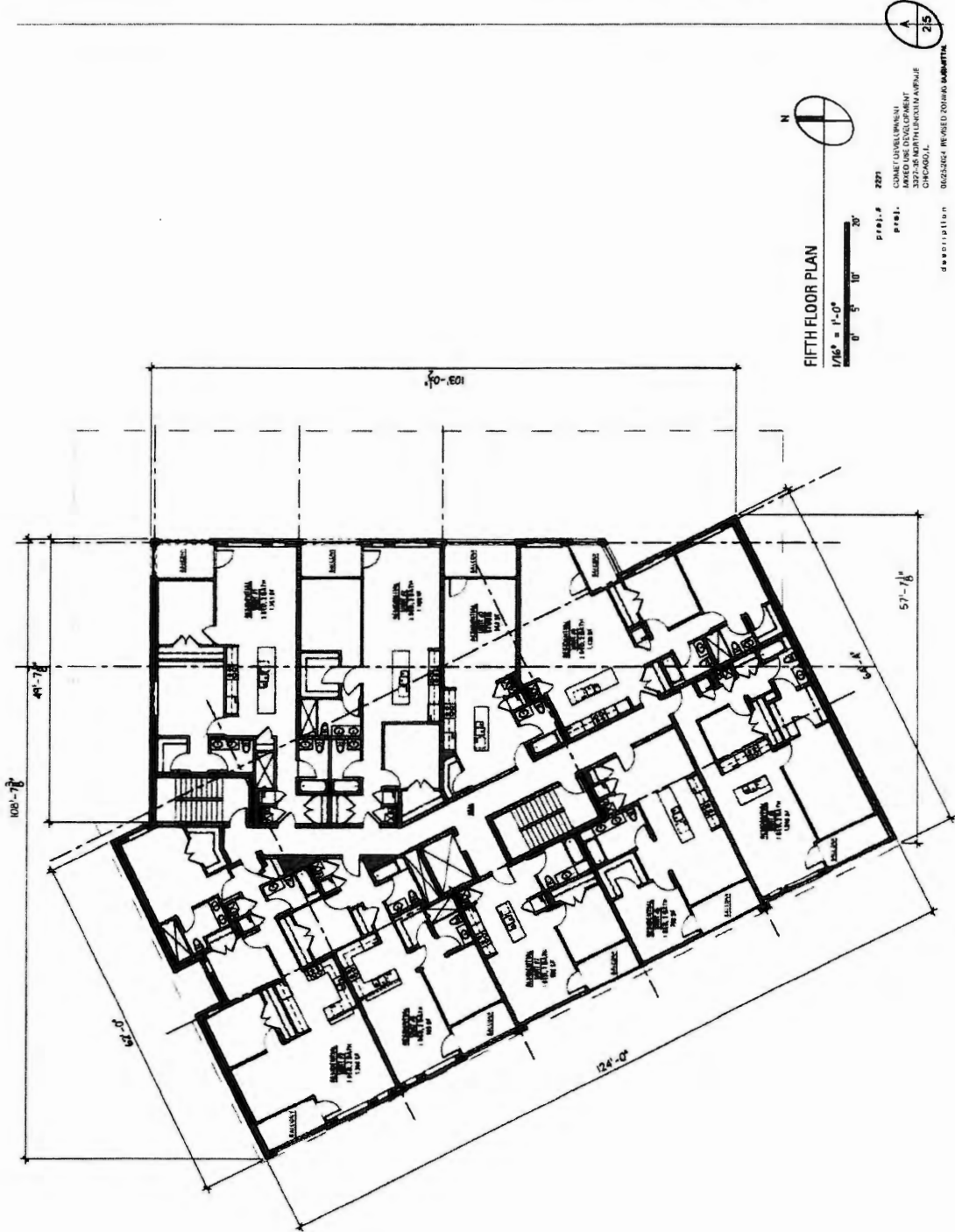
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2 1/4"

Proj.# 221  
 9/19/1  
 2327 S NORTH LINCOLN AVENUE  
 CHICAGO, IL  
 08/25/2024 REVISED JONAS SUBMITTA

**Sa**  
 crathan SPLITT architects llc  
 631 south wackerwood avenue  
 chicago illinois 60612-2714  
 773 662 1017 fax 773 662 3061

# Final for Publication



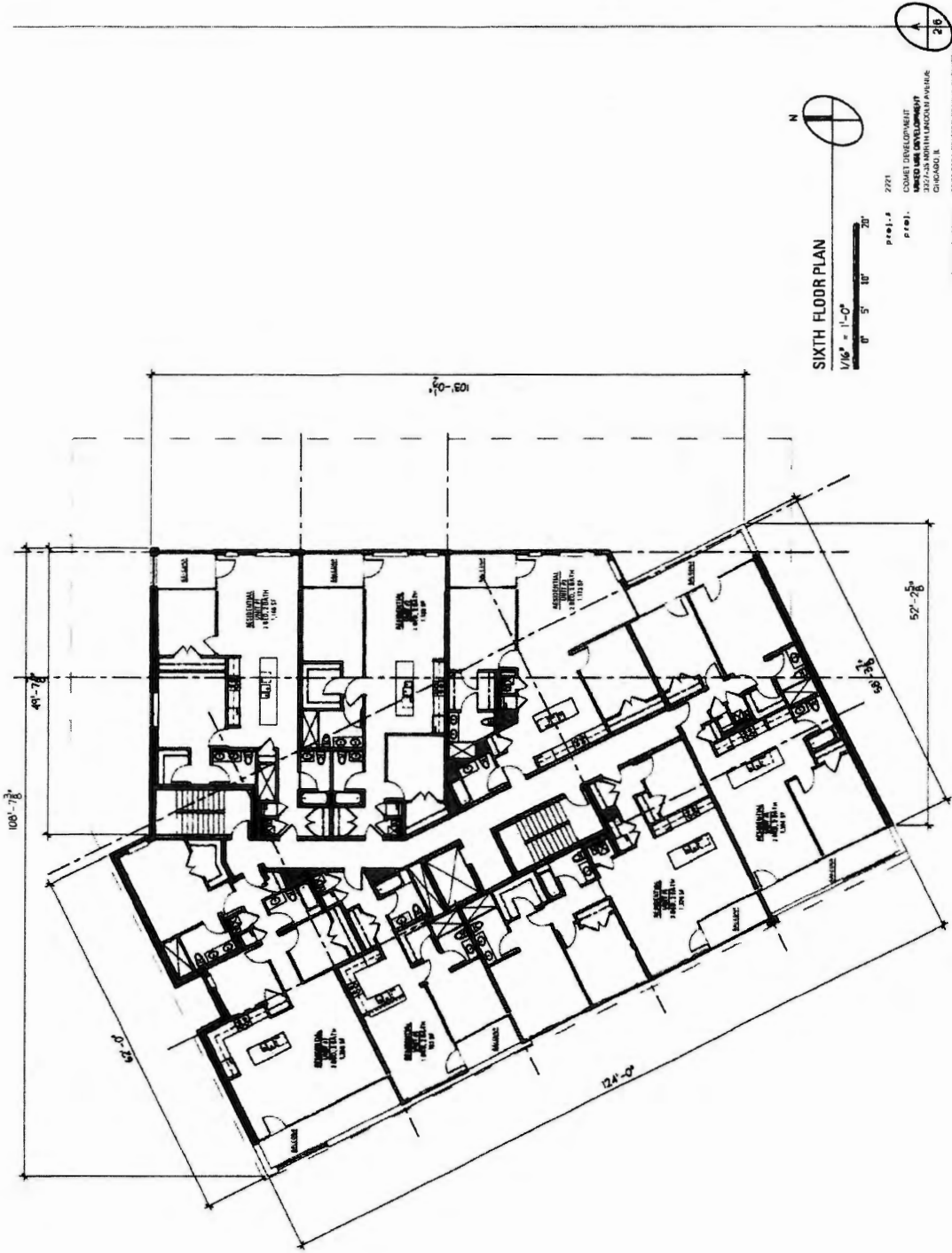
FIFTH FLOOR PLAN  
1/8" = 1'-0"



proj.# 2291  
 CONSULTING ARCHITECT  
 ARCHITECTURE DEVELOPMENT  
 3372-38 NORTH LEXINGTON AVENUE  
 CHICAGO, IL  
 description 06/23/2024 REVISED ZONING SUBMITTAL

**S3**  
 ORNLIN SPILTS ARCHITECTS LTD.  
 881 NORTH ROCKWELL AVENUE  
 WILMINGTON, ILLINOIS 60438-3376  
 708.883.1017 FAX 773.683.5681

# Final for Publication



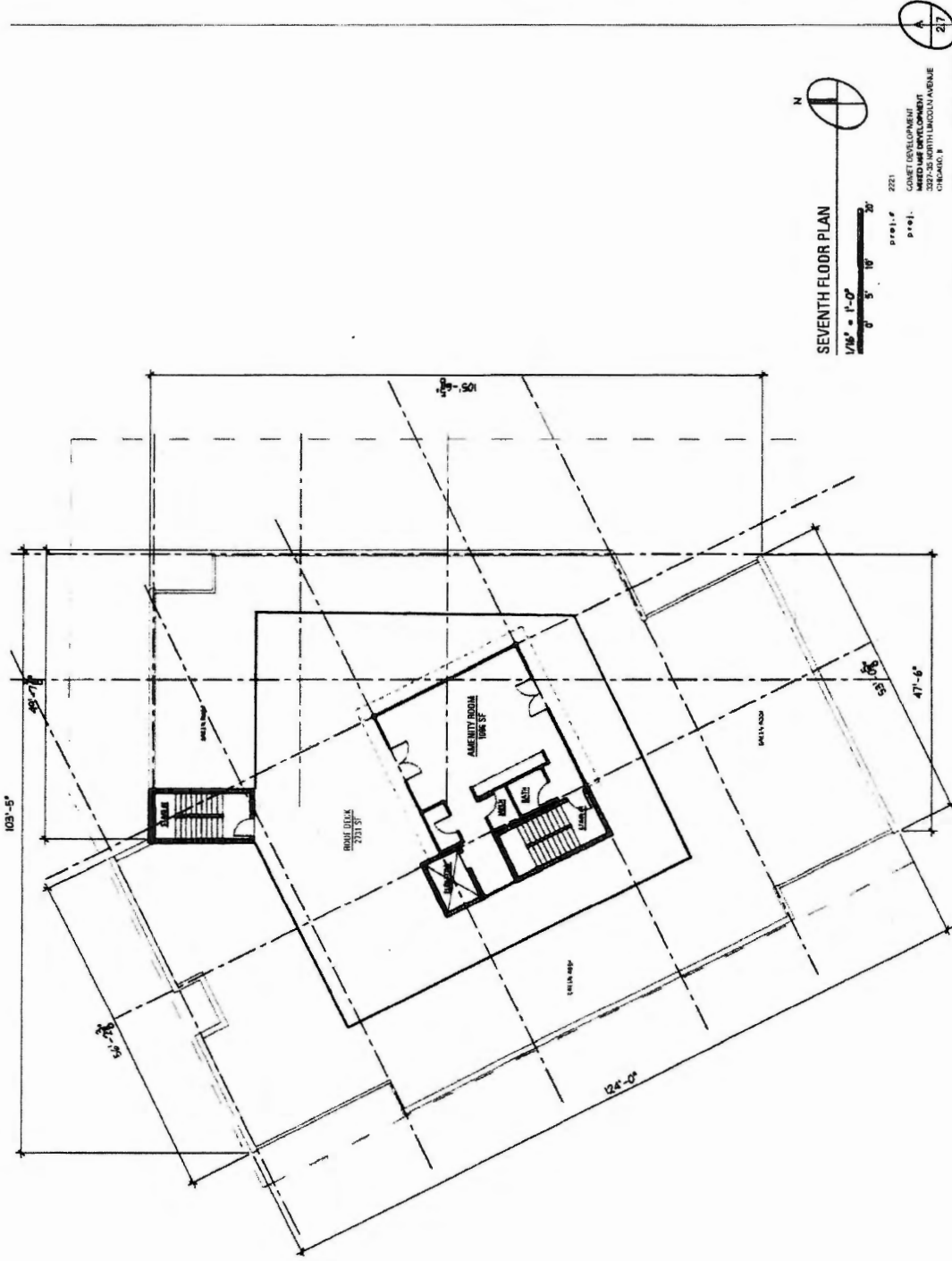
**SIXTH FLOOR PLAN**  
 1/16" = 1'-0"  
 0' 5' 10' 20'

proj. 2291  
 COMET DEVELOPMENT  
 UNITED S&B DEVELOPMENT  
 3377 JAMMILLUNION AVENUE  
 CHICAGO, IL

description DIVISION, PHASE D, ZONING SUBMITTAL

S 8  
 MAINMAN SPLITT ARCHITECTS LLC  
 281 NORTH DEARBORN AVENUE  
 J116 661  
 310 480 ILLINOIS 080132576  
 73 883 1017 FAX 773 883 3081

# Final for Publication




**SEVENTH FLOOR PLAN**  
 1/8" = 1'-0"  
 0' 0" 3' 6" 7' 0" 10' 0" 12' 0"

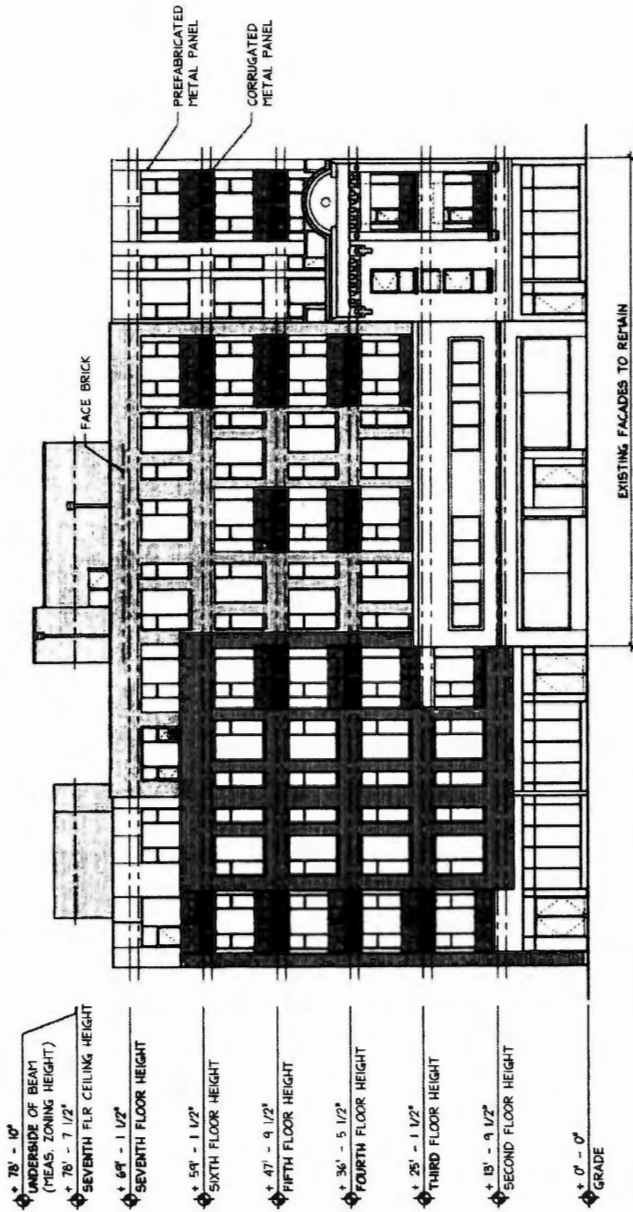
221  
 COMET DEVELOPMENT  
 MEET ROOM DEVELOPMENT  
 221 W. LEXINGTON AVENUE  
 CHICAGO, IL  
 description: REVISION: REVISED DRAWING SUBMITTAL

217

**isa**  
 isaishan splitt architects llc  
 1001 north carlislewood avenue  
 suite 501  
 itasca, illinois 60133-2979  
 773 888 1817 fax 773 888 8081

# Final for Publication

  
 PREPARED BY  
 COURT DEVELOPMENT  
 2317 S MONTGOMERY AVENUE  
 CHICAGO, IL 60608  
 PREPARED FOR  
 0005024 REVISED ZONING SUBMITTAL



WEST ELEVATION (LINCOLN AVE.)

1/16" = 1'-0"



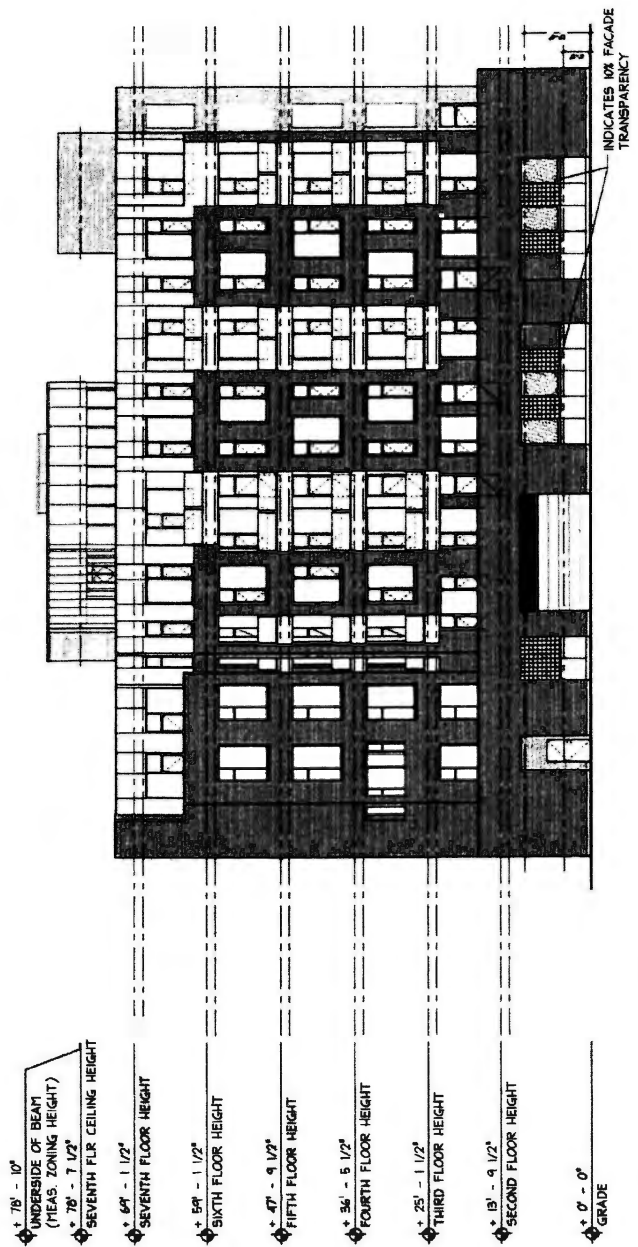
**jsa**  
 JONATHAN SPILLIT ARCHITECTS LLC  
 4001 NORTH RAVENSWOOD AVENUE  
 SUITE 801  
 CHICAGO, ILLINOIS 60630  
 773.882.1017 FAX 773.882.3000

# Final for Publication



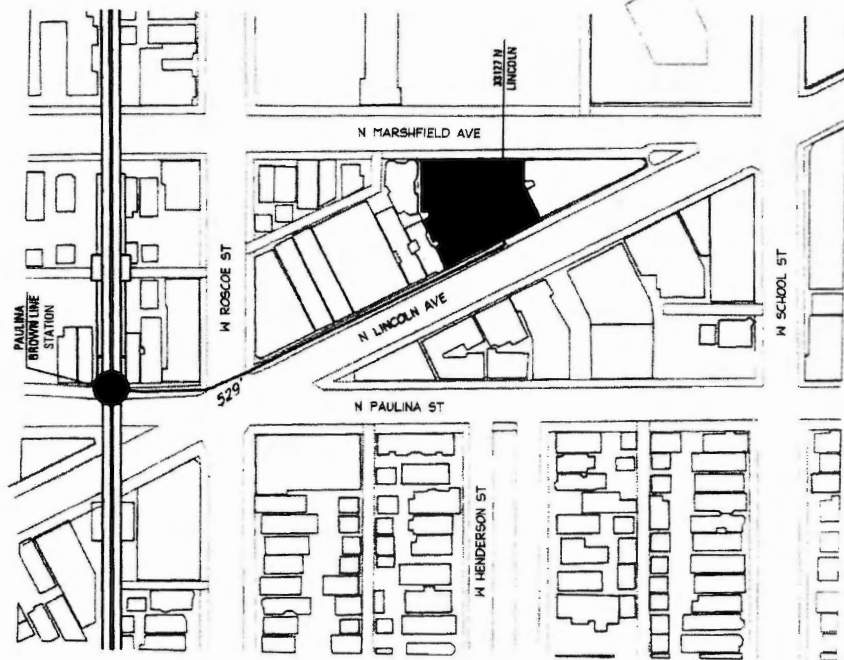
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 COMM DEVELOPMENT  
 3327 N NORTH LINCOLN AVENUE  
 CHICAGO, IL  
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proj.#  
 pres.  
 description

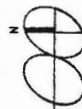


**JSA**  
 Jonathan Spitt Architect LLC  
 4001 NORTH PAVANWOOD AVENUE  
 SUITE 501  
 CHICAGO, ILLINOIS 60630-2215  
 773 883 1617 fax 773 883 3081

# Final for Publication



TRANSIT SERVED LOCATION  
 PROXIMITY MAP  
 N.T.5



proj.# 2221  
 COMET DEVELOPMENT  
 VARED LINE DEVELOPMENT  
 337-35 NORTH LINCOLN AVENUE  
 CHICAGO, IL  
 description 08252024, RE VARED ZONING SUBMITTAL

jsa  
 jonathan SPLITT architect llc.  
 4001 north jayme road avenue  
 suite 801  
 chicago illinois 60613-2376  
 773 883 1017 fax 773 883 3001

*Reclassification Of Area Shown On Map No. 9-P.*  
(Application No. 22480T1)  
(Common Address: 8235 -- 8237 W. Irving Park Rd.)

[O2024-0009971]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. The Chicago Zoning Ordinance is amended by changing all of the B3-1 Community Shopping District symbols and indications as shown on Map Number 9-P in the area bounded by:

West Irving Park Road; North Pittsburgh Avenue; the alley next south of and parallel to West Irving Park Road; and a line 50 feet west of and parallel to North Pittsburgh Avenue,

to those of a C1-2 Neighborhood Commercial District.

SECTION 2. This ordinance shall be effective after its passage and due publication.

[Plat of Survey; Proposed First and Second Floor Plans;  
Views; and Proposed Site Plan attached to this  
ordinance printed on pages 14834  
through 14838 of this *Journal*.]

Type 1 Narrative Rezoning Analysis attached to this ordinance reads as follows:

## Final for Publication

### TYPE 1 NARRATIVE & PLANS - 8235-8237 W. IRVING PARK ROAD

Proposed Zoning: C1-2 Neighborhood Commercial District

Proposed Land Use:

The applicant intends to establish two spaces: a general restaurant with a rooftop outdoor patio and a retail liquor store operating a package goods use within the existing 1 and 2 story building with no parking. The second floor has a proposed addition consisting of a 2,632 sq. ft. roof top deck—outdoor patio with a metal pergola seating 115 persons that will be 56 ft. x 47 ft. The proposed second floor addition will also contain a 3,248 sq. ft. indoor portion that will have dining with seating for 52 persons that will be 58 ft x 56 ft.

The applicant is also seeking a Type 1, as per Section 17-13-0303-D of the Zoning Ordinance, optional administrative adjustment for 100% parking relief for the overall use.

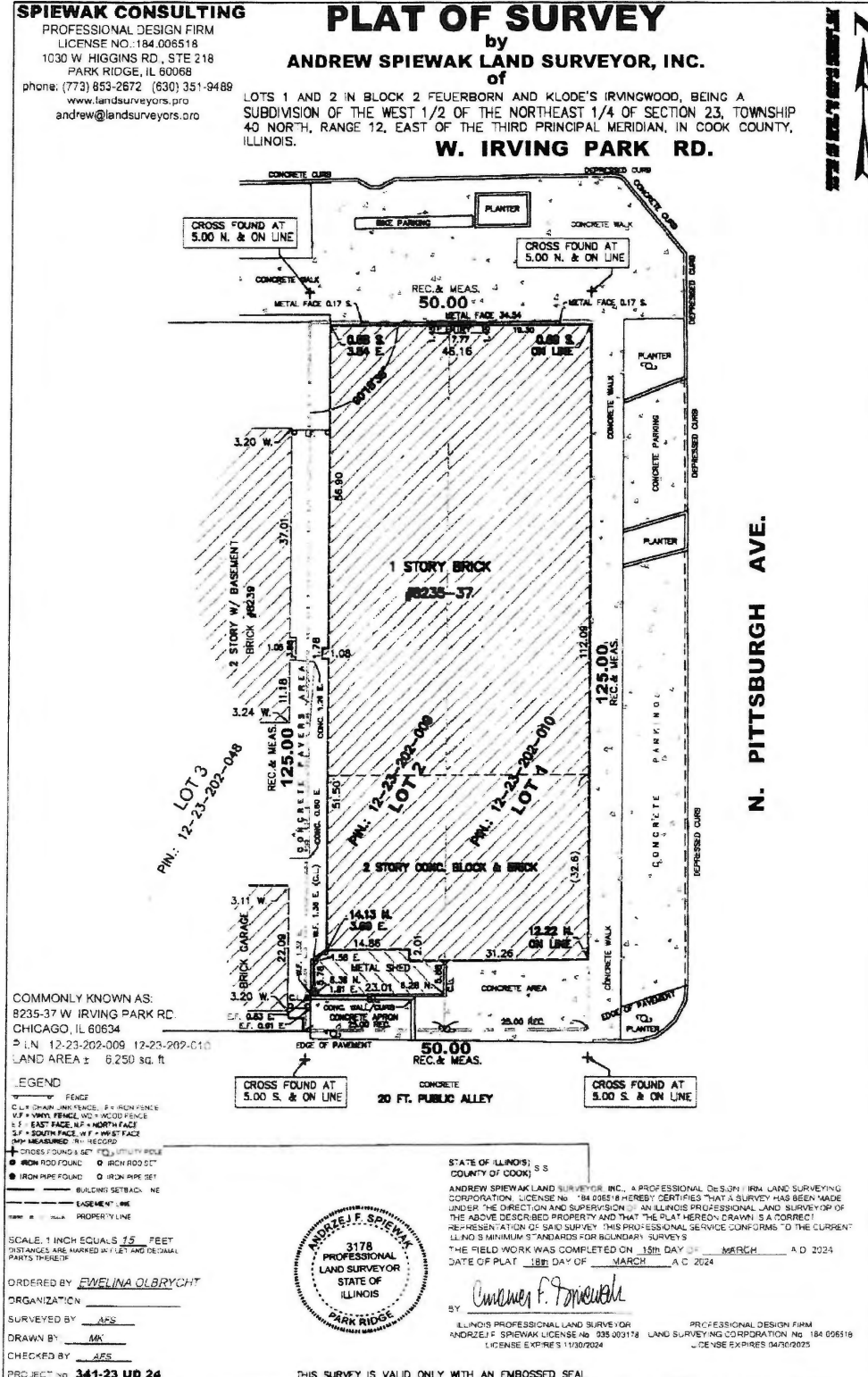
- (a) The project's floor area ratio: 1.23  
Lot Area: 6,250 sq. ft.  
Proposed Floor Area = 7,703 sq. ft.
- (b) The project's density (lot area per dwelling): N/A
- (c) Off Street Parking: Zero parking spaces. The subject property is located within 1,320 feet from a Transit Served Location (TSL parking reduction requested).
- (d) The setbacks (existing):
  - (a) Front setback: 0.0 feet
  - (b) Rear setback: 7.03 feet
  - (c) East side setback: 0.0 feet
  - (d) West side setback: 3.84 feet

D. The building heights:

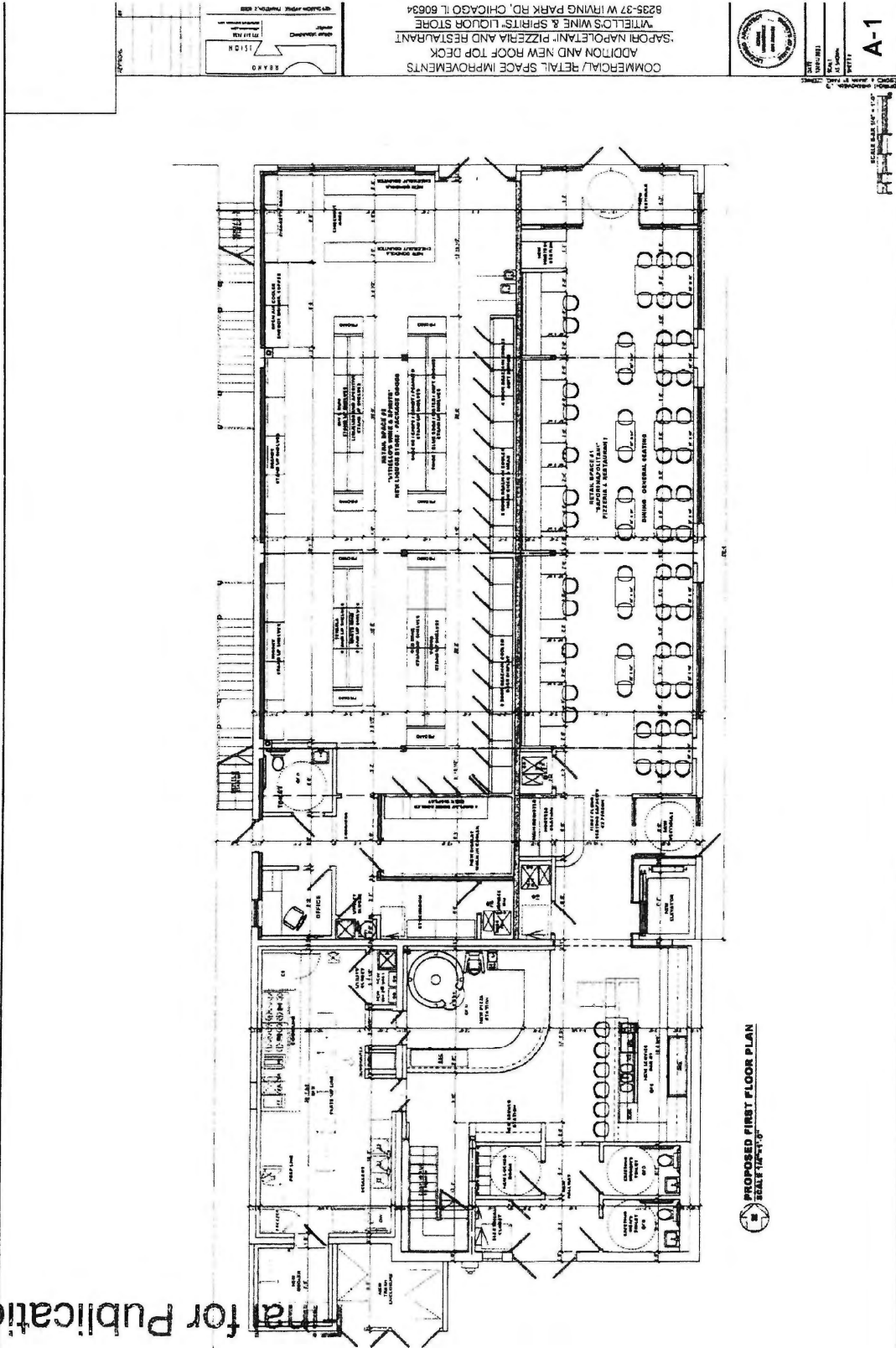
Existing building height: 19'-7"; New addition: 22'-0"

(Height is measured from *grade* to the highest point of the underside of the top floor's ceiling joist )

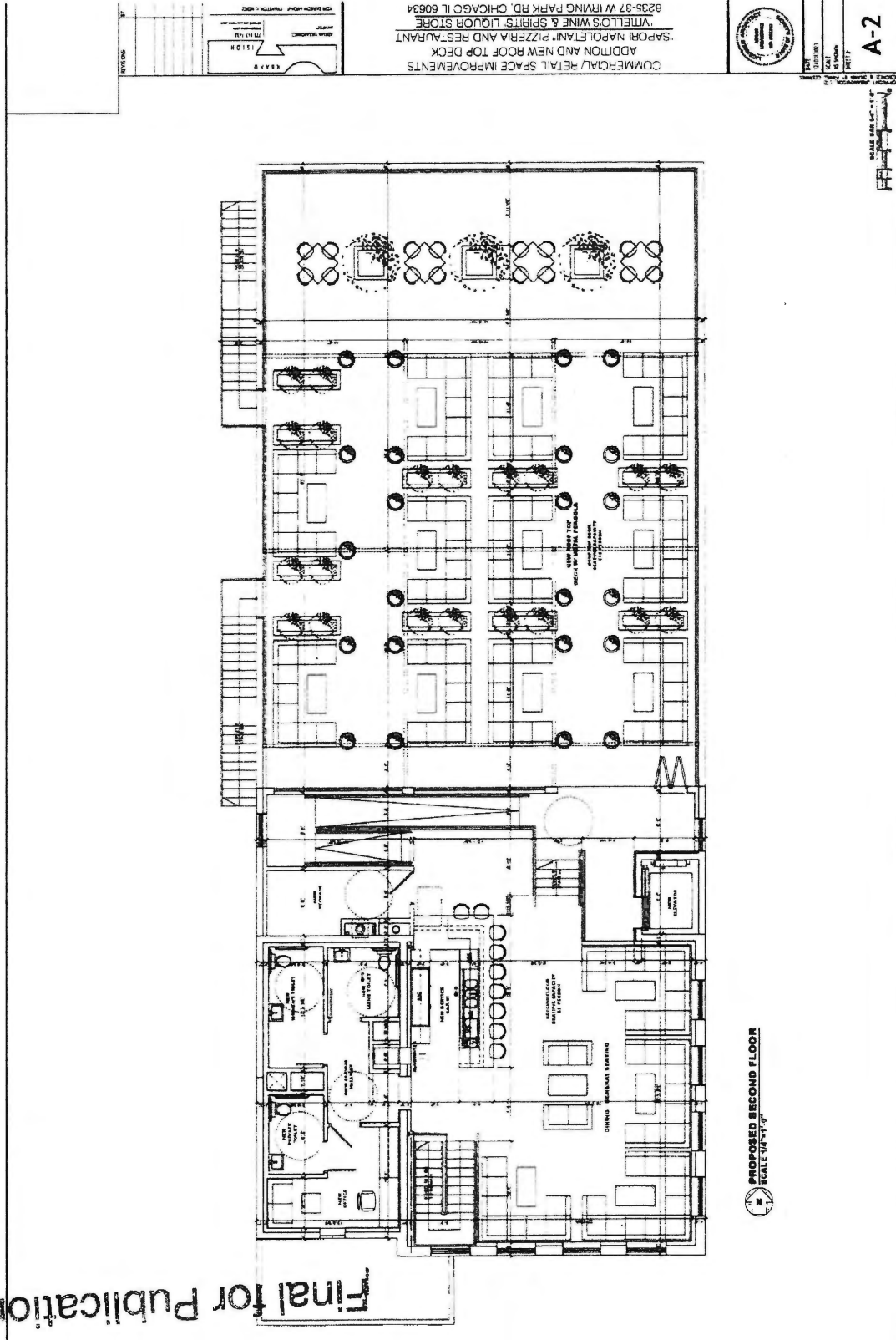
Final for Publication



Final for Publication



Final for Publication



PROPOSED SECOND FLOOR  
SCALE: 1/4"=1'-0"

COMMERCIAL METAL SPACE IMPROVEMENTS  
 ADDITION AND NEW ROOF TOP DECK  
 SAVORI NAPOLETANO PIZZERIA AND RESTAURANT  
 VITELLO'S WINE & SPIRITS LIQUOR STORE  
 8238-37 W IRVING PARK RD, CHICAGO IL 60634



DATE: 07/17/24  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 PROJECT: [Name]

A-2

Final for Publication



COMMERCIAL / RETAIL SPACE IMPROVEMENTS  
 ADDITION AND NEW ROOF TOP DECK  
 SAPORI NAPOLETANI PIZZERIA AND RESTAURANT  
 VITELLO'S WINE & SPIRITS LIQUOR STORE  
 8235-37 W IRVING PARK RD CHICAGO IL 60634



DATE: 07/17/2024  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 SHEET: A-5

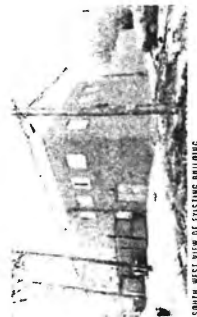
Final for Publication



EAST VIEW OF EXISTING BUILDING



SOUTH EAST VIEW OF EXISTING BUILDING



SOUTH VIEW OF EXISTING BUILDING



WEST VIEW OF EXISTING BUILDING

COMMERCIAL/RETAIL SPACE IMPROVEMENTS  
 ADDITION AND NEW ROOF TOP DECK  
 SAVORI NAPOLETANI PIZZERIA AND RESTAURANT  
 VITELLO'S WINE & SPIRITS LIQUOR STORE  
 8235-37 W IRVING PARK RD, CHICAGO IL 60634

**A-0**

SCALE BAR 1/4" = 1'-0"

DATE: 7/17/2024  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]

**PROPOSED SITE PLAN**  
 SCALE 1/4" = 1'-0"

**TOURING DATA**

TYPING	01.1	DATE	06.14.2024
DATE	06.14.2024	SCALE	1/4" = 1'-0"
DATE	06.14.2024	SCALE	1/4" = 1'-0"

**EXISTING FIRST FLOOR** 3,105 SF  
**EXISTING SECOND FLOOR** 1,493 SF  
**EXISTING ROOF TOP DECK** 1,493 SF  
**NEW SECOND FLOOR ADDITION** 1,053 SF  
**TOTAL BUILDING AREA** 7,144 SF

20 FT ALLEY

EXISTING 2 STORY  
 NEW ADDITION 2 STORY  
 NEW ROOF TOP DECK  
 EXISTING 1 STORY  
 NEW ROOF TOP DECK

LOT 1  
 LOT 2

W. PETERSBURG AVE

*Reclassification Of Area Shown On Map No. 13-G.*  
(Application No. 22485T1)  
(Common Address: 5305 -- 5309 N. Winthrop Ave.)

[O2024-0010020]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all the current RM5 Residential Multi-Unit District symbols and indications as shown on Map Number 13-G in the area bounded by:

a line 99.75 feet north of and parallel to West Berwyn Avenue; a line 61.50 feet east of and parallel to North Winthrop Avenue; West Berwyn Avenue; and North Winthrop Avenue,

to those of a B2-5 Neighborhood Mixed-Use District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

[Site Plan; First Level Space Plan; North, South, East and West Building Elevations; Berwyn Avenue (West) and Winthrop Avenue (West) Building Elevation Depictions; and North Building Elevation Depiction attached to this ordinance printed on pages 14841 through 14846 of this *Journal*.]

Type 1 Narrative Rezoning Analysis attached to this ordinance reads as follows:

## Final for Publication

**NARRATIVE AND PLANS ATTACHMENT**  
**TYPE I Rezoning from RM-5 to B2-5**  
**5305-5309 N Winthrop**

### **The Project**

The property is improved with a four-story building containing 3 residential units and a vacant 1,655 square foot commercial space on the ground floor and 27 residential units on the upper floors for a total of 30 residential units and no parking. Applicant seeks to rezone the property to allow conversion of the 1,655 square foot commercial space into a grocery store with accessory packaged liquor sales. No other additions or other changes are proposed. The height of the building is and will remain at 44.00 feet.

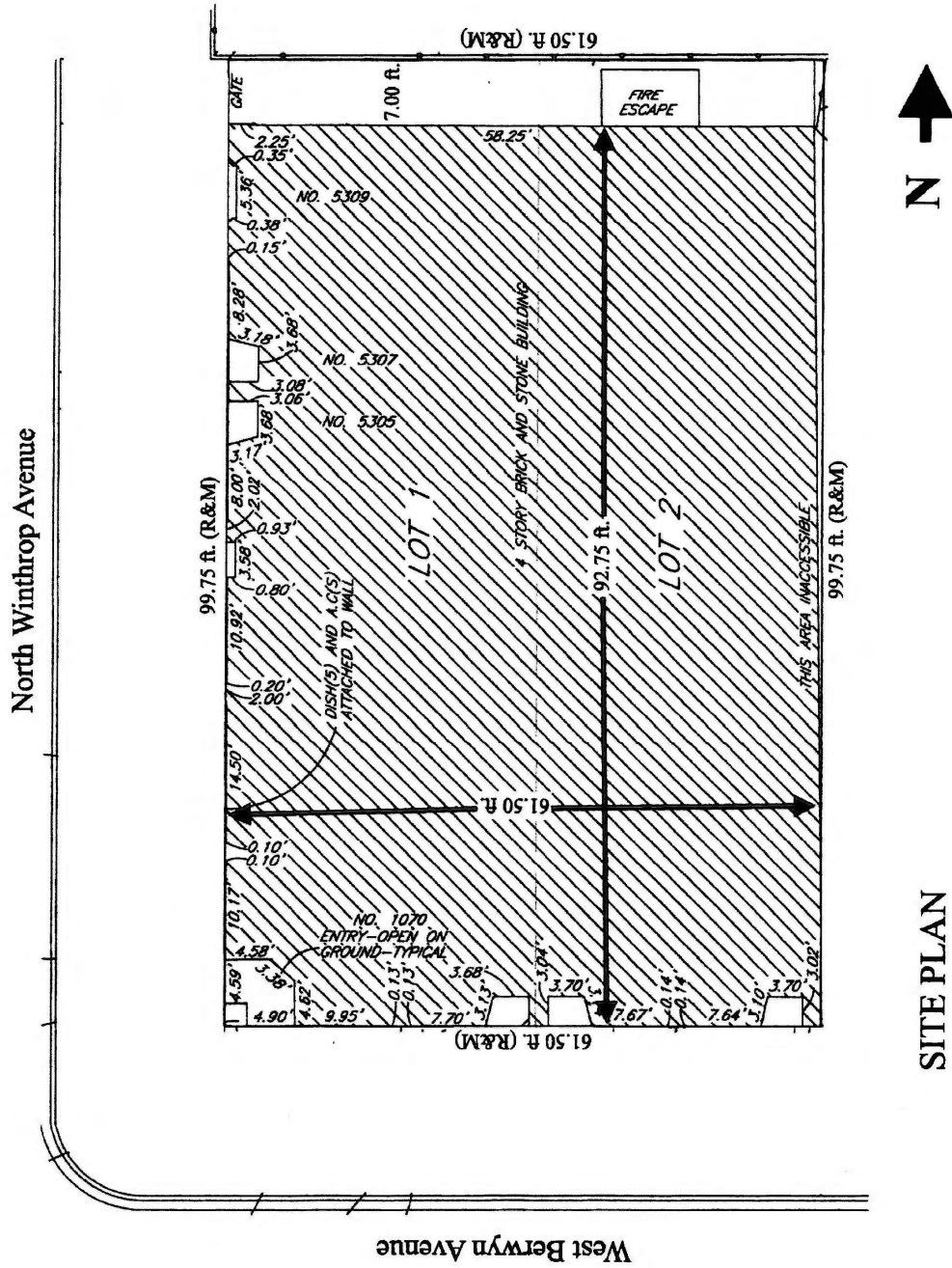
The property is located on the northeast corner of the intersection of West Berwyn Avenue and North Winthrop Avenue in an area that is comprised of various zoning districts including RT-4, RM-5, B1-1, B1-3, B1-5, and POS-2. The area is improved buildings ranging in height from one to six stories and containing residential and commercial uses. To allow the proposed use in the grocery space, the Applicant seeks a change in zoning classification for the subject property from the property's current RM-5 Residential Multi-Unit District to a B2-5 Neighborhood Mixed-Use District under a Mandatory Type I Map Amendment.

The following are the relevant zoning parameters for the proposed project:

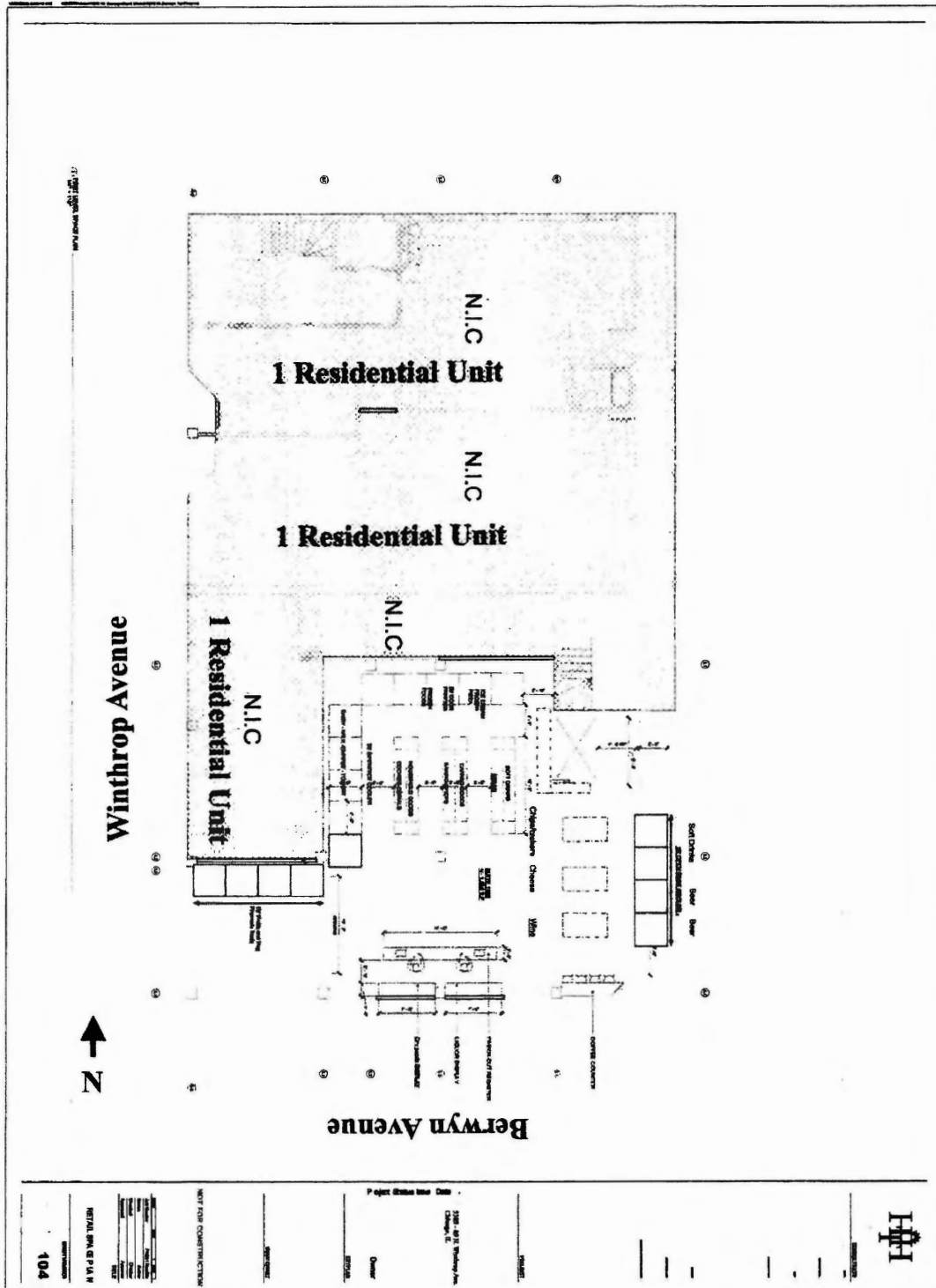
Lot Area:	6,134.62 sq. ft.	
Floor Area:	22,816.50 sq. ft. (existing)	
Maximum FAR:	3.72	
Residential Units:	30	
MLA Density:	204.48 sq. ft.	
Height:	44 feet (existing)	
Bicycle Parking:	0 spaces (existing)	
Automobile Parking:	0 spaces (existing)	
Setbacks:	Front (Winthrop Ave):	None (Existing)
	North Side	7.00 feet (Existing)
	South Side(Berwyn Ave):	None (Existing)
	Rear:	None (Existing)

\* A site plan, a floor plan of the area to be converted, elevations of the changes to the ground floor area that is to contain the grocery store and photos of the buildings existing conditions are attached.

Final for Publication



Final for Publication



# Final for Publication

Architectural drawings including floor plans and elevations for a proposed building. The drawings are oriented vertically on the page. The top drawing is a floor plan showing a long, narrow building with a central section. Below it is an elevation drawing showing the building's profile with windows and doors. To the right of these are two more drawings: another floor plan and another elevation drawing. The drawings are enclosed in a rectangular border.

**PROPOSED BUILDING ELEVATIONS**

**105**

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**1002**

**1003**

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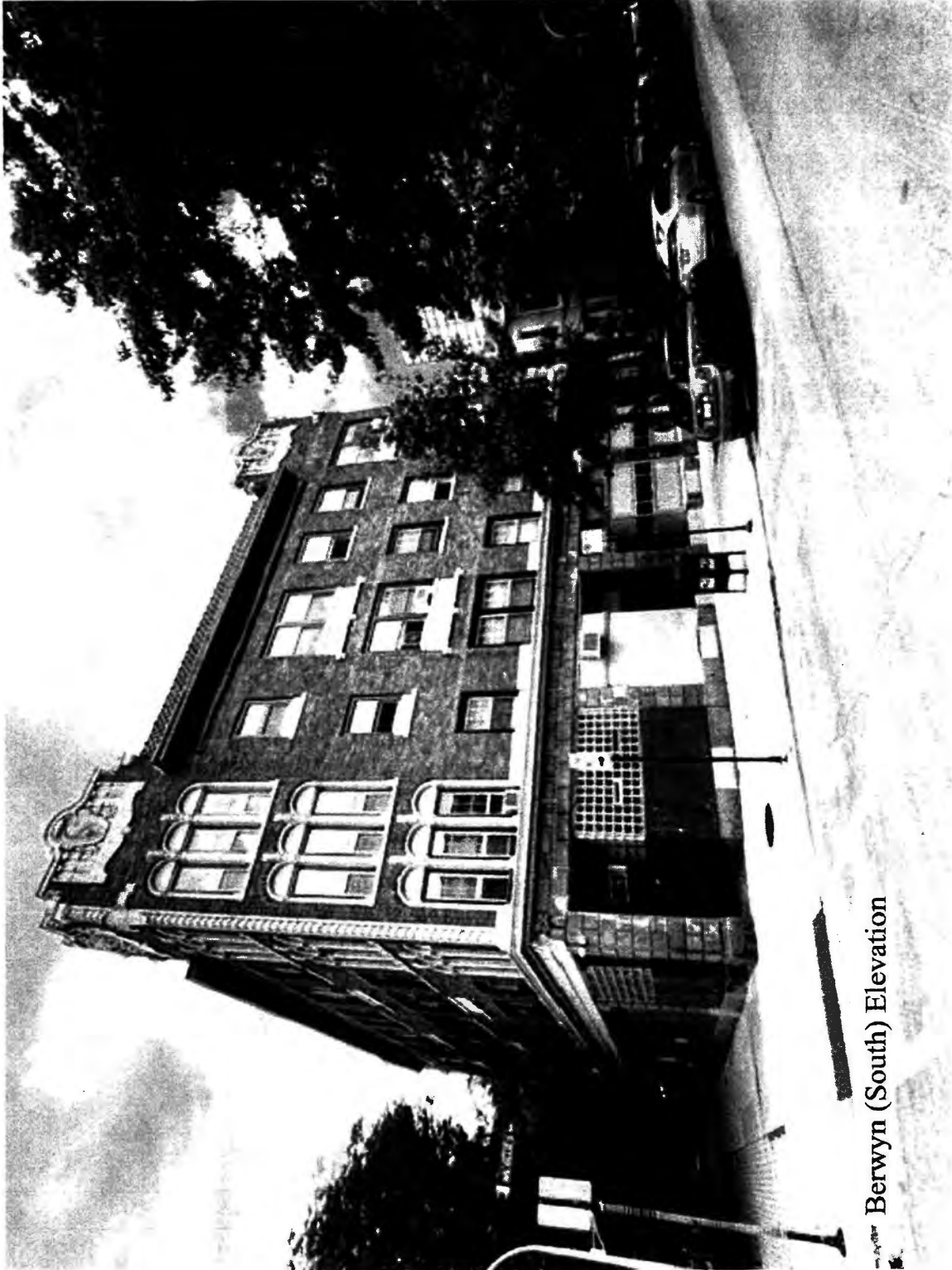
**1496**

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**1500**



Berwyn (South) Elevation

Final for Publication



Final for Publication



North Elevation

*Reclassification Of Area Shown On Map No. 15-K.*  
(Application No. 22452)  
(Common Address: 5743 N. Kingsdale Ave.)

[O2024-0009505]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all the RS1 Residential Single-Unit (Detached House) District symbols and indications as shown on Map Number 15-K in the area bounded by:

North Kingsdale Avenue; North Lacey Avenue; a line 37.50 feet southeast of and parallel to North Kingsdale Avenue; and a line 88.26 feet west of and parallel to North Lacey Avenue,

to those of an RS3 Residential Single-Unit (Detached House) District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

---

*Reclassification Of Area Shown On Map No. 17-H.*  
(Application No. A-8892)  
(Common Address: 6501 N. Western Ave.)

[O2024-0010048]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. The Chicago Zoning Ordinance is amended by changing all of the B1-2 Neighborhood Shopping District symbols and indications as shown on Map Number 17-H in the area bounded by:

a line 132 feet north of and parallel to West Arthur Avenue; a line 124.42 feet east of and parallel to North Western Avenue; West Arthur Avenue; and North Western Avenue,

to those of a B3-3 Community Shopping District.

SECTION 2. This ordinance shall be effective after its passage and publication.

---

*Reclassification Of Area Shown On Map Nos. 17-H And 17-I.*  
(Application No. A-8895)  
(Common Address: 2400 W. Balmoral Ave., 2409 W. Catalpa Ave.  
And 5412 -- 5442 N. Western Ave.)

[O2024-0010044]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. The Chicago Zoning Ordinance is amended by changing all of the B3-2 Community Shopping Districts; C1-2 Neighborhood Commercial Districts; C2-2 Motor Vehicle-Related Commercial Districts; and RT4 Residential Two-Flat, Townhouse and Multi-Unit District symbols and indications as shown on Map Numbers 17-H and 17-I in the area bounded by:

West Catalpa Avenue; North Western Avenue; a line 935 feet north of and parallel to West Berwyn Avenue; a line 630 feet east of and parallel to North Western Avenue; a line 795 feet north of and parallel to West Berwyn Avenue; a line 795 feet east of and parallel to North Western Avenue; a line 729 feet north of and parallel to West Berwyn Avenue; a diagonal line 141.48 feet traveling southeasterly from a point 1,193.51 feet east of North Western Avenue and 729 feet north of West Berwyn Avenue to the intersection of North Leavitt Street and North Bowmanville Avenue; North Bowmanville Avenue; North Oakley Avenue if extended north where no street exists; a line 501 feet north of and parallel to West Berwyn Avenue; a line 274.9 feet east of and parallel to North Western Avenue; North Bowmanville Avenue; North Western Avenue; a line 429 feet north of and parallel to West Berwyn Avenue; North Artesian Avenue; West Balmoral Avenue; and the alley next west of and parallel to North Western Avenue,

to those of a B2-3 Neighborhood Mixed-Use District.

SECTION 2. This ordinance shall be effective after its passage and publication.

---

*Reclassification Of Area Shown On Map No. 17-O.*  
(Application No. 22484T1)  
(Common Address: 6750 -- 6760 N. Northwest Hwy.)

[O2024-0009980]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That Title 17 of the Municipal Code, the Chicago Zoning Ordinance, be amended by changing all the B3-1 Community Shopping District symbols and indications as shown on Map Number 17-O in the area bounded by:

North Northwest Highway; North Oshkosh Avenue; a public alley southwest of and parallel to North Northwest Highway; and a line 290 feet northwest of and parallel to North Oshkosh Avenue,

to those of a B3-5 Community Shopping District which is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

[Plat of Survey; Site Plan; 1<sup>st</sup>, 2<sup>nd</sup>, 3<sup>rd</sup> and 4<sup>th</sup> Floor Plans; Roof Plan;  
and Building Elevations attached to this ordinance printed  
on pages 14853 through 14862 of this *Journal*.]

Type 1 Narrative Rezoning Analysis attached to this ordinance reads as follows:

## Final for Publication

### **17-13-0303-C(1) Type 1 Narrative & Plans – 6750-6760 N. Northwest Highway, Chicago, IL**

**Proposed Zoning:** B3-5 Community Shopping District

**Lot Area:** 42,050 square feet

**Proposed Land Use:** The Applicant is proposing to subdivide the subject property from the existing one (1) zoning lot into two (2) separate zoning lots each measuring 145' x 145' for 21,025 sq. ft. per lot in order to develop it with two (2) new four-story mixed-use buildings. Each building will contain retail space (3,250 sq. ft. and 1,700 sq. ft., respectively) at grade and forty-one (41) residential units above. The proposed building will be masonry in construction and measure 50 ft.-6 inches in height. Pursuant to Sec. 17-13-0303-D, Optional Administrative Adjustment and Variation, as well as Secs. 17-13-1003 and 17-13-1101 of the Chicago Zoning Ordinance, the Applicant is also seeking to increase the number of off-street parking spaces for a Transit Served Location from twenty-one (21) parking spaces to forty-one (41) parking spaces for each proposed building and reduce the rear setback for floors containing residential uses in each building from 30 ft. to 5 feet.

- (A) The Project's Floor Area Ratio:
- |                                      |                               |
|--------------------------------------|-------------------------------|
| Building A (6750 N. Northwest Hwy.): | 57,200 square feet (2.72 FAR) |
| Building B (6760 N. Northwest Hwy.): | 57,200 square feet (2.72 FAR) |
- (B) The Project's Density (Minimum Lot Area Per D.U.):
- |                                      |   |
|--------------------------------------|---|
| Building A (6750 N. Northwest Hwy.): | 512.8 sq. ft. per unit<br>(41 residential units proposed) |
| Building B (6760 N. Northwest Hwy.): | 512.8 sq. ft. per unit<br>(41 residential units proposed) |
- (C) The amount of off-street parking:
- |                                      |                   |
|--------------------------------------|-------------------|
| Building A (6750 N. Northwest Hwy.): | 41 parking spaces |
| Building B (6760 N. Northwest Hwy.): | 41 parking spaces |

\*The subject property is a designated Transit Served Location. Pursuant to Section 17-13-0303-D, Optional Administrative Adjustment and Variation, and Sec. 17-13-1003-EE, the Applicant is seeking to increase the allowable parking ratio for the proposed forty-one (41) unit mixed-use building from twenty-one (21) parking spaces (50%) to forty-one (41) parking spaces (100%).

- (D) Setbacks:

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### Building A (6750 N. Northwest Highway)

- a. Front Setback: 1 foot
- b. Side Setbacks:
  - West Side: 5 feet
  - East Side: 1 foot
- c. \*Rear Setback: 5 feet

### Building B (6760 N. Northwest Highway)

- a. Front Setback: 1 foot
- b. Side Setbacks:
  - West Side: 5 feet
  - East Side: 5 feet
- c. \*Rear Setback: 5 feet

\*Pursuant to Sections 17-13-0303-D, Optional Administrative Adjustment and Variation, and 17-13-1101-B, the Applicant is seeking to reduce the rear setback for floors containing residential uses from the required 30 ft. to 5 feet.

- (E) Building Height:
  - Building A (6750 N. Northwest Hwy.): 50 feet 6 inches
  - Building B (6760 N. Northwest Hwy.): 50 feet 6 inches
- (F) Floor Area of Ground-Floor Space
  - Building A (6750 N. Northwest Hwy.): 3,250 sq. ft.
  - Building B (6760 N. Northwest Hwy.): 1,700 sq. ft.
- (G) 17-3-0307. Exceptions. The Applicant will comply with the Chicago Air Quality Ordinance should such provisions be determined as applicable.

### Sec. 17-3-0308 Criteria for Transit-Served Locations – Supplemental Narrative Zoning Analysis

1. The project complies with the applicable standards of Sec. 17-10-0102-B because the subject property is located within 2,640 linear feet of the Edison Park Metra Station. The two (2) proposed mixed-use buildings will be supported by at least eighty-two (82) off-street parking spaces. The Applicant intends on seeking an Administrative Adjustment to permit the increased parking ratio.

2. The two (2) proposed mixed-use buildings will comply with Sec. 17-3-0504 because its front setback will be at the front property line, the entrance width does not exceed 12 ft., the entrance depth does not exceed the entrance width, the entrance is not more than two-stories in height, the proposed building elevations comply with the window transparency requirements, the front doors to the retail space are located along North Northwest Highway. While the future retail tenants have not yet been identified, the future retail uses will comply with the permitted uses in the B3 Zoning District.

## Final for Publication

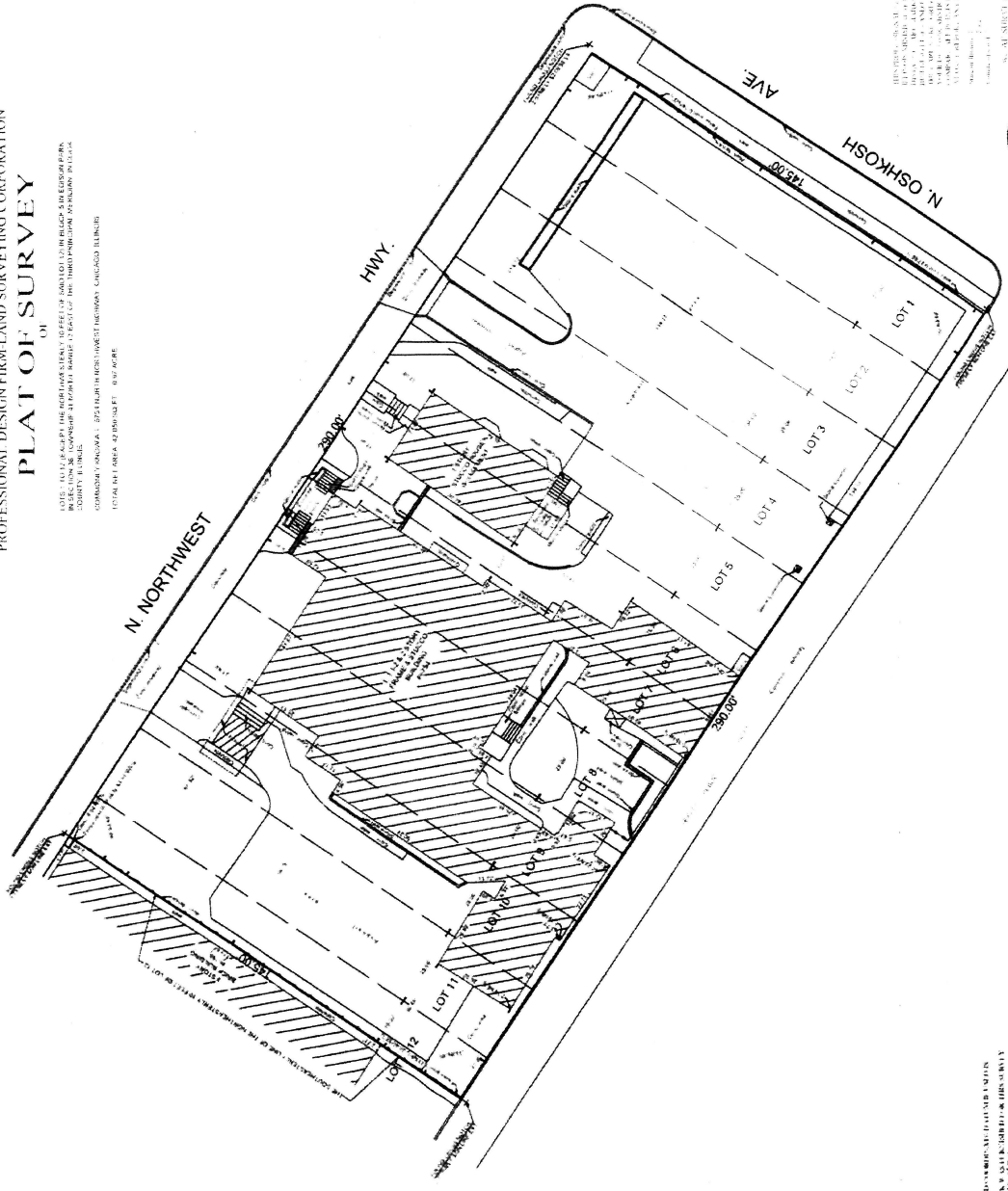
3. The Transit Friendly Development Guide defines 'transit friendly development' as development which is oriented towards and integrated with adjacent transit. The two (2) proposed mixed-use buildings incorporate accessibility and connectivity to the Edison Park Metra Station, which is located south of the subject property. The Applicant believes the project will help improve the pedestrian way along North Northwest Highway and North Oshkosh Avenue for residents and other commuters traveling in the subject area.
4. The two (2) proposed mixed-use buildings contemplates forty-one (41) residential units for each building. Forty-one (41) off-street parking will be provided for each building. The Applicant intends on seeking an Administrative Adjustment to permit the parking increases consistent with the TSL Ordinance.
5. The Applicant believes the two (2) proposed mixed-use buildings will provide appropriate density in a northwest side neighborhood within which the subject property is located. Further, and based on the subject property's proximity to mass transit, the Applicant believes the project complies with the Travel Demand Study and Management Plan rules promulgated by the Department of Transportation by serving an area in need.

117 - MEMBER COUNT  
117 - MEMBER COUNT  
117 - MEMBER COUNT  
117 - MEMBER COUNT  
117 - MEMBER COUNT

A. P. SURVEYING COMPANY, P.C.  
11775 N. 148th Ave., Edina, MN 55425  
PROFESSIONAL DESIGN FIRM - LAND SURVEYING CORPORATION  
PLAT OF SURVEY

LOT 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

TOTAL NET AREA: 42,300 SQ. FT.



THIS SURVEY WAS MADE IN ACCORDANCE WITH THE MINNESOTA SURVEYING ACT AND THE RULES AND REGULATIONS OF THE BOARD OF SURVEYING AND LAND ADJUSTMENT. THE SURVEYOR HAS BEEN LICENSED BY THE BOARD OF SURVEYING AND LAND ADJUSTMENT AND IS A MEMBER OF THE PROFESSION OF SURVEYORS. THE SURVEYOR HAS BEEN LICENSED BY THE BOARD OF SURVEYING AND LAND ADJUSTMENT AND IS A MEMBER OF THE PROFESSION OF SURVEYORS. THE SURVEYOR HAS BEEN LICENSED BY THE BOARD OF SURVEYING AND LAND ADJUSTMENT AND IS A MEMBER OF THE PROFESSION OF SURVEYORS.



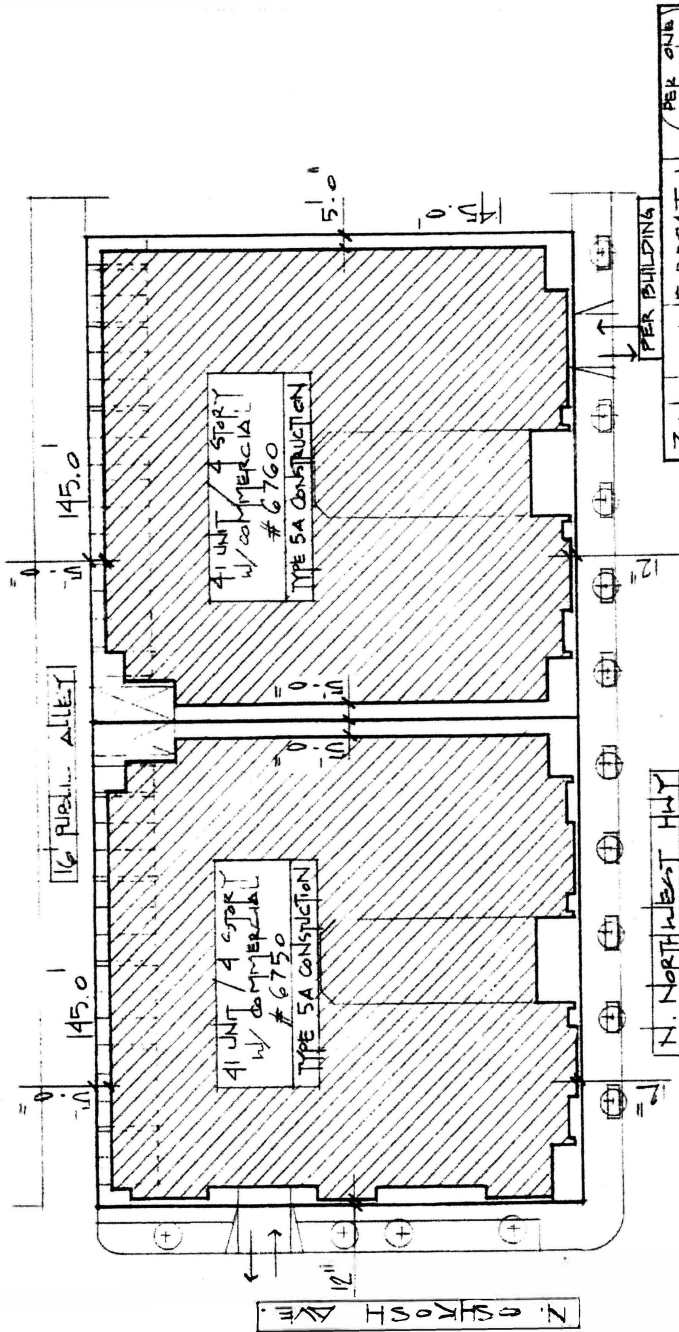
APPROVED AND AUTHORIZED FOR THE SURVEYOR:  
J. J. [Signature]  
JULY 17, 2024

Final for Publication

REVISIONS: NONE  
DATE: 7/17/2024  
BY: J. J. [Signature]  
TITLE: PLAT OF SURVEY  
SCALE: AS SHOWN  
SHEET: 1 OF 1  
PROJECT: [Project Name]

**HANNA ARCHITECTS, INC.**  
 PROFESSIONAL DESIGN FIRM  
 ARCHITECT CORPORATION  
 LICENSE NUMBER 184-001485

180 W. WASHINGTON  
 CHICAGO, ILLINOIS 60602  
 FAX (312) 750-1801  
 e-mail: hannaarchitects@stgglobal.net  
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⊗ SITE PLAN  
 1/4" = 1'-0"

ZONING	FULL SITE
LOT AREA	290 x 145 = 42050 S.F.
F.A.P.	83.5
MAX. BUILDABLE	210250
1ST FLOOR	57200
2ND FLOOR	57200
3RD FLOOR	57200
4TH FLOOR	57200
ROOF	114400
TOTAL	114400 + 210250 = 324650

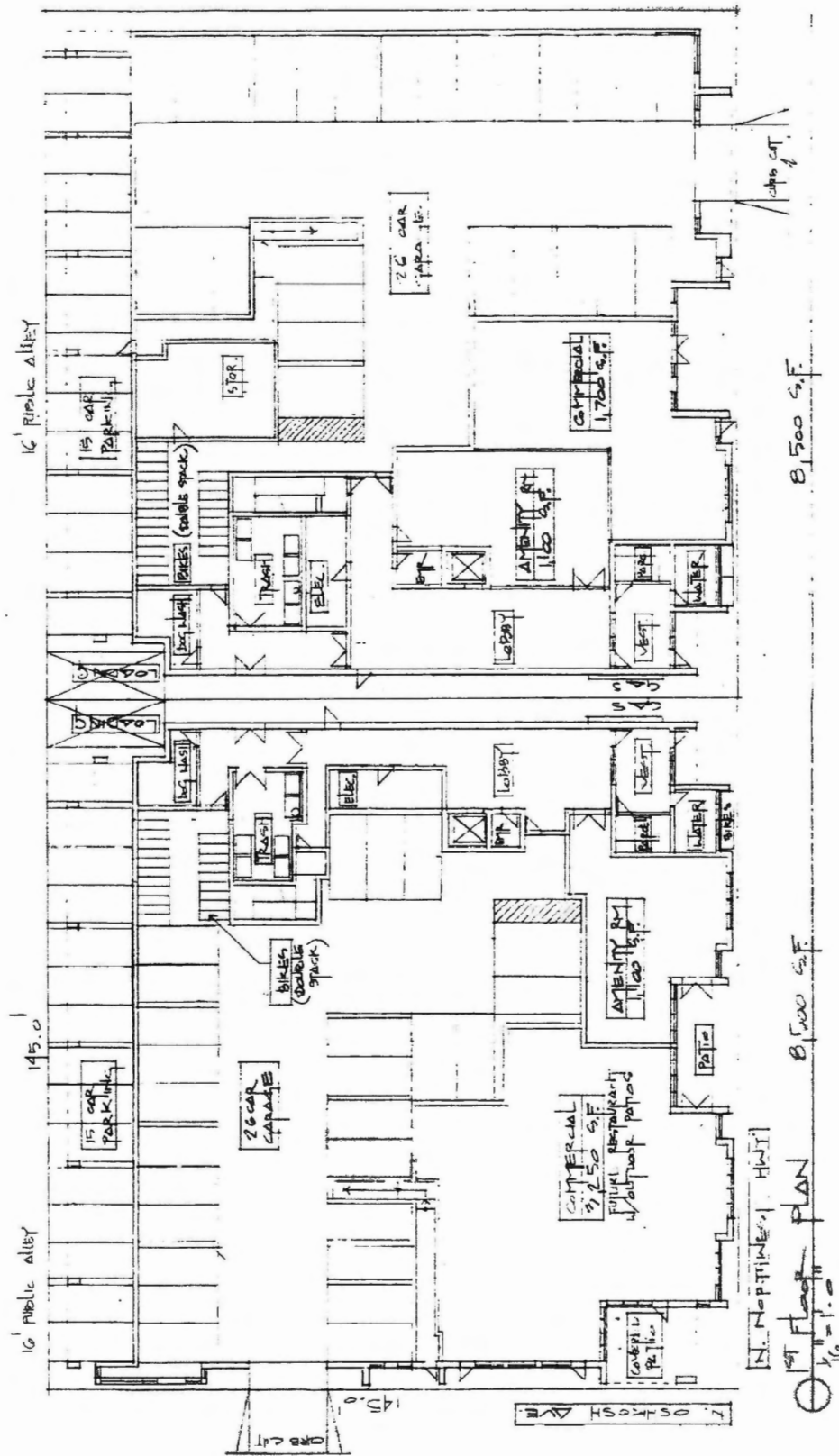
-OK-

**BUILDING SETBACKS:**  
 FRONT YARD: 12" (REQ'D - 0'-0")  
 SIDE YARD (CUSHION ARE): 12" (REQ'D - 0'-0")  
 SIDE YARDS: 5'-0" (REQ'D - 0'-0")  
 REAR YARD: 5'-0" (REQ'D - 30'-0")  
**PARKING (PER BUILDING):**  
 41 CARS PROVIDED (21 CARS REQ'D)  
 41 BIKES PROVIDED (41 BIKES REQ'D)  
 BUILDING HEIGHT: 61'-0" (80'-0" MAX.)

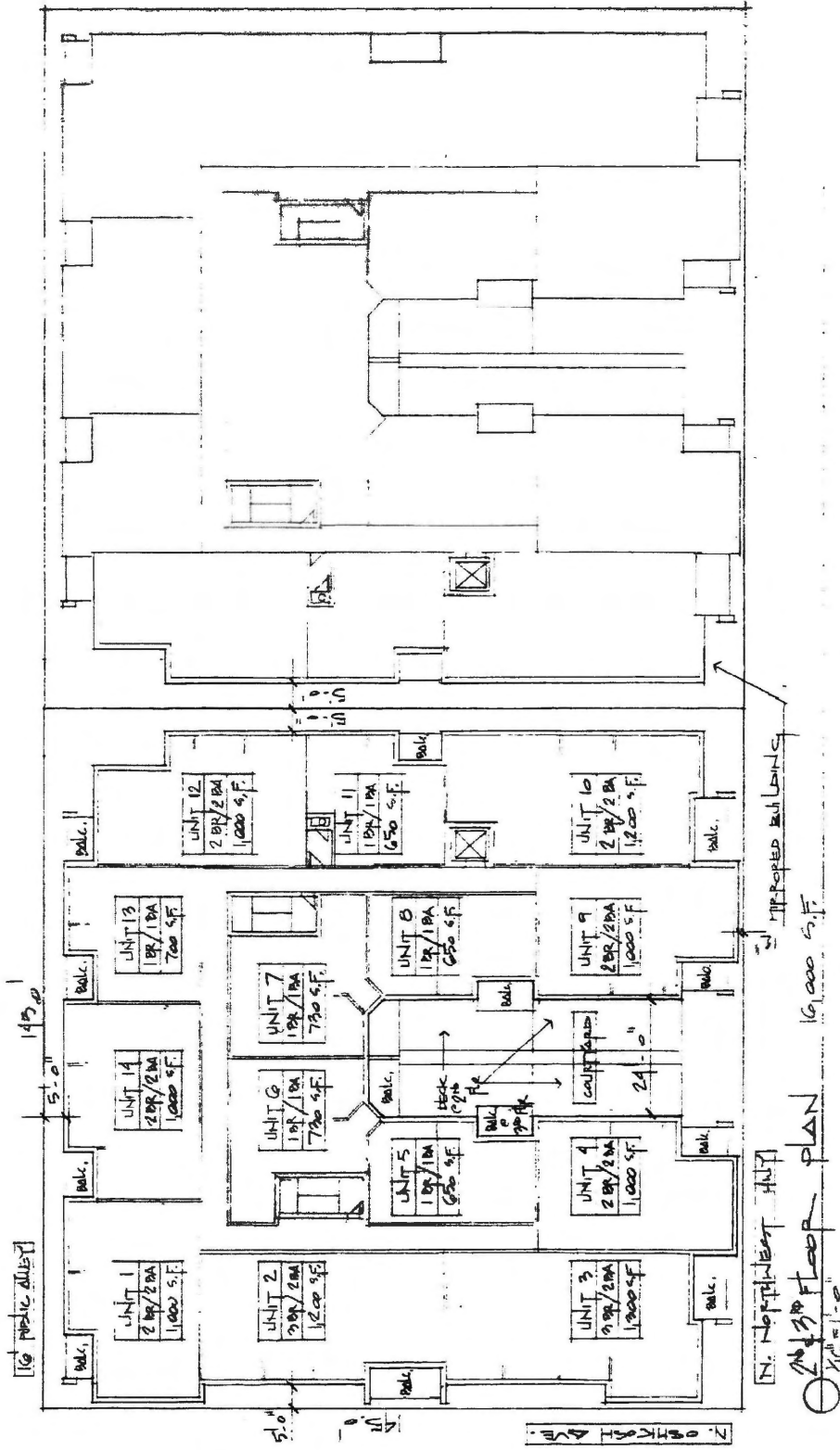
ZONING	INFORMATION (PER ONE BUILDING)
LOT AREA	145 x 145 = 21,025 S.F.
F.A.P.	83.5
MAX. BUILDABLE	105,125 S.F.
1st Floor	8,500 S.F.
2nd Floor	16,000 S.F.
3rd Floor	16,000 S.F.
4th Floor	16,000 S.F.
ROOF	700 S.F.
TOTAL	57,200 S.F.

9/14/2024

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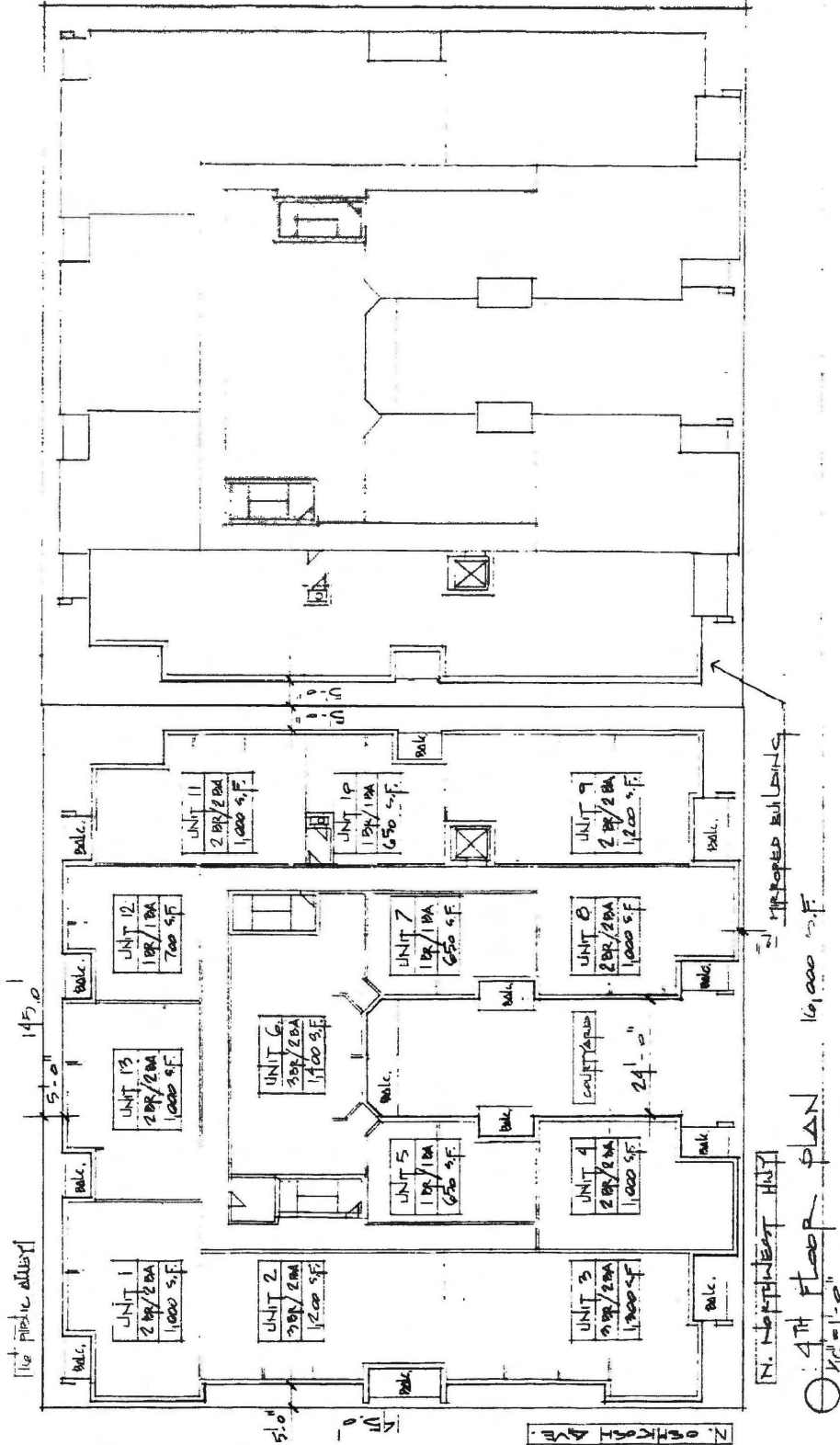


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Final for Public

17. NORTHWEST UNIT  
 2nd Floor PLAN 16,000 S.F.  
 1/8" = 1'-0"



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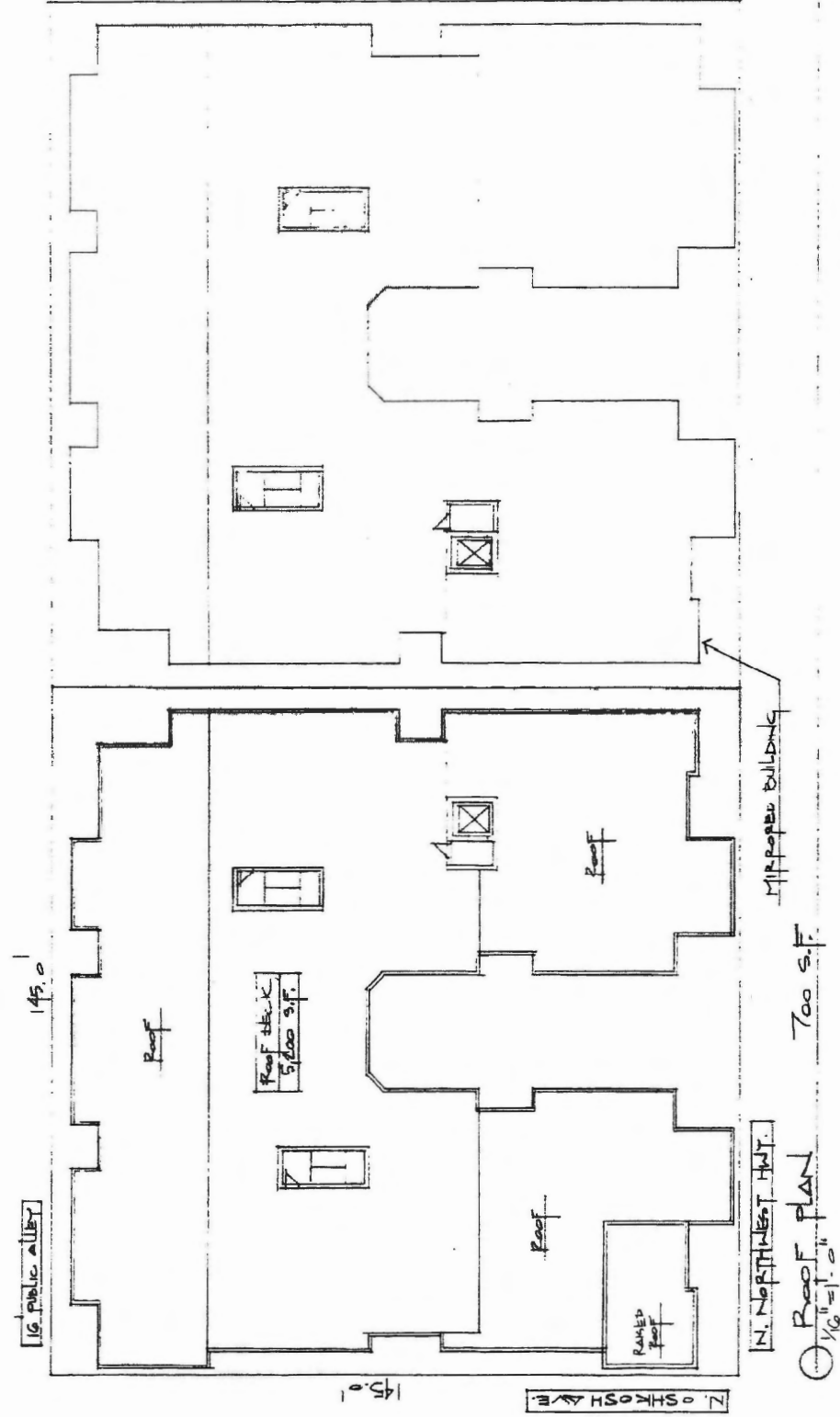
Final for Publication

N. NORTHWEST HWY  
 4TH FLOOR PLAN  
 161,000 SF  
 1/8" = 1'-0"

**HANNA**  
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 LICENSE NUMBER 1M 101483

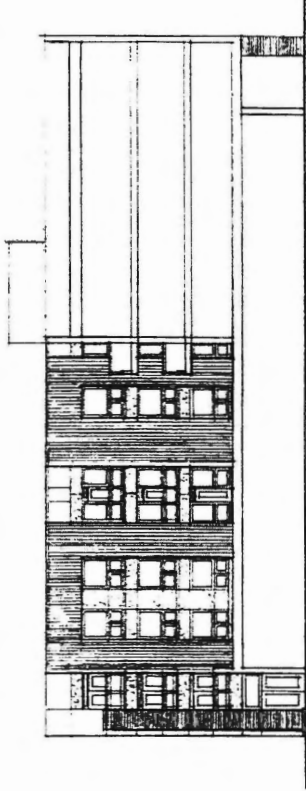
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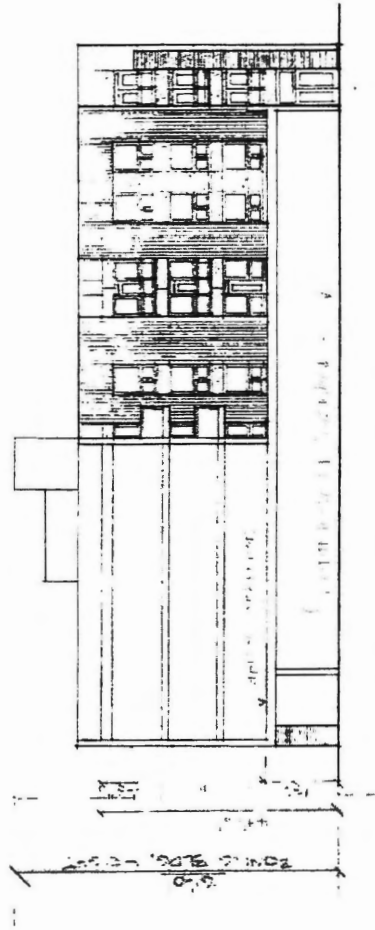
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REGISTERED CORPORATION  
LICENSE NUMBER 184 100485

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○ NORTH WEST COURTYARD ELEVATIONS

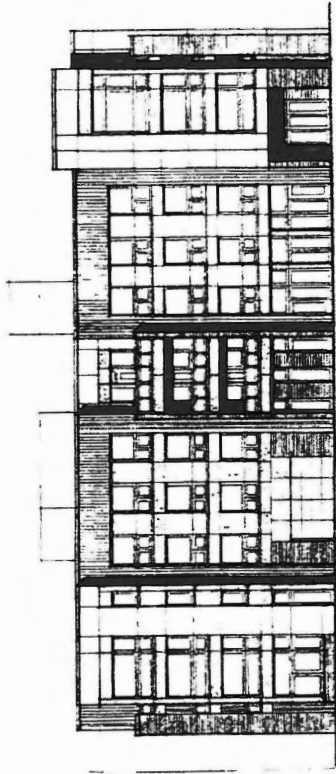


○ SOUTH EAST COURTYARD ELEVATIONS

Final for Publication

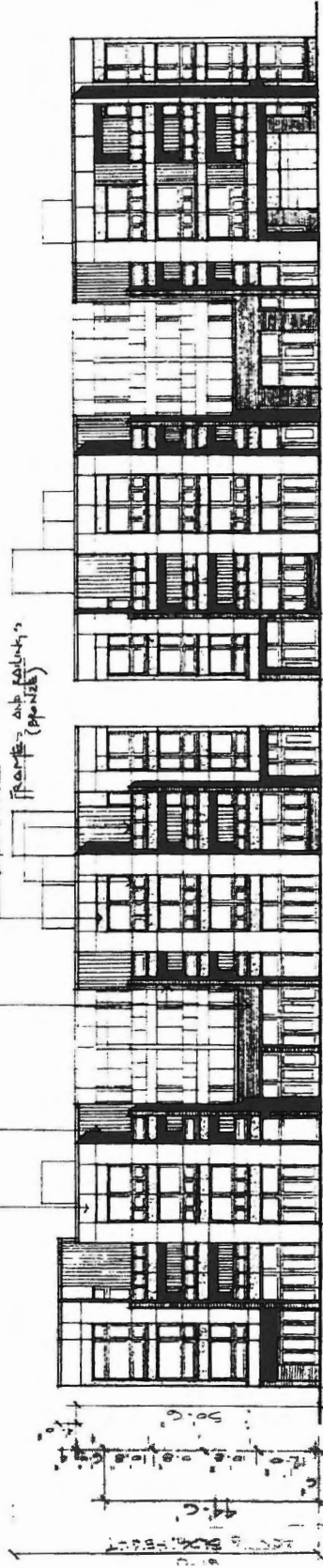
**A. HANNA ARCHITECTS, INC.**  
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 ARCHITECTS, INTERIORS, PLANNING  
 LICENSE NUMBER 194 001485

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FRONT ELEVATION

FRONT -  
 CLAY TILE PANELS (MOSAIC)  
 VERTICAL CORRUGATED METAL SIDING (PANELS)  
 BRICK (DARK BROWN W/ MATCHING TRIM) -  
 SLIP PANELS  
 FRAMES - SUB MATERIALS (PANELS)



#6750

○ NORTHWEST HWY ELEVATION

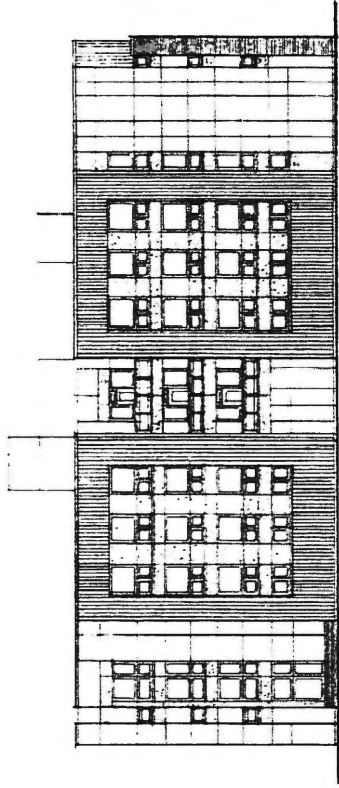
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2/21/2024

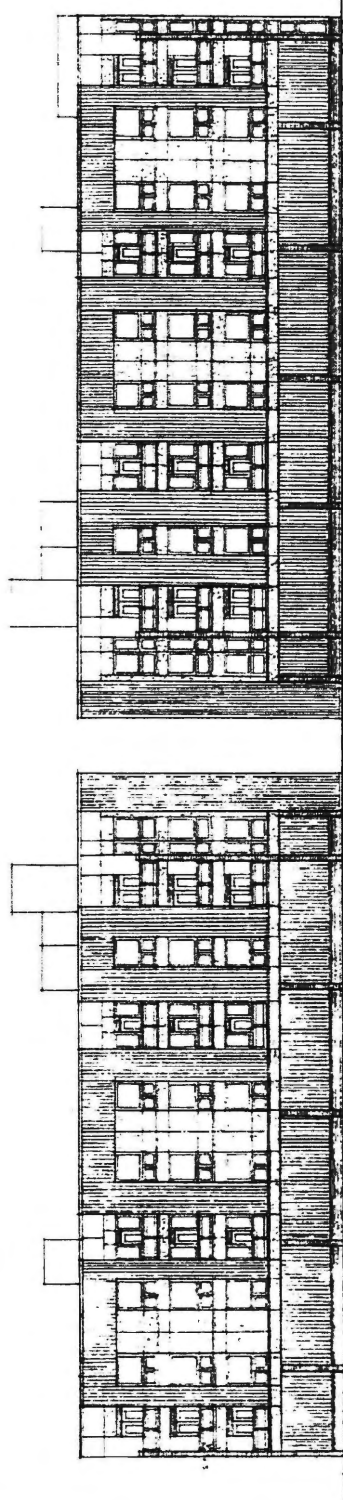
**HANNA**  
**ARCHITECTS, INC.**  
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 ARCHITECT CORPORATION  
 LICENSE NUMBER 184 001467

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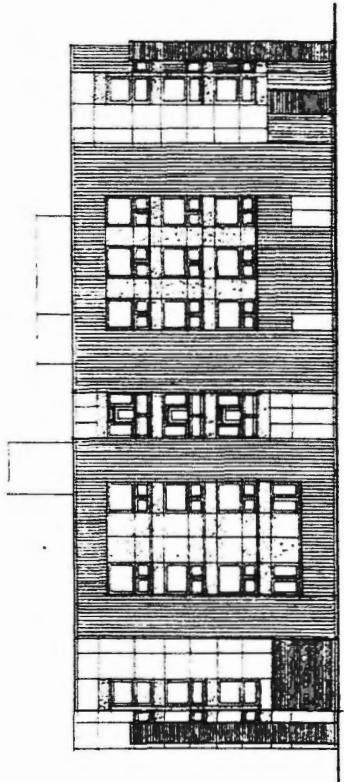
North Elevation



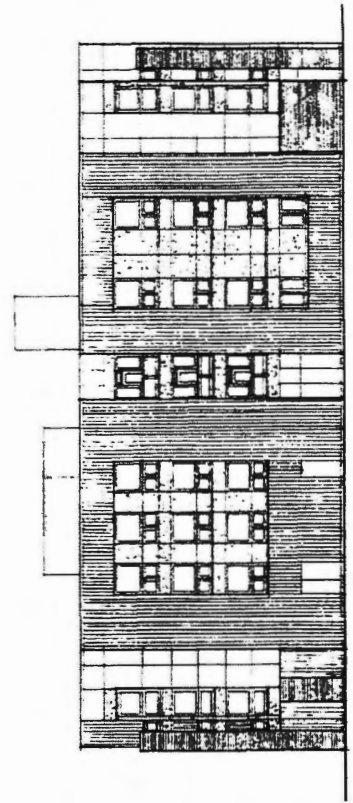
Alley Elevation

**HANNA**  
**ARCHITECTS, INC.**  
 PROFESSIONAL DESIGN FIRM  
 ARCHITECT CORPORATION  
 LICENSE NUMBER 104 001465

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North-West Elevation (Between Buildings)  
 1/8" = 1'-0"



South-East Elevation (Between Buildings)  
 1/8" = 1'-0"

Final for Publication

*Reclassification Of Area Shown On Map No. 18-D.*

(Application No. 22482)

(Common Address: 7722 S. Greenwood Ave.)

[O2024-0009975]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That Title 17 of the Municipal Code, the Chicago Zoning Ordinance, be amended by changing all the RS3 Residential Single-Unit (Detached House) District symbols and indications as shown on Map Number 18-D in the area bounded by:

a line 211.78 feet south of and parallel to East 77<sup>th</sup> Street; South Greenwood Avenue; a line 236.78 feet south of and parallel to East 77<sup>th</sup> Street; and a public alley next west of and parallel to South Greenwood Avenue,

to those of an RT4 Residential Two-Flat, Townhouse and Multi-Unit District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

---

*Reclassification Of Area Shown On Map No. 20-E.*

(Application No. 22490)

(Common Address: 8332 -- 8358 S. Dr. Martin Luther King, Jr. Dr.)

[O2024-0010039]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the B3-2 Community Shopping District symbols and indications as shown on Map Number 20-E the area bounded by:

a line 266 feet north of and parallel to the north line of East 84<sup>th</sup> Street, as measured along the west line of South Dr. Martin Luther King, Jr. Drive; South Dr. Martin Luther King, Jr. Drive; East 84<sup>th</sup> Street; and the public alley next west of and parallel to South Dr. Martin Luther King, Jr. Drive,

to those of a B2-3 Neighborhood Mixed-Use District.

SECTION 2. This ordinance takes effect after its passage and due publication.

---

*Reclassification Of Area Shown On Map No. 28-G.*  
(Application No. A-8888)  
(Common Address: 11350 S. Halsted St.)

[O2024-0009680]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the Planned Development Number 131 symbols and indications as shown on Map Number 28-G in the area bounded by:

a line 13 feet north of the public alley next north of and parallel to West 115<sup>th</sup> Street; South Halsted Street; the public alley next west of and parallel to South Halsted Street; and the public alley next north of and parallel to West 115<sup>th</sup> Street,

to those of a B3-1 Community Shopping District.

SECTION 2. This ordinance takes effect after its passage and due publication.

**AMENDMENT OF TITLE 17 OF MUNICIPAL CODE BY RECLASSIFICATION OF PARTICULAR AREAS.**

(Committee Meeting Held June 25, 2024)

The Committee on Zoning, Landmarks and Building Standards submitted the following report:

CHICAGO, July 17, 2024.

*To the President and Members of the City Council:*

Presenting a report for your Committee on Zoning, Landmarks and Building Standards which held a meeting on June 25, 2024, the following items were passed by a majority of the members present:

Page 1 contains the rereferral of Document Number O2024-00010037 to the Committee on Transportation and Public Way.

Pages 1 through 12 contain various map amendments in the 2<sup>nd</sup>, 3<sup>rd</sup>, 11<sup>th</sup>, 12<sup>th</sup>, 17<sup>th</sup>, 21<sup>st</sup>, 22<sup>nd</sup>, 27<sup>th</sup>, 30<sup>th</sup>, 32<sup>nd</sup>, 34<sup>th</sup>, 36<sup>th</sup>, 37<sup>th</sup>, 38<sup>th</sup>, 40<sup>th</sup>, 43<sup>rd</sup>, 44<sup>th</sup>, 45<sup>th</sup>, 47<sup>th</sup>, 48<sup>th</sup> and 49<sup>th</sup> Wards.

Lastly, page 13 contains various large signs over 100 square feet in area and 24 feet above grade.

I hereby move for passage of the proposed ordinances and substitute ordinances transmitted herewith.

Sincerely,

(Signed) BENNETT R. LAWSON,  
*Vice-Chair.*

On motion of Alderperson Lawson, the said proposed ordinances and substitute ordinances transmitted with the foregoing committee report were *Passed* by yeas and nays as follows:

*Yeas* -- Alderpersons La Spata, Hopkins, Dowell, Robinson, Yancy, Hall, Mitchell, Harris, Beale, Chico, Lee, Ramirez, Quinn, Gutiérrez, Lopez, Coleman, Moore, Curtis, O'Shea, Taylor, Mosley, Rodríguez, Tabares, Scott, Sigcho-Lopez, Fuentes, Burnett, Ervin, Taliaferro, Cruz, Cardona, Waguespack, Rodríguez-Sánchez, Conway, Ramirez-Rosa, Villegas, Mitts, Sposato, Nugent, Vasquez, Napolitano, Reilly, Knudsen, Lawson, Gardiner, Clay, Martin, Manaa-Hoppenworth, Hadden, Silverstein -- 50.

*Nays* -- None.

Alderperson Mitchell moved to reconsider the foregoing vote. The motion was lost.

The following are said ordinances as passed (the italic heading in each case not being a part of the ordinance):

*Reclassification Of Area Shown On Map No. 1-G.*  
(As Amended)  
(Application No. 22360)  
(Common Address: 345 N. Aberdeen St.)

[SO2024-0007721]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all of the M2-3 Light Industry District symbols and indications as shown on Map Number 1-G in the area bounded by:

North Aberdeen Street; West Carroll Avenue; North Carpenter Street; and the south line of the Chicago, Milwaukee and St. Paul Railroad,

to those of the DX-7 Downtown Mixed-Use District.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all of the DX-7 Downtown Mixed-Use District symbols and indications as shown on Map Number 1-G in the area bounded by:

North Aberdeen Street; West Carroll Avenue; North Carpenter Street; and the south line of the Chicago, Milwaukee and St. Paul Railroad,

to those of a Residential-Business Planned Development which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 3. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

*Residential-Business Planned Development No. \_\_\_\_\_.*

*Planned Development Statements.*

1. The area delineated herein as Planned Development Number to be determined ("Planned Development") consists of approximately 48,383 square feet of property

which is depicted on the attached Planned Development Boundary and Property Line Map ("Property"). 345 North Aberdeen LLC is the "Applicant" for this Planned Development and owner of the Property.

2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time of application for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400.
3. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustment of the right-of-way shall require a separate submittal to the Department of Transportation on behalf of the Applicant or its successors, assignees or grantees.

Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the Planned Development.

Ingress or egress shall be pursuant to the Planned Development and may be subject to the review and approval of the Departments of Planning and Development and Transportation. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of the Department of Transportation.

All work proposed in the public way must be designed and constructed in accordance with the Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of Chicago. Prior to the issuance of any Part II approval, the submitted plans must be approved by the Department of Transportation.

Pursuant to a negotiated and executed Perimeter Restoration Agreement ("Agreement") by and between the Department of Transportation's Division of Infrastructure Management and the Applicant, the Applicant shall provide improvements and restoration of all public way adjacent to the Property, which may include, but not be limited to, the following as shall be reviewed and determined by the Department of Transportation's Division of Infrastructure Management:

- Full width of streets
- Full width of alleys

- Curb and gutter
- Pavement markings
- Sidewalks
- ADA crosswalk ramps
- Parkway and landscaping

The Perimeter Restoration Agreement must be executed prior to any Department of Transportation and Planned Development Part II review permitting. The Agreement shall reflect that all work must comply with current Rules and Regulations and must be designed and constructed in accordance with the Department of Transportation's Construction Standards for Work in the Public Way and in compliance with the Municipal Code of Chicago Chapter 10-20. Design of said improvements should follow the Department of Transportation's Rules and Regulations for Construction in the Public Way as well as The Street and Site Plan Design Guidelines. Any variation in scope or design of public way improvements and restoration must be approved by the Department of Transportation.

As part of this project, the Applicant agrees to contribute \$500,000 to CDOT toward the cost of railroad crossing upgrades and signal improvements upon issuance of a Certificate of Occupancy.

The Applicant commits to fund the installation of one Divvy bike share station with no less than 15 docks.

4. This plan of development consists of 18 Statements: a Bulk Regulations Table; an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Boundary; a Site + Landscape Plan; a Roof Plan; Building Elevations (North, South, East and West); Axons (Residential Entry, Building Podium, Amenity Deck and Residential Floors) prepared by Gensler Architects and dated June 20, 2024, submitted herein. In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance, and all requirements thereto, and satisfies the established criteria for approval as a Planned Development. In case of a conflict between the terms of this Planned Development ordinance and the Chicago Zoning Ordinance, this Planned Development shall control.
5. The following uses are permitted in the area delineated herein as a Planned Development: residential above the ground floor; office; lodging; animal services (excluding overnight boarding and kennels); business equipment sales and service; business support services; communication service establishments; eating and drinking establishments (all, including taverns); financial services (excluding payday loan and pawn shops); food and beverage retail sales; medical service; personal service;

general retail sales; participant sports and recreation; artisan manufacturing, production and industrial services (only as an accessory use to a principal retail use); co-located wireless communication facilities, accessory parking and non-accessory parking (subject to Section 17-10-0503), and incidental and accessory uses.

6. On-premises signs and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development, subject to the review and approval of the Department of Planning and Development. Off-premises signs are prohibited within the boundary of the Planned Development.
7. For purposes of height measurement, the definitions in the Chicago Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by the Federal Aviation Administration.
8. The maximum permitted floor area ratio (FAR) for the Property shall be in accordance with the attached Bulk Regulations and Data Table. For the purpose of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply. The permitted FAR identified in the Bulk Regulations and Data Table has been determined using a net site area of 48,383 square feet and a base FAR of 7.0.

The Applicant acknowledges that the project has received a bonus FAR of 4.5, pursuant to Section 17-4-1000 of the Zoning Ordinance. With this bonus FAR, the total FAR for the Planned Development is 11.5. In exchange for the bonus FAR, the Applicant is required to make a corresponding payment, pursuant to Sections 17-4-1003-B and C, prior to the issuance of the first building permit for any building in the Planned Development; provided, however, if the Planned Development is constructed in phases, the bonus payment may be paid on a pro rata basis as the first building permit for each subsequent new building or phase of construction is issued. The bonus payment will be recalculated at the time of payment (including partial payments for phased developments) and may be adjusted based on changes in median land values in accordance with Section 17-4-1003-C.3.

The bonus payment will be split between three separate funds, as follows: 80 percent to the Neighborhoods Opportunity Fund, 10 percent to the Citywide Adopt-a-Landmark Fund and 10 percent to the Local Impact Fund. In lieu of paying the City directly, the Department may: (a) direct developers to deposit a portion of the funds with a sister agency to finance specific local improvement projects; (b) direct developers to deposit a portion of the funds with a landmark property owner to finance specific landmark restoration projects; or (c) approve proposals for in-kind improvements to satisfy the Local Impact portion of the payment.

9. Upon review and determination, Part II review, pursuant to Section 17-13-0610, a Part II review fee shall be assessed by the Department of Planning and Development. The fee, as determined by staff at the time, is final and binding on the Applicant and must be paid to the Department of Revenue prior to the issuance of any Part II approval.

10. The Site and Landscape Plans shall be in substantial conformance with the Landscape Ordinance and any other corresponding regulations and guidelines, including Section 17-13-0800. Final landscape plan review and approval will be by the Department of Planning and Development. Any interim reviews associated with site plan review or Part II reviews, are conditional until final Part II approval.
11. The Applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Fleet and Facility Management and Buildings, under Section 13-32-085, or any other provision of the Municipal Code of Chicago.
12. The terms and conditions of development under this Planned Development ordinance may be modified administratively, pursuant to Section 17-13-0611-A, by the Zoning Administrator upon the application for such a modification by the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors.
13. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
14. The Applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources. The Applicant shall obtain the number of points necessary to meet the requirements of the Chicago Sustainable Development Policy, in effect at the time the Part II review process is initiated for each improvement that is subject to the aforementioned policy and must provide documentation verifying compliance.
15. The Applicant acknowledges that it is the policy of the City to maximize opportunities for Minority- and Women-owned Business Enterprises ("M/WBEs") and city residents to compete for contracts and jobs on construction projects approved through the planned development process. To assist the City in promoting and tracking such M/WBE and city resident participation, an applicant for planned development approval shall provide information at three points in the city approval process. First, the applicant must submit to DPD, as part of its application for planned development approval, an M/WBE Participation Proposal. The M/WBE Participation Proposal must identify the applicant's goals for participation of certified M/WBE firms in the design, engineering and construction of the project, and of city residents in the construction work. The City encourages goals of 26 percent MBE and 6 percent WBE participation (measured against the total construction budget for the project or any phase thereof),

and \*(ii) 50 percent city resident hiring (measured against the total construction work hours for the project or any phase thereof). The M/WBE Participation Proposal must include a description of the applicant's proposed outreach plan designed to inform M/WBEs and city residents of job and contracting opportunities. Second, at the time of the applicant's submission for Part II permit review for the project or any phase thereof, the applicant must submit to DPD; (a) updates (if any) to the applicant's preliminary outreach plan; (b) a description of the applicant's outreach efforts and evidence of such outreach, including, without limitation, copies of certified letters to M/WBE contractor associations and the ward office of the alderman in which the project is located and receipts thereof; (c) responses to the applicant's outreach efforts; and (d) updates (if any) to the applicant's M/WBE and city resident participation goals. Third, prior to issuance of a Certificate of Occupancy for the project or any phase thereof, the applicant must provide DPD with the actual level of M/WBE and city resident participation in the project or any phase thereof, and evidence of such participation. In addition to the foregoing, DPD may request such additional information as the department determines may be necessary or useful in evaluating the extent to which M/WBEs and city residents are informed of and utilized in planned development projects. All such information will be provided in a form acceptable to the Zoning Administrator. DPD will report the data it collects regarding projected and actual employment of M/WBEs and city residents in planned development projects twice yearly to the Chicago Plan Commission and annually to the Chicago City Council and the Mayor.

16. The Applicant acknowledges and agrees that the rezoning of the Property from the M2-3 Light Industry District to the DX-7 Downtown Mixed-Use District and then to this Residential-Business Planned Development ("P.D.") is an "entitlement" that triggers the requirements of Section 2-44-085 of the Municipal Code of Chicago (the "ARO"). The P.D. is located in a "downtown district" within the meaning of the ARO and permits the construction of 559 dwelling units. The Applicant intends to construct a 559-unit rental building (the "Project"). The Project is considered an "inclusionary application" under Section 17-13-0309-A of the Municipal Code of Chicago.

Developers of rental projects in downtown districts with 30 or more units must provide between 10 percent and 20 percent of the units in the residential development as affordable units, depending on the average depth of affordability provided, as described in subsection (F)(2) of the ARO. Regardless of the applicable percentage of affordable units in the rental project, developers must construct at least 25 percent of the affordable units on-site and another 25 percent on-site or off-site (collectively, the "Required Units"), and may satisfy the balance of their affordable housing obligation through: (a) the establishment of additional on-site or off-site affordable units; (b) payment of a fee in lieu of the establishment of on-site or off-site affordable units;

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\* Editor's Note: Numbering sequence error; (i) missing in original document.

or (c) any combination thereof. All on-site affordable units must be accessible dwelling units, as required under subsection (W)(10) of the ARO, and developers must give preference in leasing accessible units to people with disabilities, as specified in the ARO rules. All off-site affordable units must have at least two bedrooms and must be located in a downtown district, inclusionary housing area, or community preservation area. Whether on-site or off-site, developers must give preference in leasing affordable units of two bedrooms or more to multi-person households, as specified in the ARO rules. If a residential project is located in a transit-served location, off-site units must be located in a substantially comparable transit-served location.

The Applicant has elected the 20 percent option as set forth in the chart in subsection (F)(2) of the ARO. As a result, the Applicant's affordable housing obligation is 112 affordable units (20 percent of 559), half of which (50 percent of 112 or 56) are Required Units. The Applicant has agreed to satisfy its affordable housing obligation by providing all 112 affordable units in the Project, as set forth in the Affordable Housing Profile (AHP) attached hereto. The Applicant agrees that the affordable rental units must be affordable to households with a range of incomes averaging 60 percent of the Chicago Primary Metropolitan Statistical Area Median Income (AMI), as updated annually, provided that (x) the maximum income level for any affordable unit may not exceed 80 percent of the AMI, (y) at least one-third (or 37 of 112 units) must be affordable to households at or below 50 percent of the AMI, one-sixth of which (or 6 of the 37 units) must be affordable to households at or below 40 percent of the AMI, and (z) all income levels must be multiples of 10 percent of the AMI.

This P.D. is located in the Fulton Market Innovation District (the "FMID"). The Chicago Plan Commission adopted a plan for the FMID in July 2014 and approved an update to the plan (the "FMID Plan Update") in February 2021. The FMID Plan Update allows residential uses north of Lake Street in the FMID and establishes a 30 percent affordability goal for new residential projects in that area. In order to achieve that goal, the City's Department of Housing ("DOH") is committed to offering developers financial assistance (the "FMID Funds") to provide the additional affordable units. Subject to the City's approval of the FMID Funds in an amount and on terms described below, the Applicant has agreed to explore the provision of up to an additional 56 affordable units (10 percent of 559) either on-site or in an off-site location within the boundaries of the FMID, in accordance with the FMID Plan Update (the "FMID Units"). The Applicant and DOH have begun and will continue to collaborate to determine the amount of FMID Funds necessary to create the FMID Units, which amount shall account for such factors as the change in projected net operating income during the period of affordability and based on commercially reasonable investment criteria and empirical data. DOH has previously reviewed detailed proformas at 20 percent and 30 percent affordability along with a market rent study provided by the Applicant, and preliminarily determined the amount of funds necessary to compensate for the loss of market rate rent for the FMID Units. The Applicant and DOH have not agreed on the amount of FMID Funds or whether the receipt of any FMID Funds can be borne by the Project. The Applicant and DOH will continue to collaborate to determine whether the Project can accept FMID Funds and, if so, the amount of FMID Funds necessary to create the FMID Units in accordance with this Statement 16. At least six (6) months prior to the

issuance of the first vertical improvements permit for any residential building in the P.D., the Applicant shall notify the City of the Applicant's intent to proceed with construction of the project ("Applicant's Notice to Proceed"). The Applicant's Notice to Proceed must include an updated and detailed budget for the Project, updated proformas at 20 percent and 30 percent affordability based on commercially reasonable investment criteria and empirical data, an updated rent market study, its calculation of the amount of FMID Funds necessary to create the FMID Units ("FMID Funding Determination") and a detailed explanation of its FMID Funding Determination, or, if applicable, a detailed explanation as to why the Project cannot accept FMID Funds (the foregoing referred to as the "Supporting Documents"). The Applicant shall concurrently deliver a copy of the Applicant's Notice to Proceed and associated documentation to the alderman in whose ward the Project is located. Within 30 days after delivery of the Applicant's Notice to Proceed and all associated documentation to DOH, the City will either: (1) accept the Applicant's FMID Funding Determination and agree to provide the amount of FMID Funds identified by the Applicant, subject to city council approval of the FMID Funds and the Applicant's execution of a TIF RDA (defined below), (2) reject the Applicant's FMID Funding Determination and request additional information and discussion; or, (3) accept a determination by the Applicant that it is not fiscally possible, based on commercially reasonable investment criteria and empirical data, to accept FMID Funds. Furthermore, if the City fails to respond within the 30-day period following the delivery of the Applicant's Notice to Proceed (which will not be considered delivered unless each of the Supporting Documents are delivered), the Applicant may proceed with development of the Project without providing the FMID Units. If the City rejects the Applicant's FMID Funding Determination, the City and the Applicant must confer and negotiate in good faith and with due diligence to determine the amount of FMID Funds necessary to create the FMID Units. If the City and the Applicant are unable to reach agreement regarding such amount on terms acceptable to the Applicant and the City within ninety (90) days after delivery of the Applicant's Notice to Proceed, the Applicant may proceed with development of the Project without providing the FMID Units. The City intends to provide the FMID Funds from available incremental property taxes on deposit in the special tax allocation fund for the Kinzie Industrial Conservation Area Tax Increment Redevelopment Project Area, within whose boundaries the Property is located. The Applicant understands and agrees that the award of the FMID Funds is expressly conditioned on the City and the Applicant entering into a TIF Redevelopment Agreement (the "TIF RDA"), which will be approved pursuant to a separate ordinance (the "TIF Ordinance"), and the Applicant agree to negotiate the TIF RDA in good faith and with due diligence and to execute the TIF RDA in order for the Applicant to receive the FMID Funds. Among other conditions, closing of the TIF RDA will be subject to the Applicant securing and closing its construction financing.

If, following the passage of this P.D., the Applicant requests any material change to its method of compliance with the ARO, such as locating affordable units off-site instead of on-site or changing the target affordability level, or chooses to decrease the

number of dwelling units in the Project or pursue uses allowed by this P.D. other than residential, DOH may adjust the AHP as requested without amending this P.D., provided however, the Applicant must update and resubmit the revised AHP to DOH for review and approval and, at DOH's request, provide an informational presentation to the Plan Commission regarding such change. Prior to the issuance of any building permits for the Project, including, without limitation, excavation or foundation permits, the Applicant must execute and record an Inclusionary Housing Agreement ("IHA") in accordance with subsection (N) of the ARO. The terms of the IHA and any amendments thereto are incorporated herein by this reference. The Applicant acknowledges and agrees that the IHA will be recorded with the Cook County Clerk and will constitute a lien against the Project in the P.D. If the IHA is executed before the Applicant and DOH complete negotiations regarding the FMID Units, the Applicant agrees to update and amend the IHA, and to record such amended IHA, as necessary to incorporate the FMID Units. The Commissioner of DOH may enforce remedies for any breach of this Statement 16, including any breach of any IHA, and enter into settlement agreements with respect to any such breach, subject to the approval of the Corporation Counsel, without amending the P.D.

This statement does not include all ARO requirements and options. It is intended to provide an overview of the application of the ARO to this P.D. In the event of any conflict between this statement and the terms and conditions of the ARO, the ARO shall govern.

17. The Applicant acknowledges that the Property is located in the Kinzie Industrial Corridor Conversion Area and has undergone a "rezoning" within the meaning of Chapter 16-8 of the Municipal Code (the "Industrial Corridor System Fund Ordinance"). As a result of this rezoning, the Planned Development is subject to the conversion fee provisions of the Industrial Corridor System Fund Ordinance. The purpose of the conversion fee is to mitigate the loss of industrial land and facilities in conversion areas by generating funds for investment in receiving industrial corridors in order to preserve and enhance the city's industrial base, support new and expanding industrial uses, and ensure a stable future for manufacturing and industrial employment in Chicago. The Applicant is required to pay the conversion fee in full prior to the issuance of the first building permit for any building in the Planned Development; provided, however, if the Planned Development is constructed in phases, the conversion fee may be paid on a pro rata basis as the first building permit for each subsequent new building or phase of construction is issued. The amount of the conversion fee due prior to the issuance of a building permit shall be calculated based on the fee rate in effect at the time of payment.
18. This Planned Development shall be governed by Section 17-13-0612. Should this Planned Development ordinance lapse, the Commissioner of the Department of Planning and Development shall initiate a zoning map amendment to rezone the Property to the DX-7 Downtown Mixed-Use District.

[ARO Unit Distribution Plans; Levels 6 through 32 Plans; ARO and Unit Summary; Floor Plans; Existing Zoning Map; Existing Land-Use Map; Boundary Map; Site + Landscape Plan; Roof Plan; South, East, North and West Building Elevations; Axon -- Residential Entry; Axon -- Building Podium; Axon -- Amenity Deck; and Axon -- Residential Floors referred to in these Plan of Development Statements printed on pages 14876 through 14897 of this *Journal*.]

Bulk Regulations and Data Table and ARO Intake Application referred to in these Plan of Development Statements read as follows:

*Residential-Business Planned Development No. \_\_\_\_\_.*

*Bulk Regulations And Data Table.*

Gross Site Area (square feet):	71,872
Area of Public Rights-of-Way (square feet):	23,489
Net Site Area (square feet):	48,383
Maximum Floor Area Ratio:	11.5
Maximum Permitted Dwelling Units:	559
Minimum Off-Street Parking Spaces:	255
Minimum Bicycle Parking Spaces:	559
Minimum Off-Street Loading Berths:	1
Maximum Building Height:	483 feet
Minimum Setbacks:	In accordance with plans

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# ARO Intake Application



Submission ID: 878973

## Applicant Contact Information

Section 2-44-085 of the Municipal Code of the City of Chicago (the "ARO") is effective as of October 1, 2021, and is available to read in its entirety online at: [https://codelibrary.amlegal.com/codes/chicago/latest/chicago\\_il/0-0-0-2598874](https://codelibrary.amlegal.com/codes/chicago/latest/chicago_il/0-0-0-2598874).

The Pilsen-Little Village ARO Pilot shall expire without further action by the City Council on 12/31/2023 and its requirements have been incorporated into this web form. More information is available in [Section 2-44-105 of the City's Municipal Code](#).

**PLEASE READ CAREFULLY.** This form requires several steps and does NOT support an automatic save or save for later function.

Before starting the submission process, please gather and complete all the necessary documentation outlined in [Article 5.12 of the ARO Rules](#), and listed below. Please start by first completing the Affordable Unit Details Worksheet, available for [download here](#). The Affordable Unit Details Worksheet is required to be submitted as an attachment under Step 4 of this submission.

If affordable units are proposed, please ensure that you have the following documents ready to submit when prompted:

- Affordable Unit Mix Details and Square Footage Spreadsheet
- Dimensional Floor Plans with affordable units highlighted
- If affordable units are proposed off-site, off-site unit application as detailed in Article 6.2.5 of the ARO Rules.
- If affordable units are proposed as authorized agency units, a signed acceptance letter from the authorized agency.

Your application will be reviewed when all required documentation has been received. Additional documents may be requested during the review period by DOH staff.

The ARO Rules are available online at [www.chicago.gov/ARO](http://www.chicago.gov/ARO). If you have any questions about completing this application, please contact [ARO@cityofchicago](mailto:ARO@cityofchicago).

Please help us improve the form by reporting any errors, inconsistencies or sharing any suggestions to [ARO@cityofchicago.org](mailto:ARO@cityofchicago.org).

<b>Applicant Name *</b>	<b>Applicant Contact Person *</b>
<input type="text" value="345 N. Aberdeen LLC"/>	<input type="text" value="Fred Krol"/>
<b>Applicant Email *</b>	<b>Applicant Phone *</b>
<input type="text" value="fkrol@sterlingbay.com"/>	<input type="text" value="(312) 466-4100"/>
<b>Applicant Address *</b>	
<input type="text" value="333 N. Green Street, Suite 1100, Chicago, I"/>	
<b>Attorney Name *</b>	<b>Attorney Email *</b>
<input type="text" value="Katie Jahnke Dale"/>	<input type="text" value="katie.dale@us.dlapiper.com"/>

## Development Information

Development Address:

<b>From *</b>	<b>To</b>	<b>Direction *</b>	<b>Street Name *</b>
<input type="text" value="345"/>	<input type="text"/>	<input type="text" value="N"/>	<input type="text" value="ABERDEEN"/>
<b>Zip Code *</b>	<b>Ward *</b>	<b>ARO Zone *</b>	
<input type="text" value="606071226"/>	<input type="text" value="27"/>	<input type="text" value="Downtown"/>	

<b>Development Name *</b>	<b>If you are working with a Planner at the City, what is his/her/their name?</b>
<input type="text" value="345 N. Aberdeen"/>	<input type="text" value="Max Lyon"/>

<b>Zoning Application Number (if applicable)</b>	<b>Council Introduction Date *</b>
<input type="text"/>	<input type="text" value="2/21/2024"/>

Is your project currently in, or do you plan to rezone to, a downtown zoning district? \*

Yes No

<b>ARO Trigger *</b>	<b>Development Type *</b>
<input type="text" value="Zoning Entitlement"/>	<input type="text" value="Rental"/>

Total Units \*

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Is your Project in a Transit Served Location? \*

Estimated date marketing will begin \*

Estimated date of building permit (in-lieu fee, \$5,000 per off-site unit administration fee, and recorded covenant are required prior to issuance of any building permits) \*

## ARO Requirements

ARO Option

- 20% at 60% average AMI
- 16% at 50% average AMI
- 13% at 40% AMI
- 10% at 30% AMI

ARO Option

- 20% at 100% AMI
- 16% at 80% AMI

ARO Option \*

10% SET-ASIDE AT A WEIGHTED AVERAGE OF 60% OF THE AMI

ARO Option \*

- 10% AT A WEIGHTED AVERAGE OF 100% AMI
- 8% AT A WEIGHTED AVERAGE OF 80% AMI

Affordable Units Required \*

Minimum On-Site Units \*

Maximum Units Paid For In-Lieu \*

Proposed On-Site Units \*

Proposed Off-Site Units \*

Proposed In-Lieu Units \*

In-Lieu Amount Owed \*

On-Site Units To CLHIF or CHA \*

If the In-Lieu Amount Owed calculation results in a fractional unit that is less than 0.5, the developer shall either pay an in lieu fee or provide an additional unit to satisfy the fractional obligation. The in lieu fee for any fractional unit will be calculated as follows: [fractional unit] x [applicable in lieu fee].

Off Site Address:

From	To	Direction	Street Name
<input type="text"/>	<input type="text"/>	<input type="text" value="Select One"/>	<input type="text" value="Select One"/>

Zip Code	Ward	ARO Zone
<input type="text"/>	<input type="text"/>	<input type="text"/>

Off-Site Type

Off-Site Admin Fee

## Forms

Unit Mix and Square Footage Spreadsheet \*

[2024-04-10 - 345 N Aberdeen - ARO Affordable Unit Details and Square Footage.xlsx](#)

Dimensioned Floor Plans with affordable units highlighted

[20240405\\_345 Aberdeen - ARO Summary.pdf](#)

If ARO units are CLIHTF or CHA, attach signed acceptance letter

If off-site units are new construction, attach:

- A. Schematic and design development drawings for on-site units
  - B. Schematic and design development drawings for off-site units
- If off-site units are rehab, please attach the following documents:
- A. Schematic and design development drawings for on-site units
  - B. Schematic and design development drawings for off-site units
  - C. A Physical Needs Assessment (PNA)
  - D. Surveys
  - E. Outstanding code violations
  - F. Scope of work and estimated cost of renovations

## Off-Site Units Only: Documents Required for Architectural Approval Letter

- A. Owner Sworn Statement
- B. GC Sworn Statement
- C. Bounday Survey
- D. Draft permit application prior to submission to the Department of Buildings (DOB)
- E. Final construction drawings stamped by the architect of record prior to submission to DOB

## OFF-SITE UNITS ONLY: Documents required for Architectural Construction a Approval Letter and Notice to Proceed

- A. A letter from the Developer on company letterhead stating the project is complete and requesting a final site inspection from DOH
- B. A copy of the front and back of each building permit for each property with all DOB signoffs
- C. A copy of the Certificate of Occupancy for each property (if applicable)
- D. Final GC and Owner Sworn Statements
- E. All final waivers of lien or a title report showing no liens for each property
- F. As built Survey (new construction)
- G. Final Issued for Construction Permitted Construction Drawings
- H. List of any Buyer changes (if applicable, for-sale units only)

## Signature

Developer or their Agent \*

Emily Becker

## Summary Work Log

Submission Date: 04/22/2024 09:05:46 AM

Amended Date:

Admin Amended Date:

Admin Amended By:

Admin Amended Justification:

Options	Action
<a href="#">Show Notes</a>	<a href="#">Accept</a>
<a href="#">Email User</a>	<a href="#">Deny</a>
	<a href="#">Follow Up</a>



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Project Name	345 N. Aberdeen
Zoning Application number, if applicable	
Address	345 North Aberdeen Street, Chicago, IL 60607
Is this a For Sale or Rental Project?	Rental
Anticipated average psf rent/price?	
Total Units in Project	559
Total Affordable units	112

unit type	Market Rate			ARO			
	how many?	% of total	avg. square footage	how many?*	% of total	avg. square footage	affordable v. market square footage*
studio	183	41%	624	45	40%	527	85%
one-bed	156	35%	799	39	35%	764	96%
two-bed	91	20%	1,067	23	21%	1,020	96%
three-bed	17	4%	1,316	5	4%	1,317	100%

\*ARO unit percentages, by unit type, should reflect corresponding market rate percentages (for example, if 10% of market rate units are studios, roughly 10% of ARO units can be studios).  
 \*\*the average affordable square footage should be 85% or greater of market-rate square footage for comparable unit type. Off-site units must meet minimum unit sizes specified in the Design Guidelines.

Features and Amenities		
	Market Rate Units	Affordable Units
Parking	On-Site	On-Site
Laundry	In-Unit	In-Unit
<b>Appliances</b>		
Refrigerator <i>age/EnergyStar/make/model/color</i>	New; Finish & Manufacturer TBD	New; Finish & Manufacturer TBD
Dishwasher <i>age/EnergyStar/make/model/color</i>	New; Finish & Manufacturer TBD	New; Finish & Manufacturer TBD
Stove/Oven <i>age/EnergyStar/make/model/color</i>	New; Finish & Manufacturer TBD	New; Finish & Manufacturer TBD
Microwave <i>age/EnergyStar/make/model/color</i>	New; Finish & Manufacturer TBD	New; Finish & Manufacturer TBD
Bathroom(s) <i>how many?</i> <i>Half bath? Full bath?</i>	Minimum 1 full bath per unit	Minimum 1 full bath per unit
Kitchen countertops <i>material</i>	TBD	TBD
Flooring <i>material</i>	TBD	TBD
HVAC	In-Unit Heat & Air Conditioning	In-Unit Heat & Air Conditioning
Other		

NOTE: DOH will review specific details for features and amenities for approval when they become available. The Applicant shall provide comparable unit finishes and amenities in affordable units as in market rate units as required by the ARO Rules.

AMI Mix for ARO Units								
Affordable Units	30% AMI	40% AMI	50% AMI	60% AMI	70% AMI	80% AMI	Total Units	Average
Studio	-	13	10	10	8	4	45	56.00%
1 bed	-	5	8	16	4	6	39	59.00%
2 bed	-	3	2	4	6	8	23	66.00%
3 bed	-	-	-	1	1	3	5	74.00%
	-	21	20	31	19	21	112	60.00%

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**345 NORTH ABERDEEN**  
JUNE 10, 2024

ARO UNIT DISTRIBUTION PLANS

 Sterling Bay **Gensler**

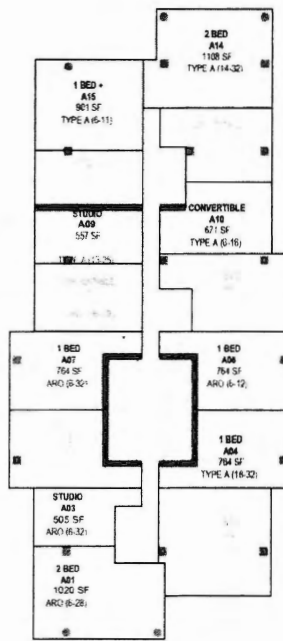


**345 N Aberdeen: ARO Summary (20%)**

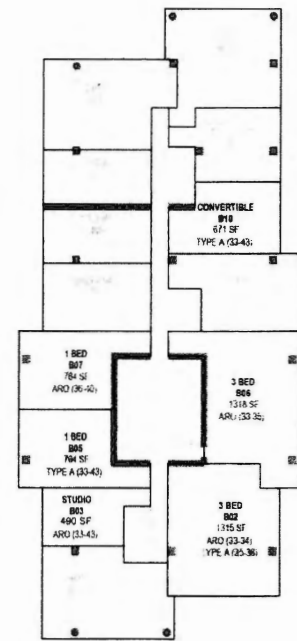
Market Rate	Studio	Conv	1 Bed	1 Bed+	2 Bed	3 Bed	Total
Unit Count	114	114	168	27	114	22	
ARO Count	228		195		114	22	559

Affordable Units	Efficiency Units	One Bed Units	Two Bed	Three Bed	Total
Count	45	39	23	5	112
Percentage	19.7%	20.0%	20.2%	27.7%	20.0%
Average (sf)	527	764	1020	1318	746

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LEVELS 6 - 32



LEVELS 33 - 43

**20% ARO SUMMARY**

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345 N Aberdeen: ARO Summary (20%)

Market Rate	Studio	Conv	1 Bed	1 Bed+	2 Bed	3 Bed	Total
Unit Count	114	114	168	27	114	22	559
ARO Count	778		195		114	77	

Level	20% Affordable Units						Total
	Eff	1 Bed	1 Bed+	2 Bed	3 Bed	4 Bed	
43	1						1
42	1						1
41	1						1
40	1						1
39	1						1
38	1						1
37	1						1
36	1						1
35	1						1
34	1						1
33	1						1
32	1						1
31	1						1
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16	1						1
15	1						1
14	1						1
13	1						1
12	1						1
11	1						1
10	1						1
9	1						1
8	1						1
7	1						1
6	1						1
5	1						1
4	1						1
3	1						1
2	1						1
1	1						1

Level	20% Affordable Units w/ Condo						Total
	Eff	1 Bed	1 Bed+	2 Bed	3 Bed	4 Bed	
43	1						1
42	1						1
41	1						1
40	1						1
39	1						1
38	1						1
37	1						1
36	1						1
35	1						1
34	1						1
33	1						1
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13	1						1
12	1						1
11	1						1
10	1						1
9	1						1
8	1						1
7	1						1
6	1						1
5	1						1
4	1						1
3	1						1
2	1						1
1	1						1

Affordable Units	Efficiency Units	One Bed Units	Two Bed	Three Bed	Total
Count	45	39	23	5	112
Percentage	27.3%	20.6%	20.3%	22.7%	29.8%
Average (G)	527	764	1020	1312	246

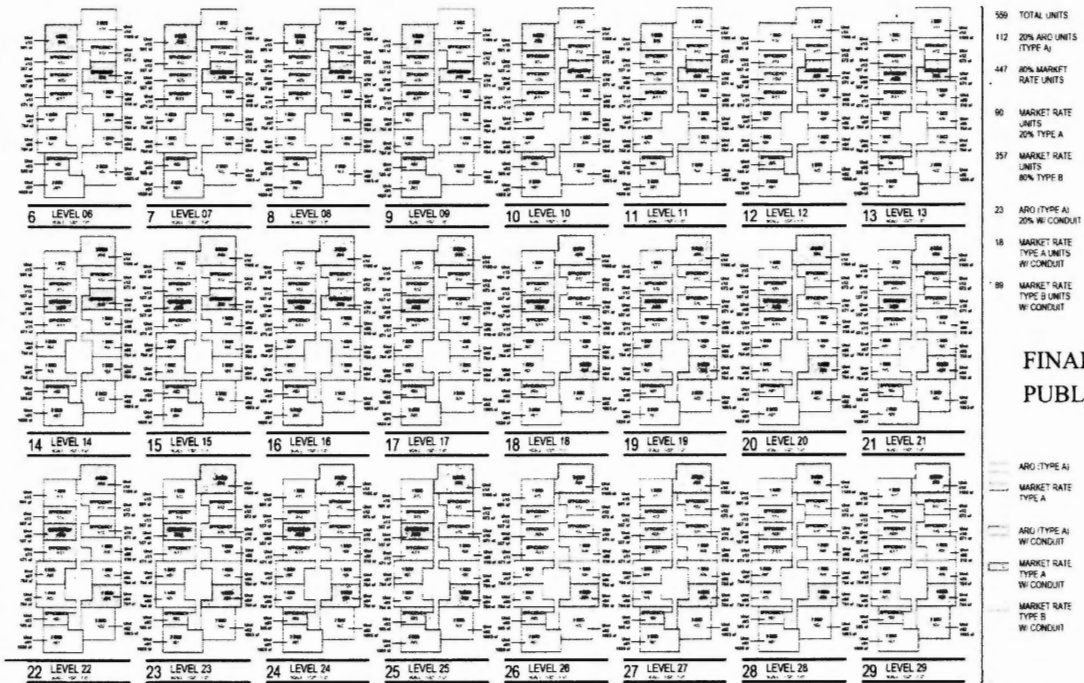
Affordable Units with Condo	Efficiency Units	One Bed	Two Bed	Three Bed	Total
Count	3	8	5	3	23
Percentage	20.0%	26.1%	21.7%	20.0%	20.0%
Average (G)	579	764	1020	1312	771

345 N Aberdeen: Unit Summary

Level	20% Affordable Units					
	Studio	Conv	1 Bed	1 Bed+	2 Bed	3 Bed
15						
14						
13						
12						
11						
10						
9						
8						
7						
6						
5						
4						
3						
2						
1						
Count	1	1	1	0	1	2
Average	510	656	779	1076	1317	829

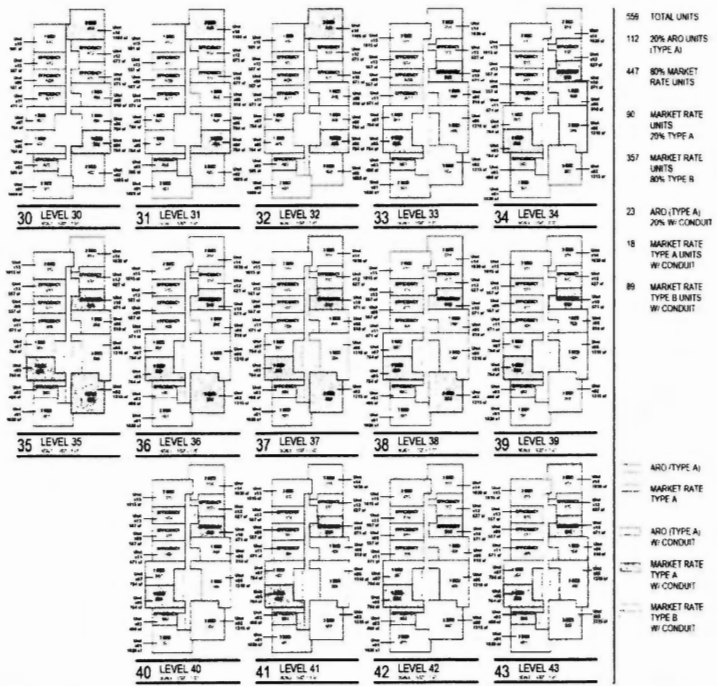
Level	20% Affordable Units					
	Studio	Conv	1 Bed	1 Bed+	2 Bed	3 Bed
15						
14						
13						
12						
11						
10						
9						
8						
7						
6						
5						
4						
3						
2						
1						
Count	3	3	5	1	3	0
Average	510	677	779	901	1079	774

20% ARO SUMMARY



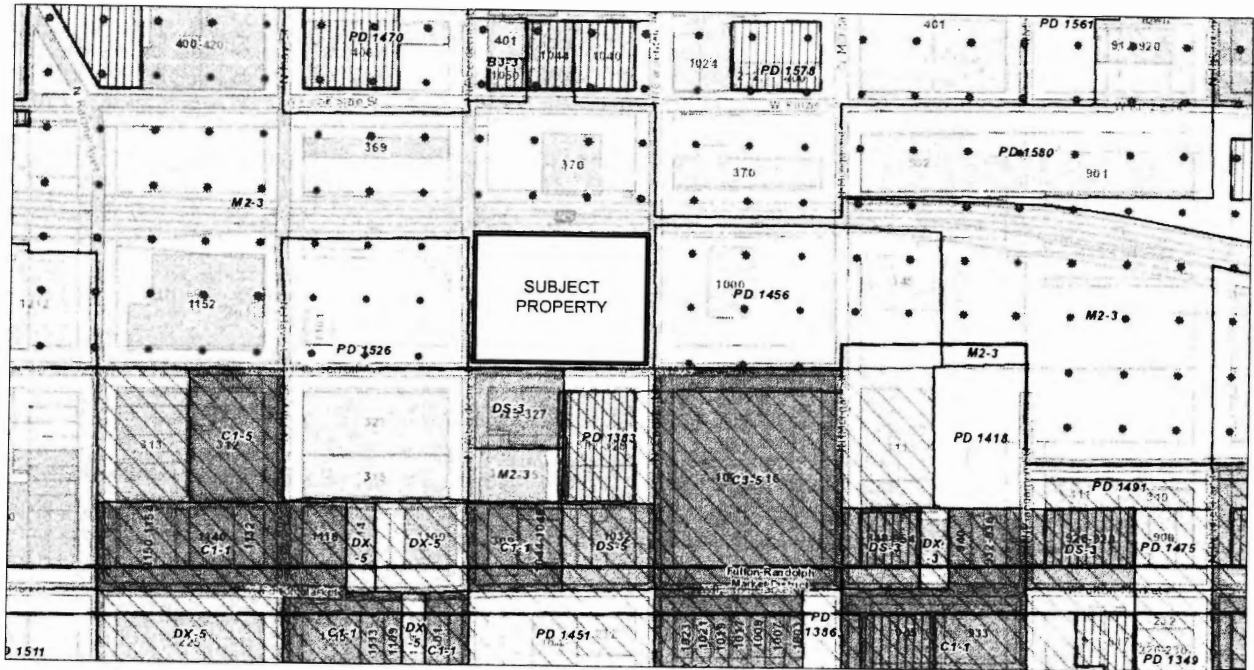
**20% ARO SUMMARY**

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20% ARO SUMMARY

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ZONING - MAP LEGEND	
Business	Downtown Mixed
Commercial	Downtown Core
Manufacturing	Downtown Residential
Residential	Downtown Service
Planned Development	Transportation
Planned Manufacturing	Park and Open Space

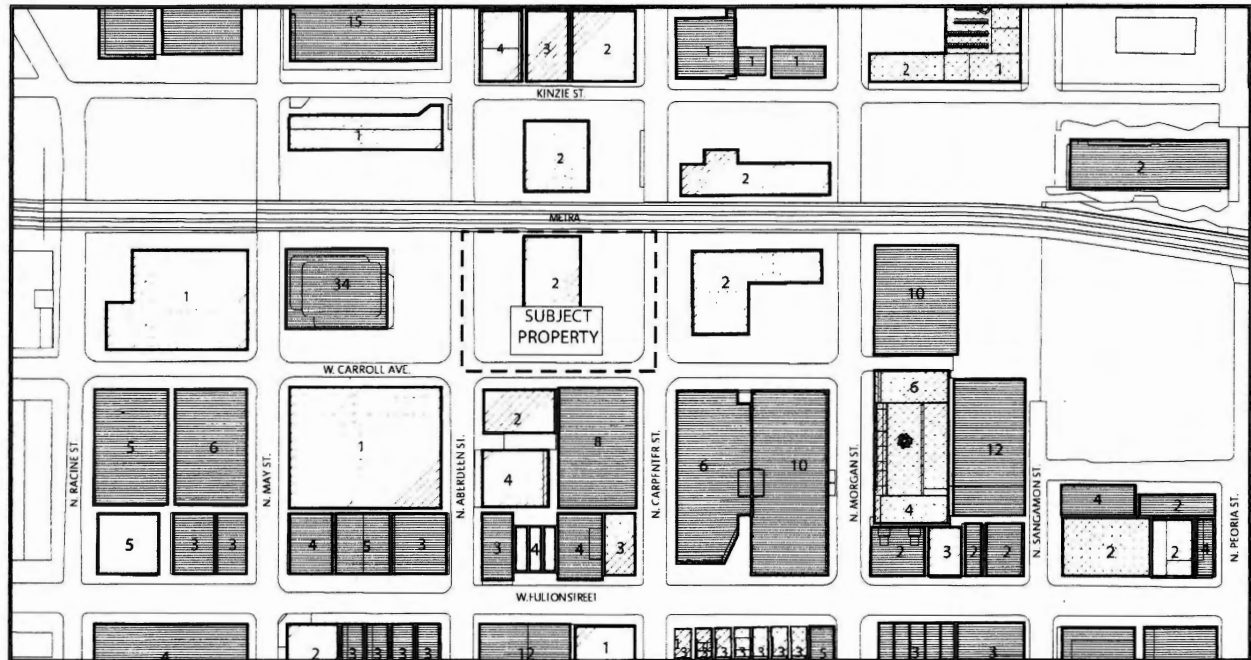
SCALE: NTS 

EXISTING ZONING MAP



APPLICANT: 345 N. Aberdeen, LLC  
 ADDRESS: 345 N Aberdeen, Chicago, IL  
 INTRODUCTION: February 16, 2024  
 PLAN COMMISSION: June 20, 2024

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# - BUILDING HEIGHT - NUMBER OF STORIES

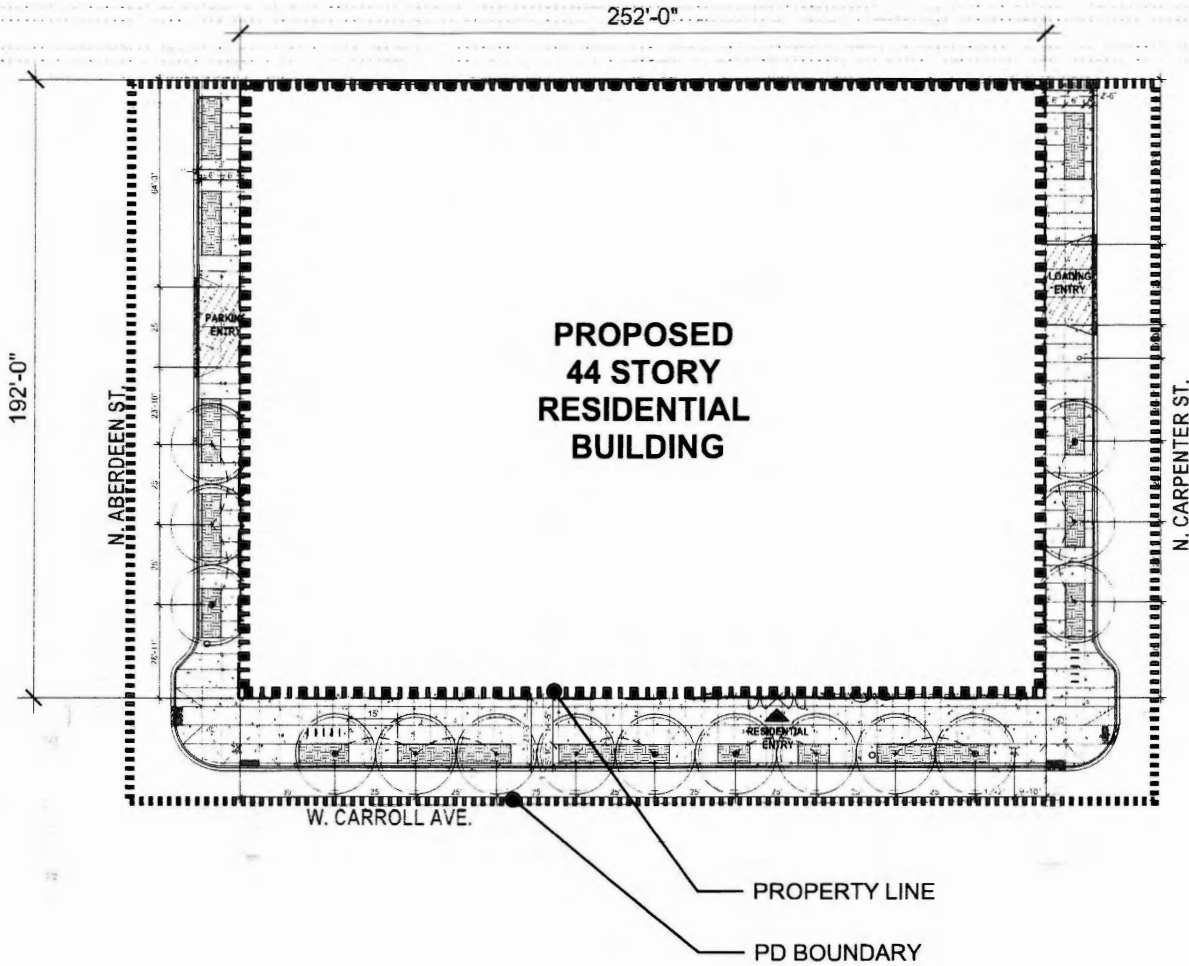


EXISTING LAND USE MAP



APPLICANT: 345 N. Aberdeen, LLC  
 ADDRESS: 345 N Aberdeen, Chicago, IL  
 INTRODUCTION: February 16, 2024  
 PLAN COMMISSION: June 20, 2024

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NET SITE AREA = 48,383 SF  
 AREA IN RIGHT OF WAY = 23,489 SF  
 GROSS SITE AREA = 71,872 SF

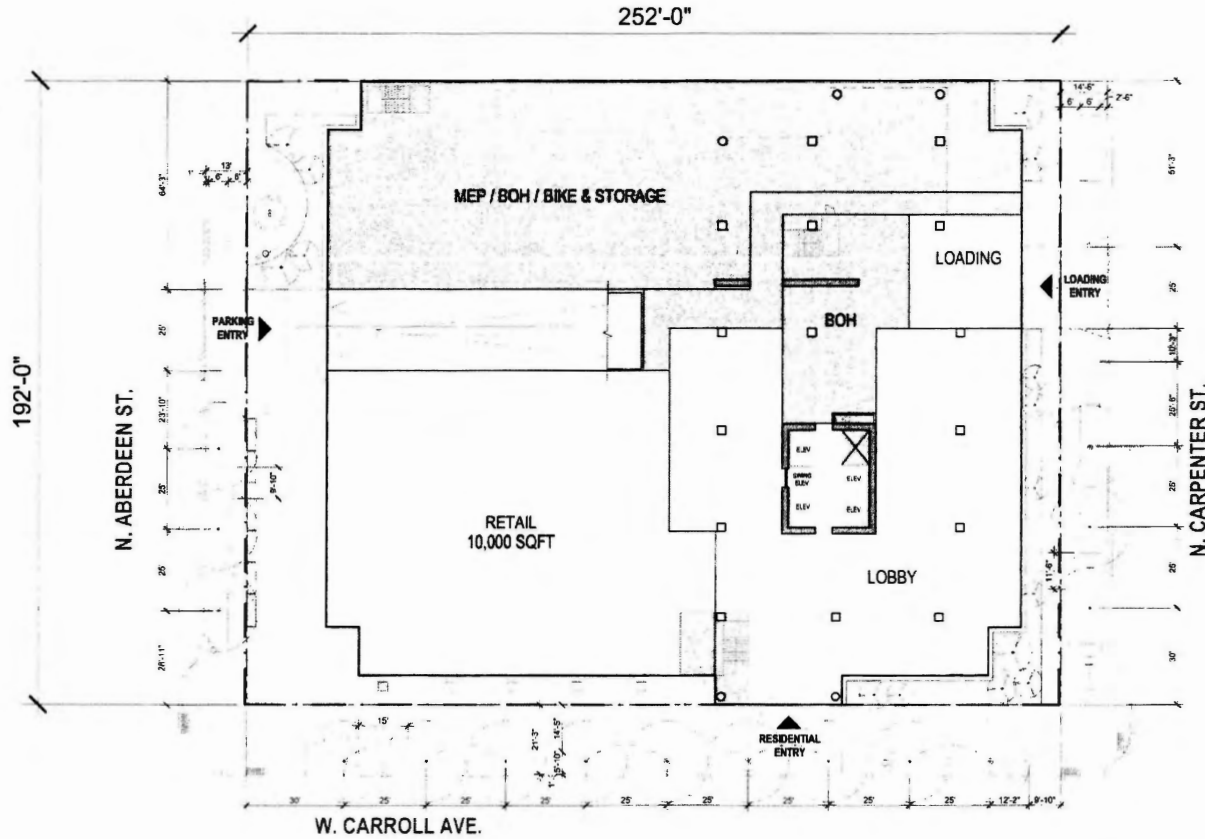
SCALE: NTS 

PLANNED DEVELOPMENT BOUNDARY



APPLICANT: 345 N. Aberdeen, LLC  
 ADDRESS: 345 N Aberdeen, Chicago, IL  
 INTRODUCTION: February 16, 2024  
 PLAN COMMISSION: June 20, 2024

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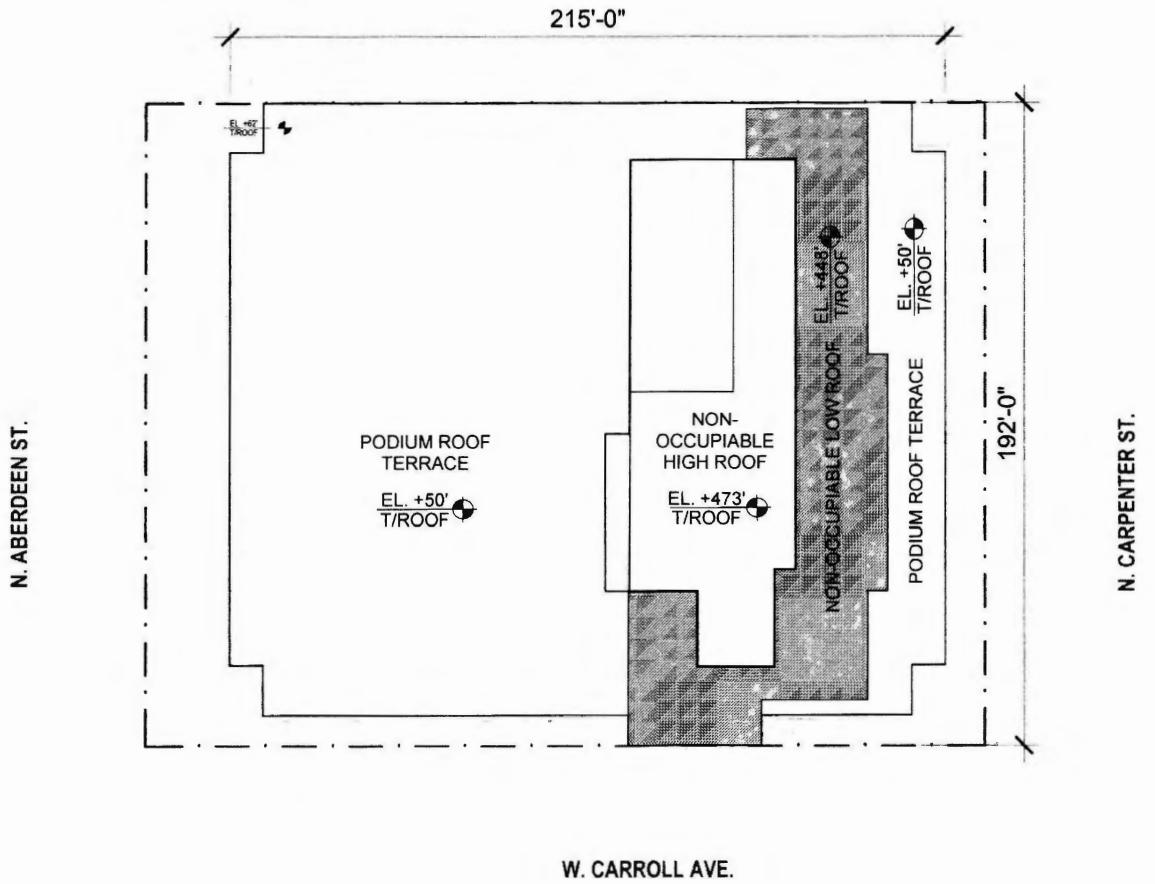
SCALE: NTS 

SITE + LANDSCAPE PLAN



APPLICANT: 345 N. Aberdeen, LLC  
 ADDRESS: 345 N Aberdeen, Chicago, IL  
 INTRODUCTION: February 16, 2024  
 PLAN COMMISSION: June 20, 2024

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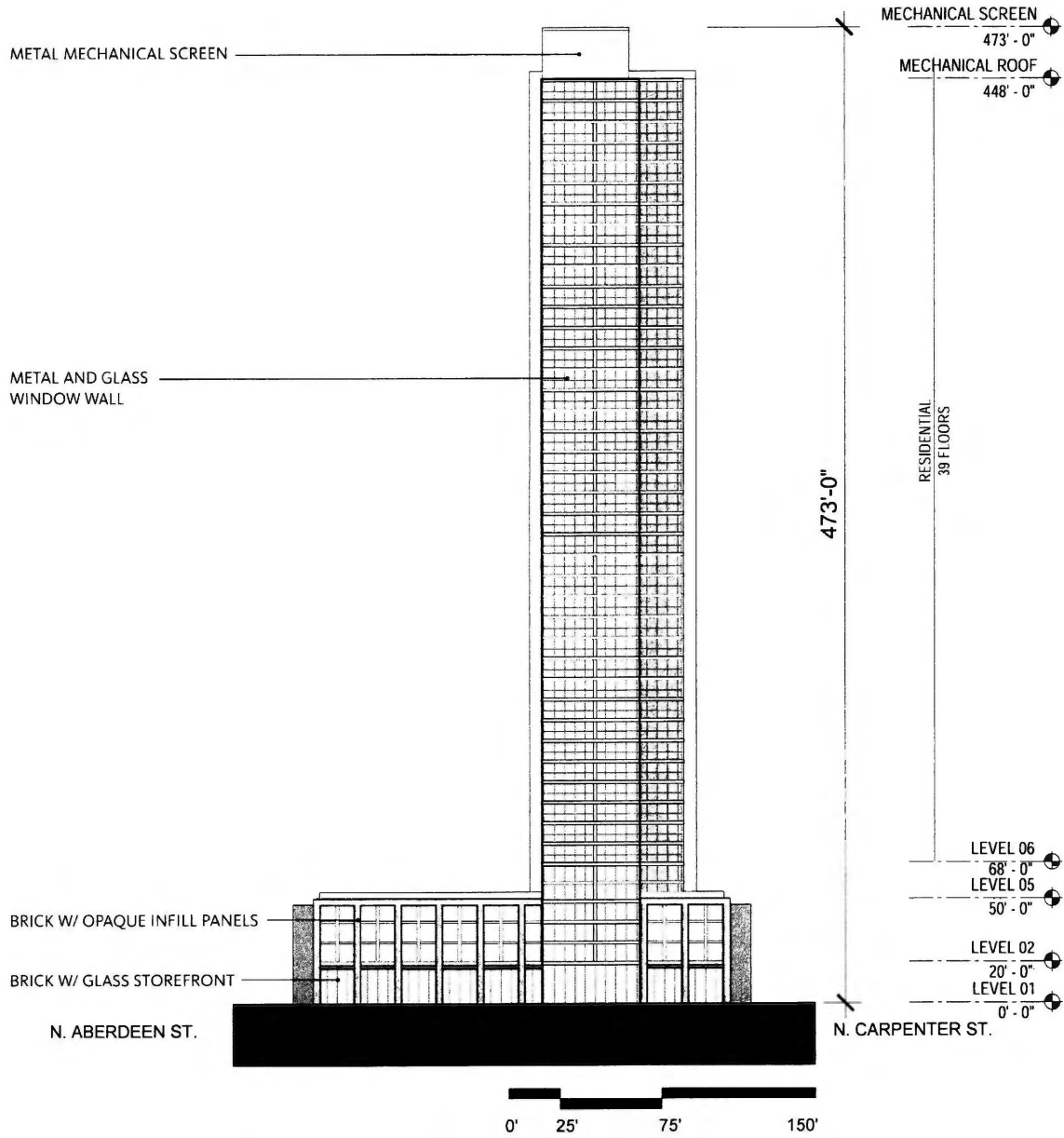


ROOF PLAN



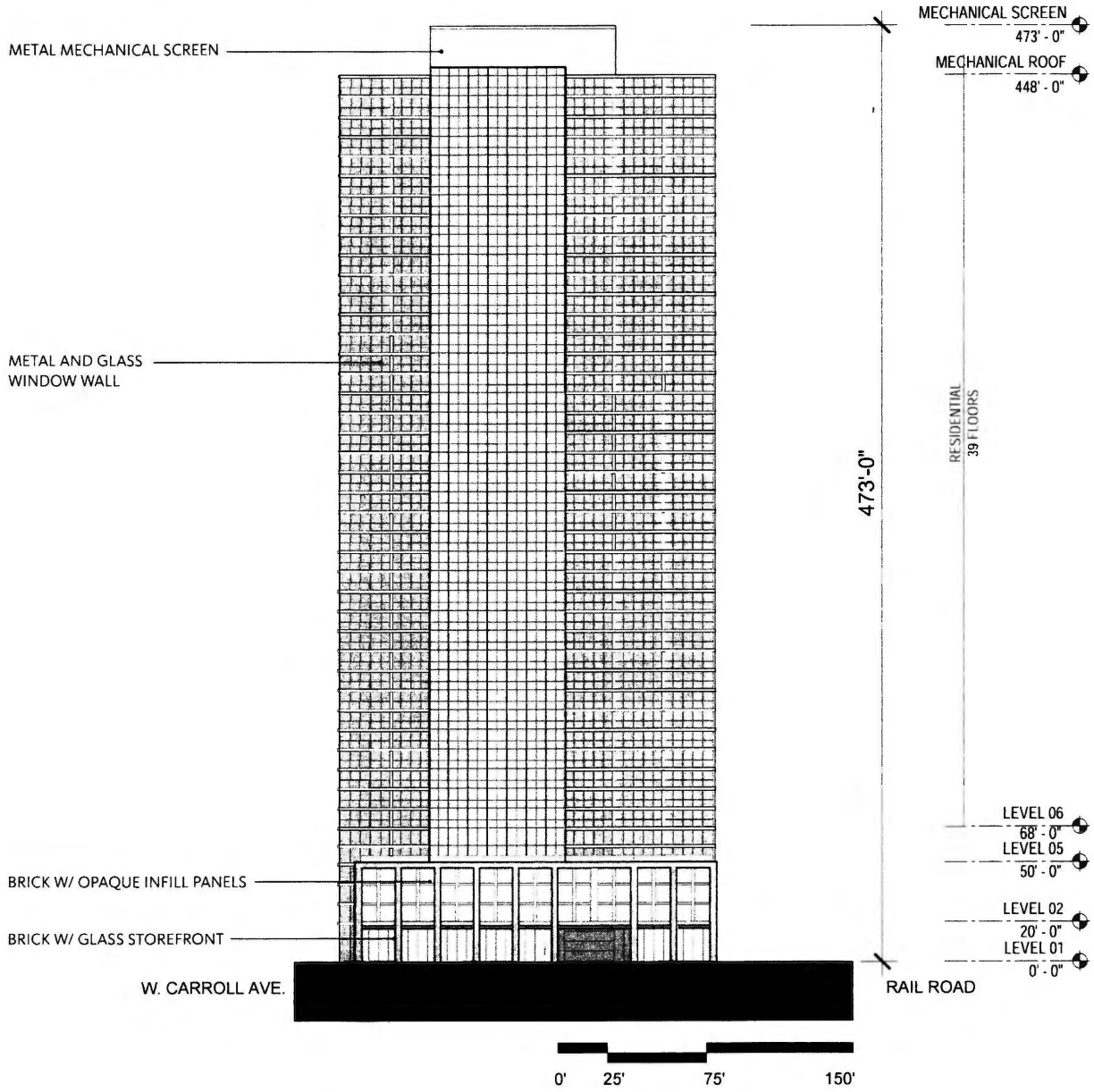
APPLICANT: 345 N. Aberdeen, LLC  
 ADDRESS: 345 N Aberdeen, Chicago, IL  
 INTRODUCTION: February 16, 2024  
 PLAN COMMISSION: June 20, 2024

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**SOUTH ELEVATION**

# FINAL FOR PUBLICATION

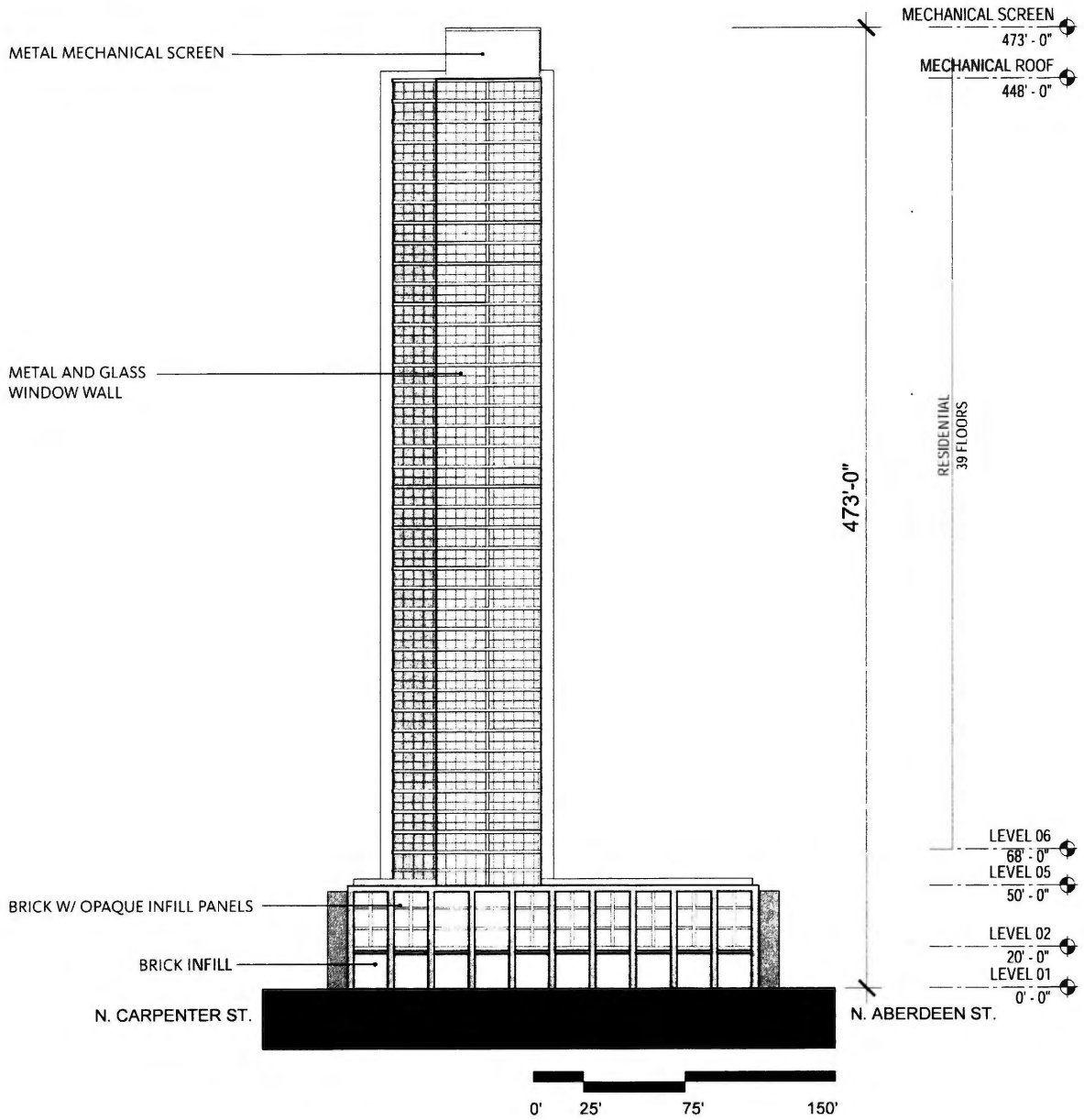


**EAST ELEVATION**



APPLICANT: 345 N. Aberdeen, LLC  
 ADDRESS: 345 N Aberdeen, Chicago, IL  
 INTRODUCTION: February 16, 2024  
 PLAN COMMISSION: June 20, 2024

# FINAL FOR PUBLICATION

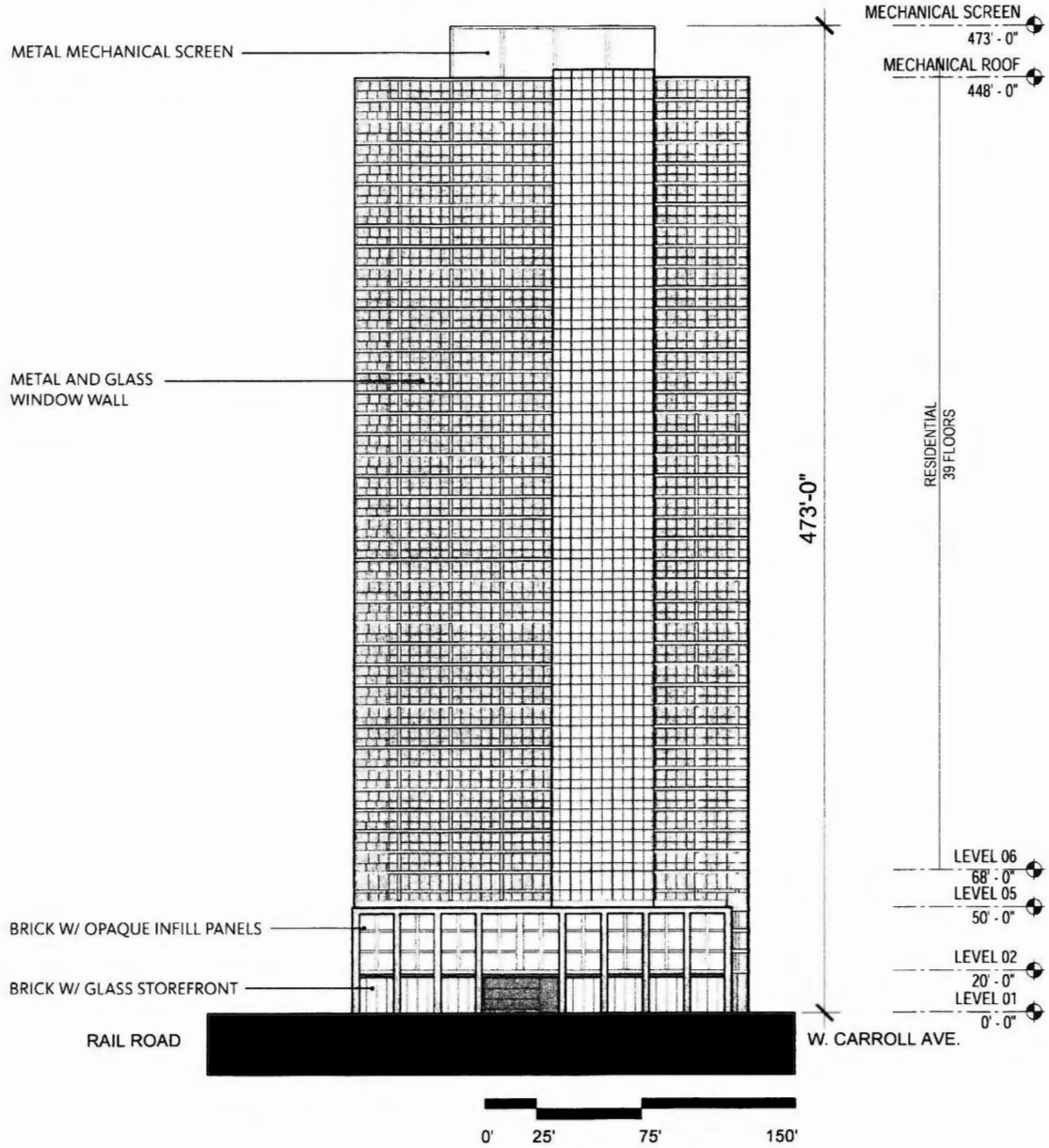


**NORTH ELEVATION**



APPLICANT: 345 N. Aberdeen, LLC  
 ADDRESS: 345 N Aberdeen, Chicago, IL  
 INTRODUCTION: February 16, 2024  
 PLAN COMMISSION: June 20, 2024

# FINAL FOR PUBLICATION

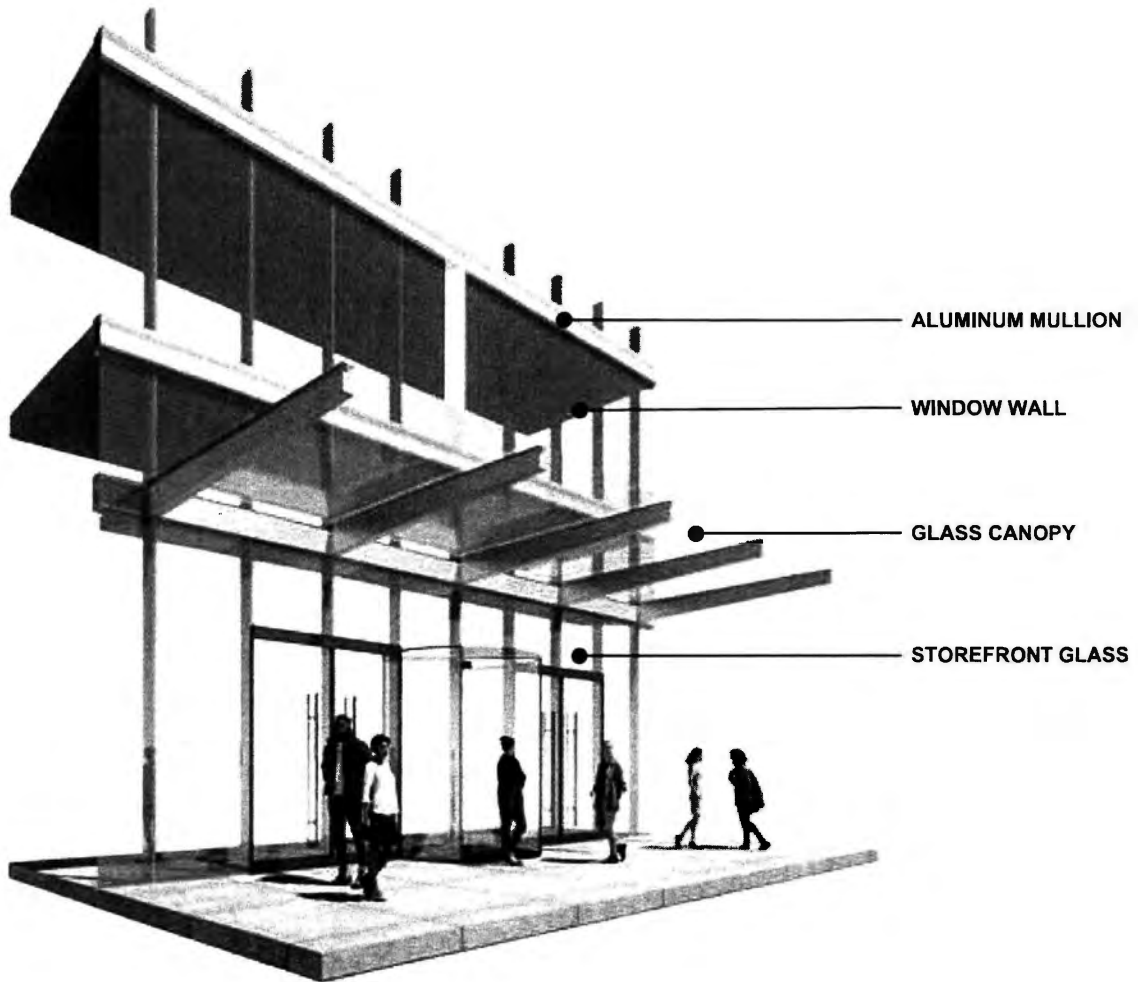


WEST ELEVATION



APPLICANT: 345 N. Aberdeen, LLC  
 ADDRESS: 345 N Aberdeen, Chicago, IL  
 INTRODUCTION: February 16, 2024  
 PLAN COMMISSION: June 20, 2024

# FINAL FOR PUBLICATION

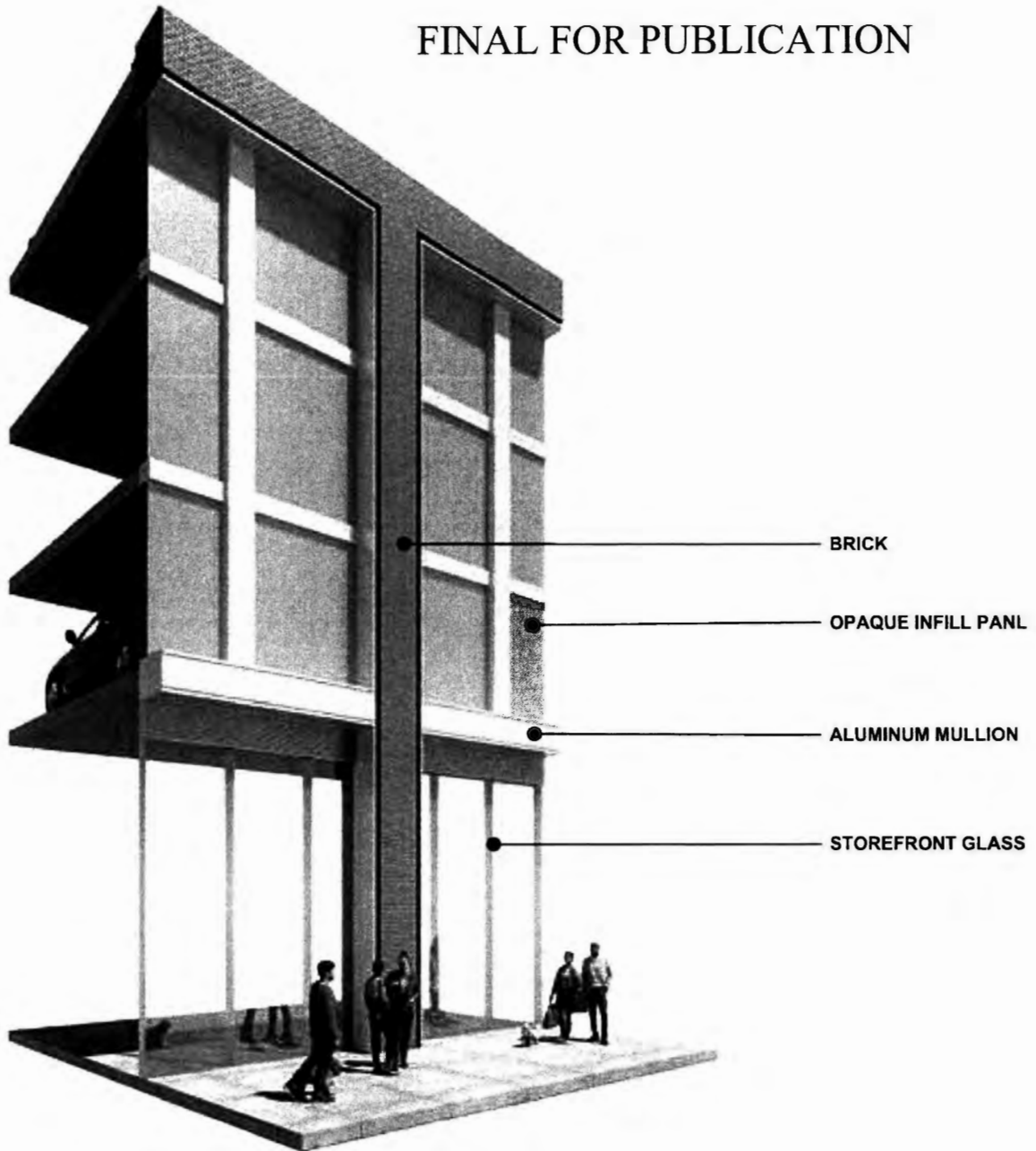


**AXON - RESIDENTIAL ENTRY**



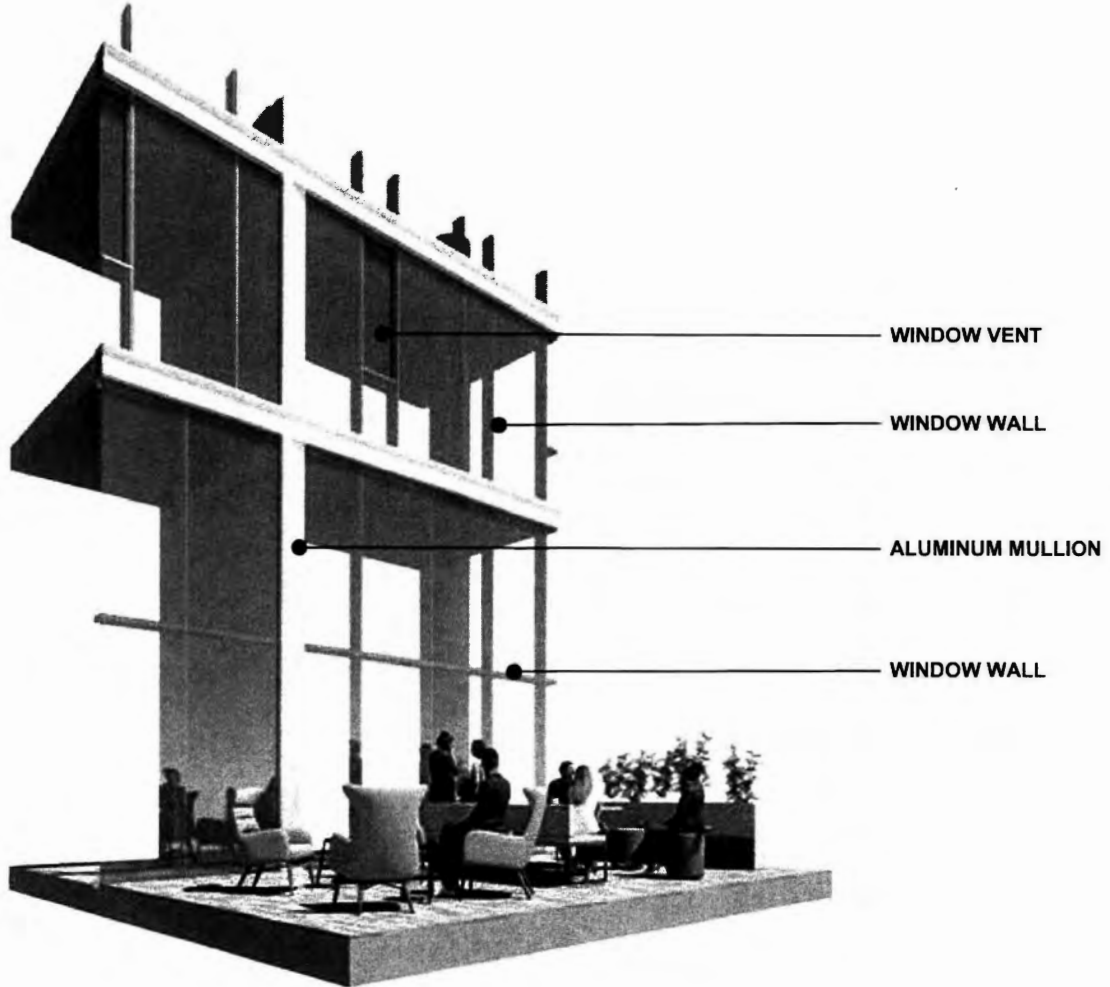
APPLICANT: 345 N. Aberdeen, LLC  
ADDRESS: 345 N Aberdeen, Chicago, IL  
INTRODUCTION: February 16, 2024  
PLAN COMMISSION: June 20, 2024

# FINAL FOR PUBLICATION



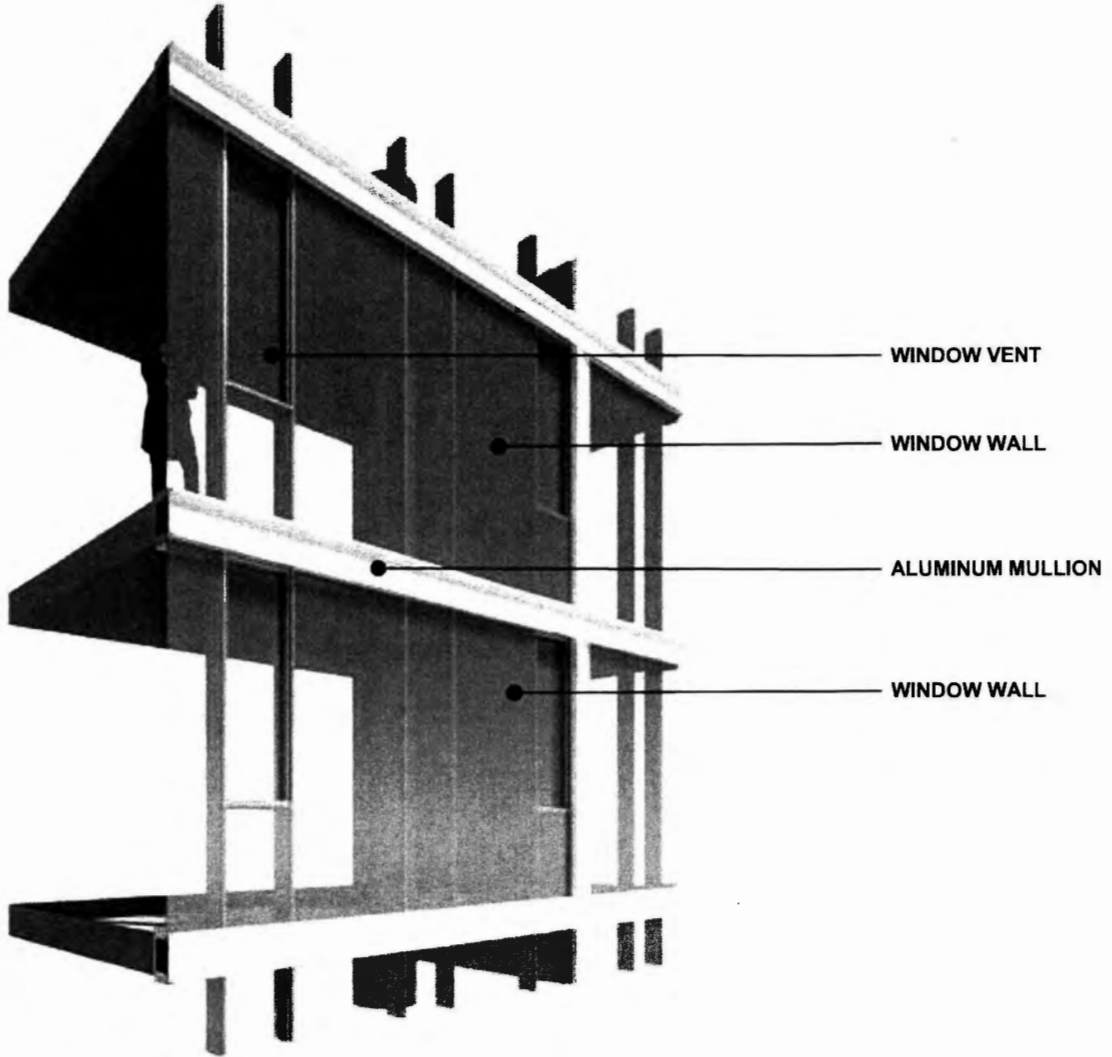
**AXON - BUILDING PODIUM**

# FINAL FOR PUBLIUCATION



**AXON - AMENITY DECK**

FINAL FOR PUBLICATION



AXON - RESIDENTIAL FLOORS

*Reclassification Of Area Shown On Map No. 1-H.*

(Application No. 22466T1)  
(Common Address: 1923 W. Race Ave.)

[O2024-0009608]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That Title 17 of the Municipal Code, the Chicago Zoning Ordinance, be amended by changing all the RT3.5 Residential Two-Flat, Townhouse and Multi-Unit District symbols and indications as shown on Map Number 1-H in the area bounded by:

West Race Avenue; a line 215 feet west of and parallel to North Wolcott Avenue; the alley next south of and parallel to West Race Avenue; and a line 239 feet west of and parallel to North Wolcott Avenue,

to those of an RT4 Residential Two-Flat, Townhouse and Multi-Unit District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

[Existing and Proposed Site Plan; Code Matrix; Basement, First, Second and Third Demolition Plans; Basement, First, Second and Third/Garden Deck Floor Plans; Left, Right, Front and Rear Building Elevations; Wall Sections; Roof Plan and Structural Notes; Typical Stair and Rail Detail; and Basement, First, Second and Third/Garden Deck Electrical Plans attached to this ordinance printed on pages 14900 through 14913 of this *Journal*.]

Type 1 Narrative Rezoning Analysis attached to this ordinance reads as follows:

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**17-13-0303-C(1) Type 1 Narrative & Plans – 1923 West Race Avenue, Chicago, IL**

Proposed Zoning: RT-4 Residential Two-flat, Townhouse and Multi-Unit District

Lot Area: 2,280 square feet

Proposed Land Use: The Applicants are seeking a zoning change to permit a rear addition to the existing single-family home located at the subject property. The proposed addition will be one-story in height. The existing 32 ft.-11 inch building height will remain without change. The single-family home will continue to be supported by two (2) garage parking spaces accessed at the rear of the subject lot. In conjunction with Type 1 zoning change application, the Applicant is seeking Variations pursuant to Secs. 17-13-1101-B and 17-13-0303-D of the Chicago Zoning Ordinance to reduce the required rear setback to 4 ft.-2½ inches, reduce the west side setback to 1¼ inches, reduce the east side setback to 2 inches, reduce the combined side setback total to 3¼ inches, and relocate 148 sq. ft. of rear yard open space to the roof deck proposed above the garage.

(A) The Project's Floor Area Ratio: 2,489 square feet (1.09 FAR)

(B) The Project's Density (Minimum Lot Area Per D.U.): 2,280 square feet per D.U.  
(1 dwelling unit existing/proposed)

(C) The amount of off-street parking: 2 vehicle parking spaces

(D) Setbacks:

- a. Front Setback: 14 feet 11½ inches (existing to remain)
- b. \*Side Setbacks:
  - West Side: 1¼ inch (measured from the garage)
  - East Side: 2 inches (measured from the garage)
- c. \*Rear Setback: 4 feet 2½ inches (measured from the garage)

\*Pursuant to Secs. 17-13-1101-B and 17-13-0303-D of the Chicago Zoning Ordinance, the Applicants are seeking to reduce the required rear setback to 4 ft.-2½ inches, reduce the west side setback to 1¼ inches, reduce the east side setback to 2 inches, reduce the combined side setback total to 3¼ inches, and relocate 148 sq. ft. of rear yard open space.

(E) Building Height: 32 feet 11 inches (existing to remain)

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**KENNEDY RESIDENCE**  
1034 WEST RACE AVENUE  
CHICAGO, ILL. 60642

**EXISTING SITE PLAN**

**PROPOSED SITE PLAN**

**GENERAL NOTES**

1. ALL DIMENSIONS ARE IN FEET AND INCHES.
2. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO BUILDING CODE AND ALL APPLICABLE ORDINANCES.
3. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO ZONING ORDINANCES.
4. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO PLANNING COMMISSION'S RECOMMENDATIONS.
5. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO DEPARTMENT OF PUBLIC WORKS' REQUIREMENTS.
6. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO DEPARTMENT OF STREET LIGHTING'S REQUIREMENTS.
7. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO DEPARTMENT OF TRANSPORTATION'S REQUIREMENTS.
8. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO DEPARTMENT OF PARKS AND RECREATION'S REQUIREMENTS.
9. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO DEPARTMENT OF ENVIRONMENT'S REQUIREMENTS.
10. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO DEPARTMENT OF HEALTH'S REQUIREMENTS.
11. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO DEPARTMENT OF FIRE'S REQUIREMENTS.
12. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO DEPARTMENT OF POLICE'S REQUIREMENTS.
13. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO DEPARTMENT OF SOCIAL SERVICES'S REQUIREMENTS.
14. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO DEPARTMENT OF EDUCATION'S REQUIREMENTS.
15. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO DEPARTMENT OF CULTURE'S REQUIREMENTS.
16. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO DEPARTMENT OF COMMUNITY DEVELOPMENT'S REQUIREMENTS.
17. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO DEPARTMENT OF ECONOMIC DEVELOPMENT'S REQUIREMENTS.
18. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO DEPARTMENT OF LABOR'S REQUIREMENTS.
19. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO DEPARTMENT OF BUSINESS'S REQUIREMENTS.
20. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO DEPARTMENT OF FINANCE'S REQUIREMENTS.
21. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO DEPARTMENT OF LEGAL AFFAIRS'S REQUIREMENTS.
22. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO DEPARTMENT OF CLERK OF COURTS'S REQUIREMENTS.
23. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO DEPARTMENT OF JUDICIAL ADMINISTRATION'S REQUIREMENTS.
24. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO DEPARTMENT OF PROBATION'S REQUIREMENTS.
25. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO DEPARTMENT OF CORRECTIONS'S REQUIREMENTS.
26. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO DEPARTMENT OF JAIL'S REQUIREMENTS.
27. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO DEPARTMENT OF PUBLIC DEFENSE'S REQUIREMENTS.
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31. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO DEPARTMENT OF PARKS AND RECREATION'S REQUIREMENTS.
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33. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO DEPARTMENT OF HEALTH'S REQUIREMENTS.
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36. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO DEPARTMENT OF SOCIAL SERVICES'S REQUIREMENTS.
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38. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO DEPARTMENT OF CULTURE'S REQUIREMENTS.
39. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO DEPARTMENT OF COMMUNITY DEVELOPMENT'S REQUIREMENTS.
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48. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO DEPARTMENT OF CORRECTIONS'S REQUIREMENTS.
49. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO DEPARTMENT OF JAIL'S REQUIREMENTS.
50. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO DEPARTMENT OF PUBLIC DEFENSE'S REQUIREMENTS.

**ARCHITECT'S CERTIFICATION**

I, the undersigned, being a duly licensed Architect in the State of Illinois, do hereby certify that I am the author of the foregoing plans and specifications, and that I am a duly licensed Architect in the State of Illinois.

DATE: 7/17/2024  
SIGNATURE: [Signature]  
ADDRESS: [Address]



FINAL FOR PUBLICATION

### Professional Certification of Corrections

**CHICAGO**  
Department of Public Safety

**Application Details:**  
 1433 North Dear St.  
 Chicago, IL 60610  
 773.554.3200

**Applicant:** *Justo Paez*  
 Name: Justo Paez  
 Title: Director of Operations  
 Department: Department of Corrections  
 Division: Department of Corrections  
 Office: Department of Corrections  
 Address: 1433 North Dear St., Chicago, IL 60610

**Professional Details:**  
 License Number: 19121310  
 Issue Date: 07/20/2024  
 Expiration Date: 07/20/2027

**Professional Seal:**  
 State of Illinois  
 Department of Public Safety  
 Professional Seal  
 Justo Paez  
 Director of Operations  
 Department of Corrections  
 License No. 19121310  
 Expires 07/20/2027

**Professional Description:**  
 The applicant is a highly qualified professional with extensive experience in the field of corrections. He has a strong background in management, operations, and program development. He has successfully led a team of professionals and has a proven track record of improving operational efficiency and program effectiveness. He is a strategic thinker and a strong leader, with the ability to motivate and inspire others. He is committed to the highest standards of professional conduct and is dedicated to the success of the Department of Corrections.

**Justification:**  
 The applicant is a highly qualified professional with extensive experience in the field of corrections. He has a strong background in management, operations, and program development. He has successfully led a team of professionals and has a proven track record of improving operational efficiency and program effectiveness. He is a strategic thinker and a strong leader, with the ability to motivate and inspire others. He is committed to the highest standards of professional conduct and is dedicated to the success of the Department of Corrections.

**Recommendation:**  
 The applicant is a highly qualified professional with extensive experience in the field of corrections. He has a strong background in management, operations, and program development. He has successfully led a team of professionals and has a proven track record of improving operational efficiency and program effectiveness. He is a strategic thinker and a strong leader, with the ability to motivate and inspire others. He is committed to the highest standards of professional conduct and is dedicated to the success of the Department of Corrections.

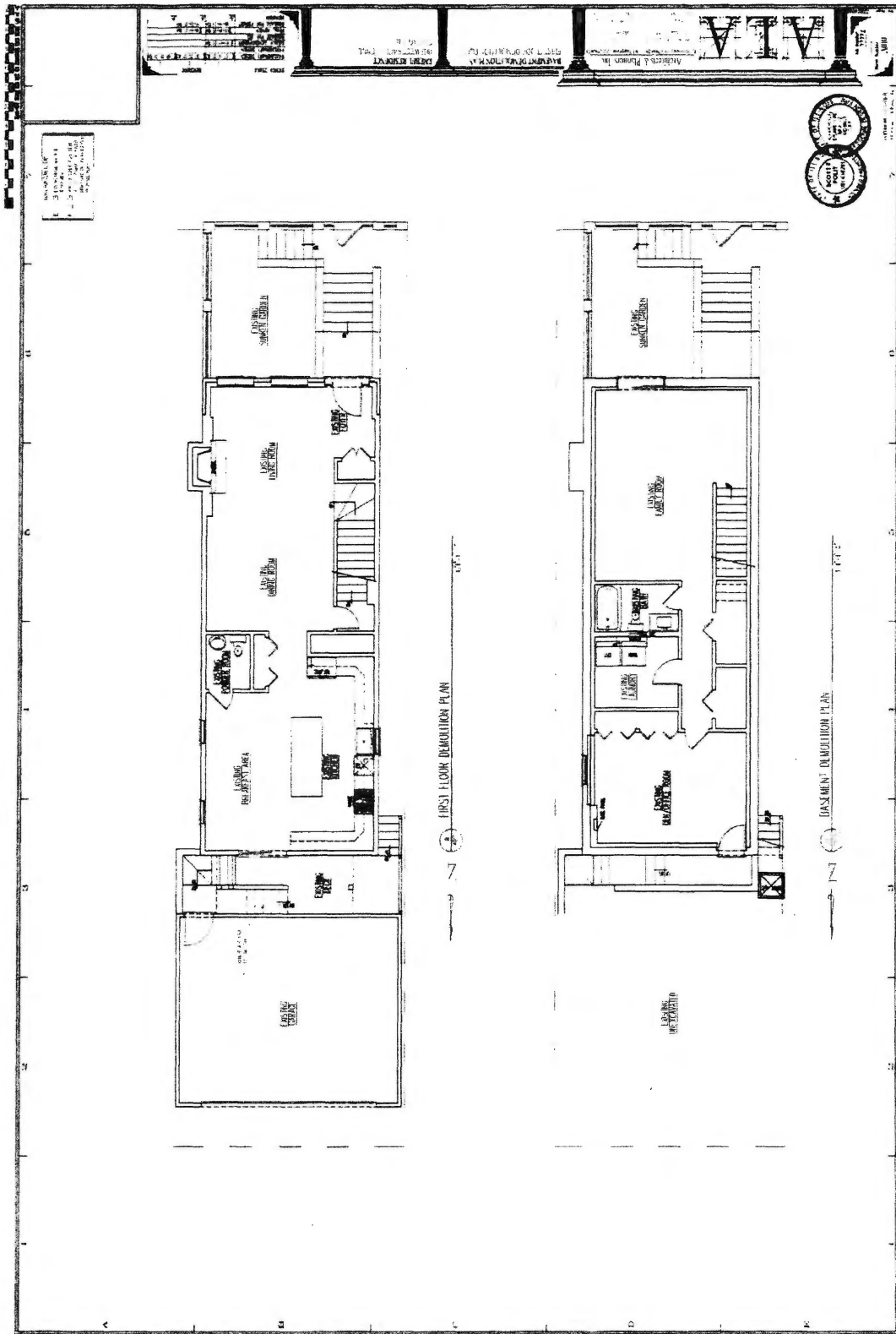
**Comments:**  
 The applicant is a highly qualified professional with extensive experience in the field of corrections. He has a strong background in management, operations, and program development. He has successfully led a team of professionals and has a proven track record of improving operational efficiency and program effectiveness. He is a strategic thinker and a strong leader, with the ability to motivate and inspire others. He is committed to the highest standards of professional conduct and is dedicated to the success of the Department of Corrections.

**Professional Seal:**  
 State of Illinois  
 Department of Public Safety  
 Professional Seal  
 Justo Paez  
 Director of Operations  
 Department of Corrections  
 License No. 19121310  
 Expires 07/20/2027

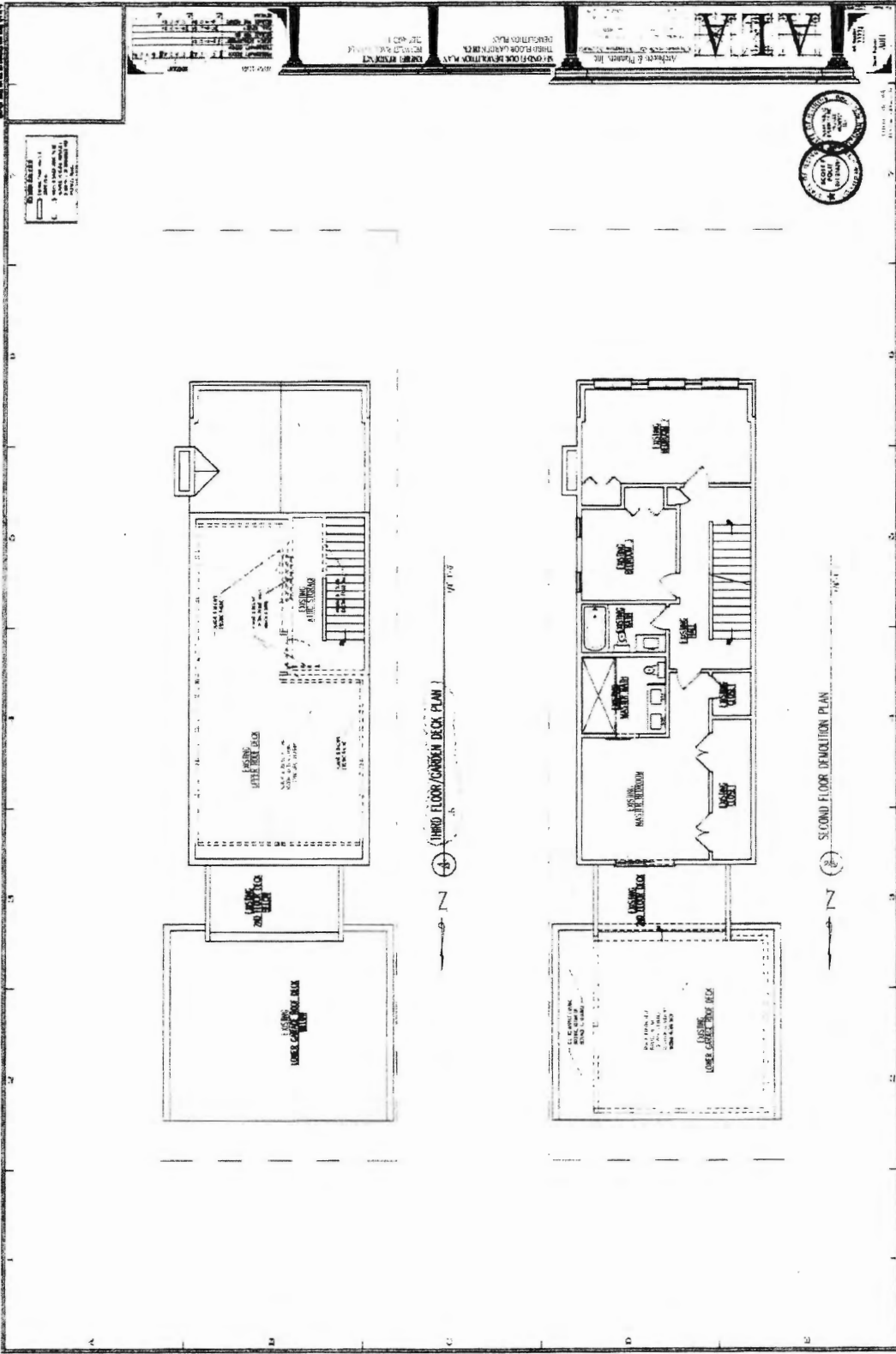
**Justification:**  
 The applicant is a highly qualified professional with extensive experience in the field of corrections. He has a strong background in management, operations, and program development. He has successfully led a team of professionals and has a proven track record of improving operational efficiency and program effectiveness. He is a strategic thinker and a strong leader, with the ability to motivate and inspire others. He is committed to the highest standards of professional conduct and is dedicated to the success of the Department of Corrections.

**Recommendation:**  
 The applicant is a highly qualified professional with extensive experience in the field of corrections. He has a strong background in management, operations, and program development. He has successfully led a team of professionals and has a proven track record of improving operational efficiency and program effectiveness. He is a strategic thinker and a strong leader, with the ability to motivate and inspire others. He is committed to the highest standards of professional conduct and is dedicated to the success of the Department of Corrections.

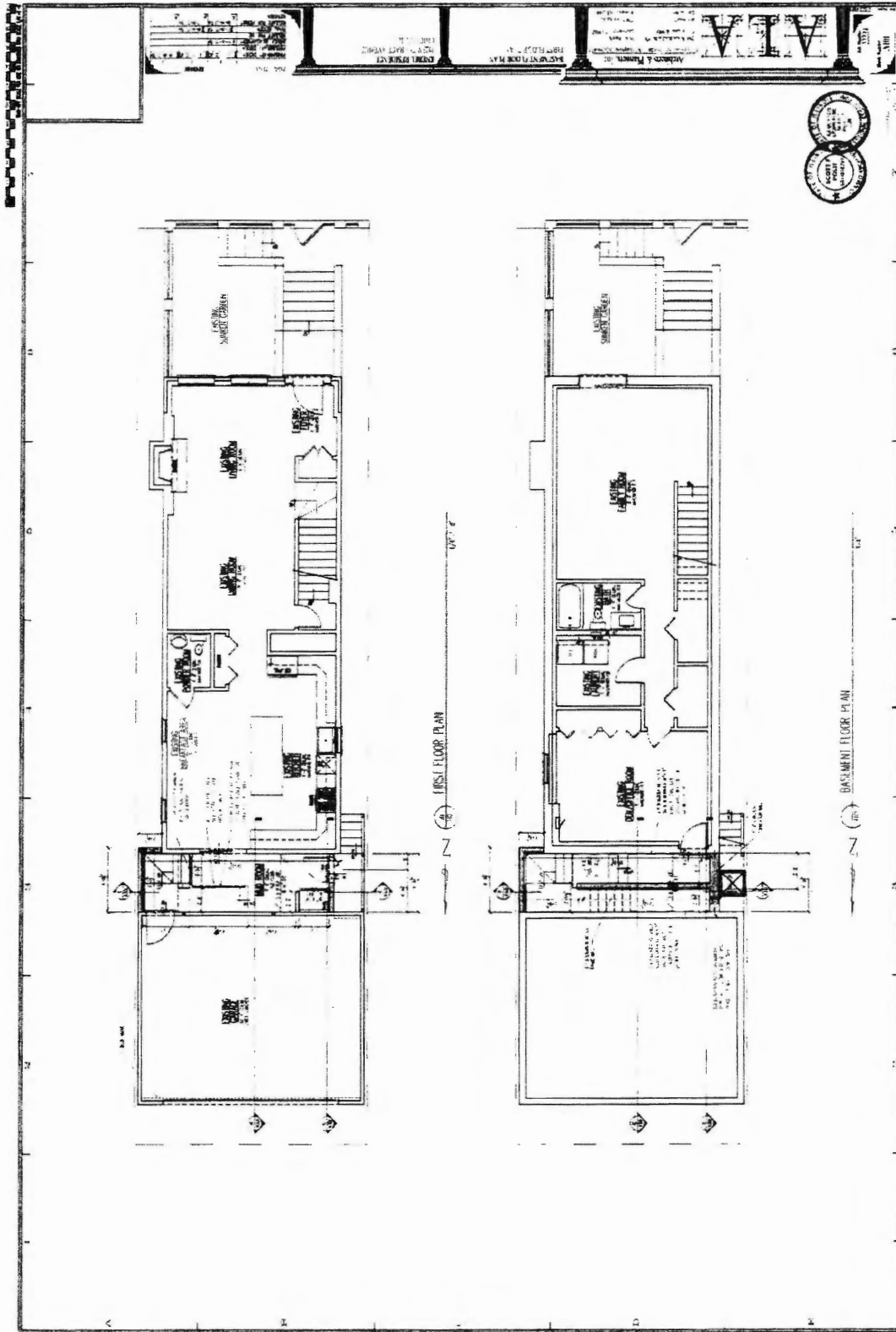
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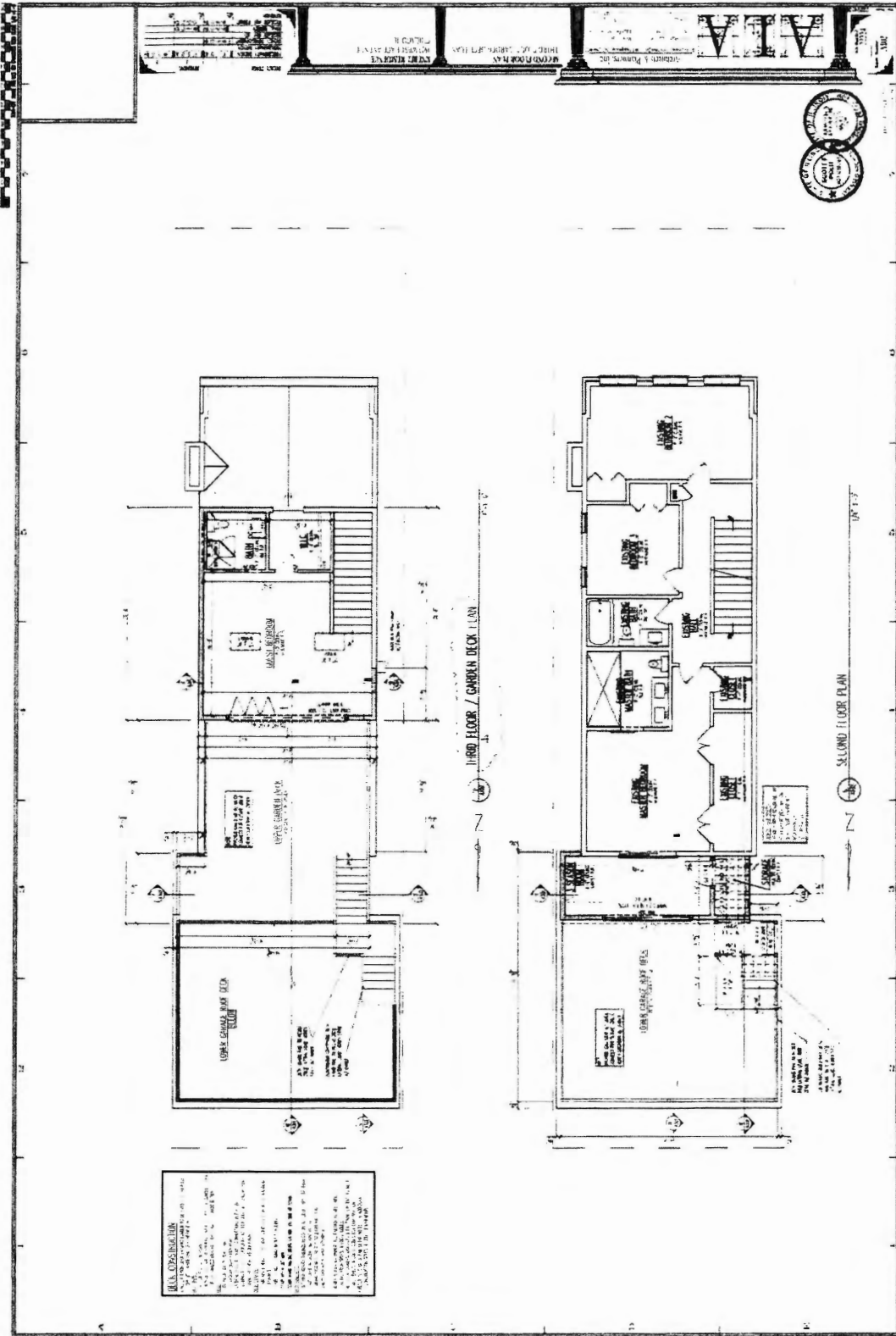
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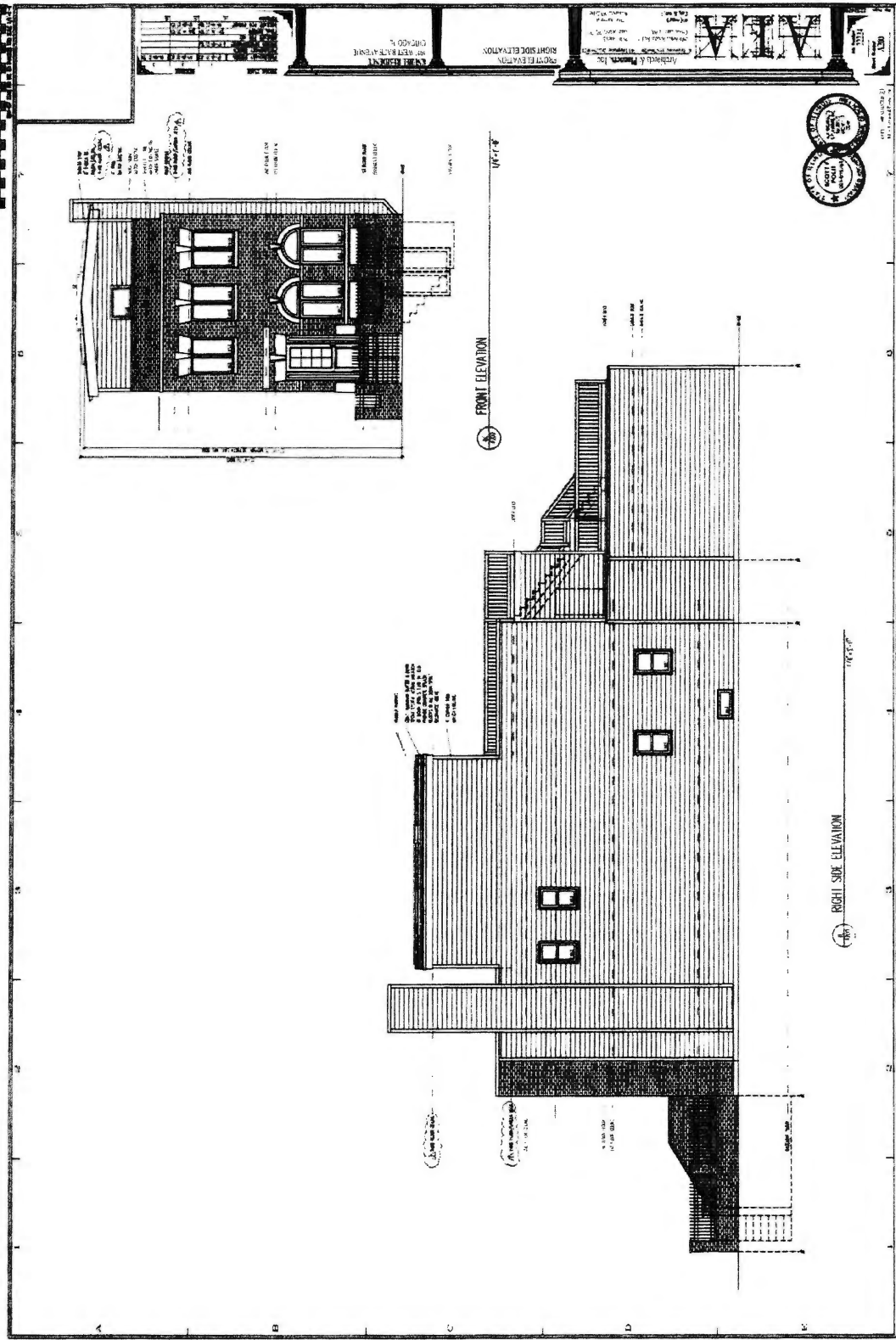
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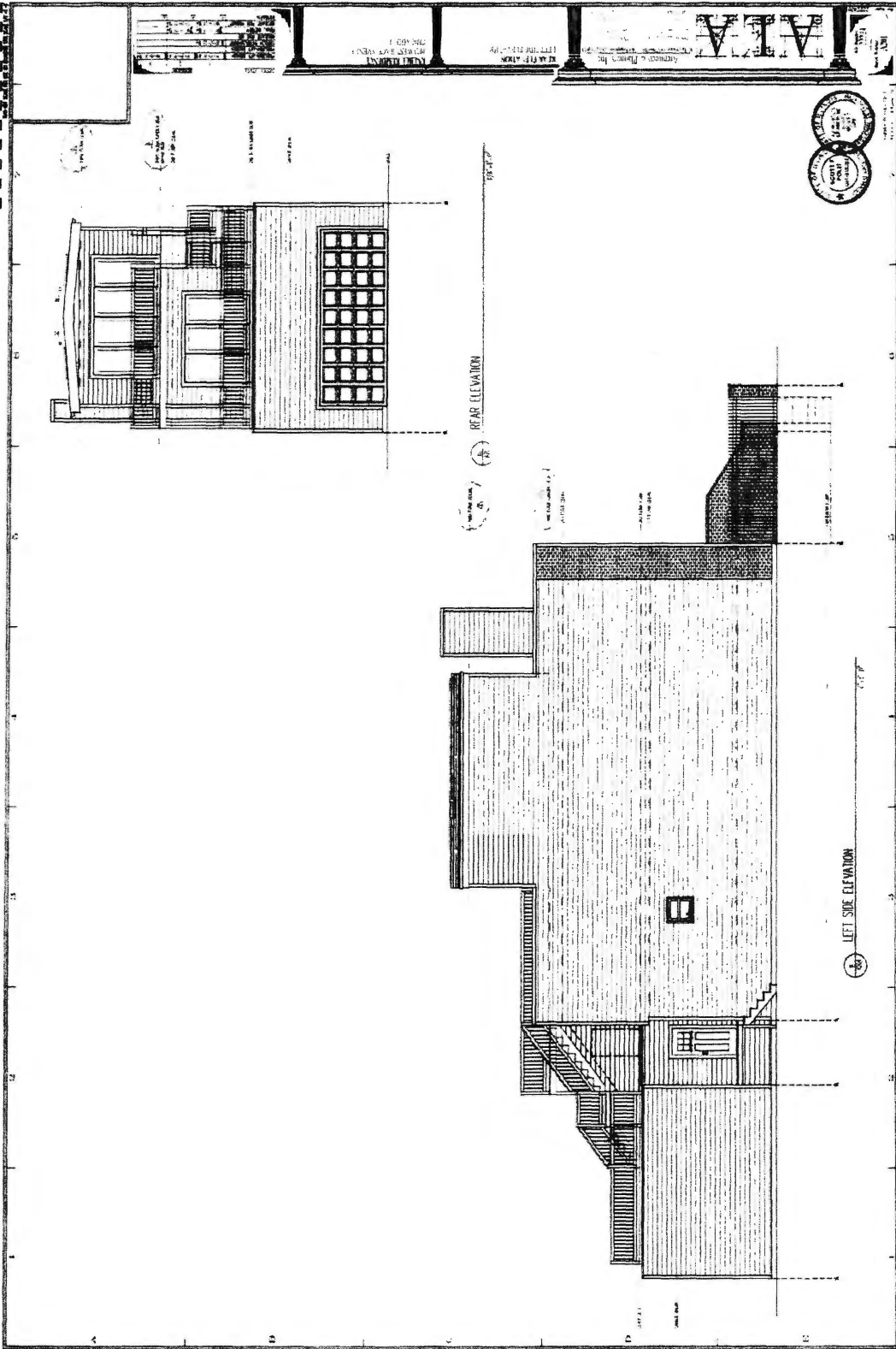
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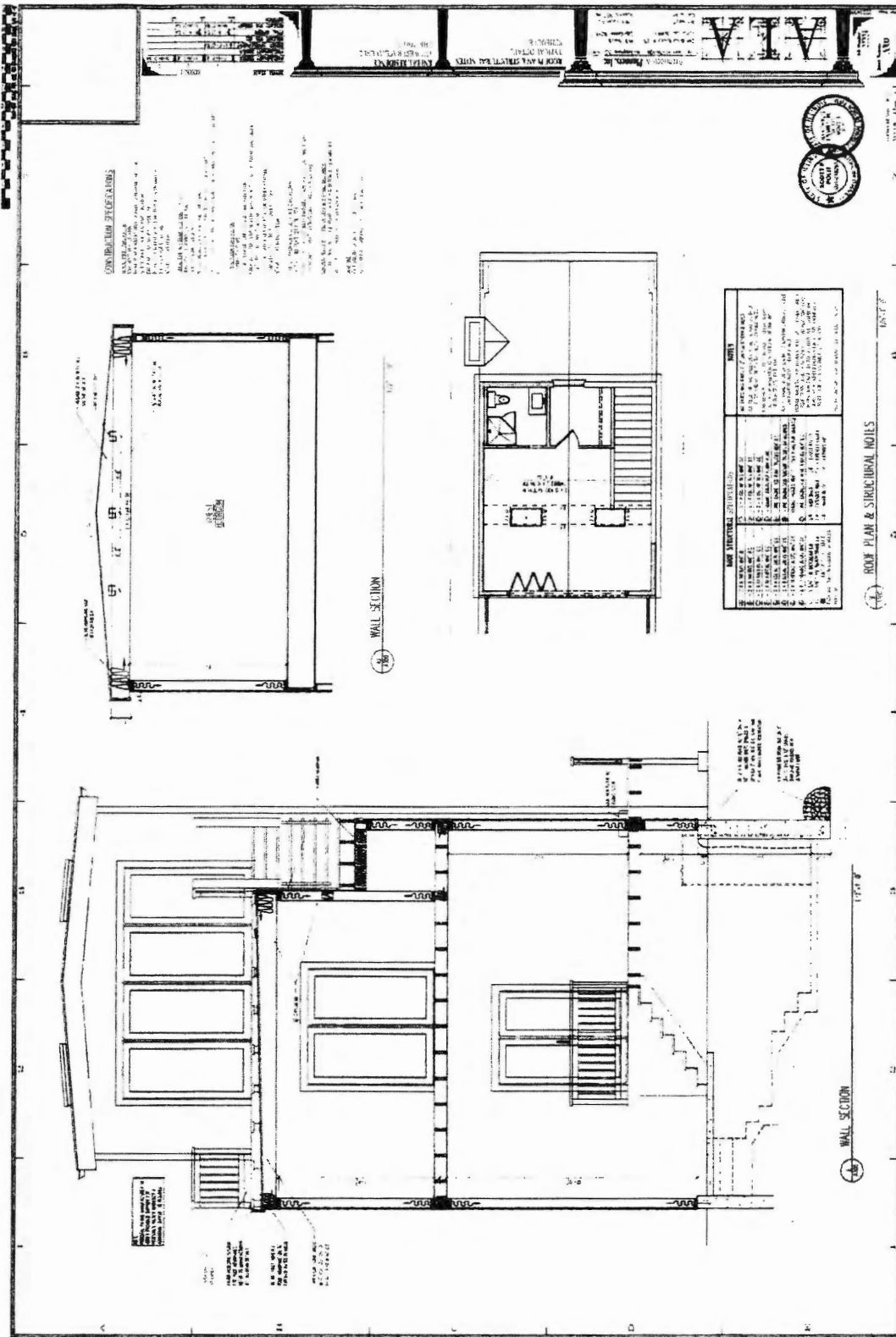
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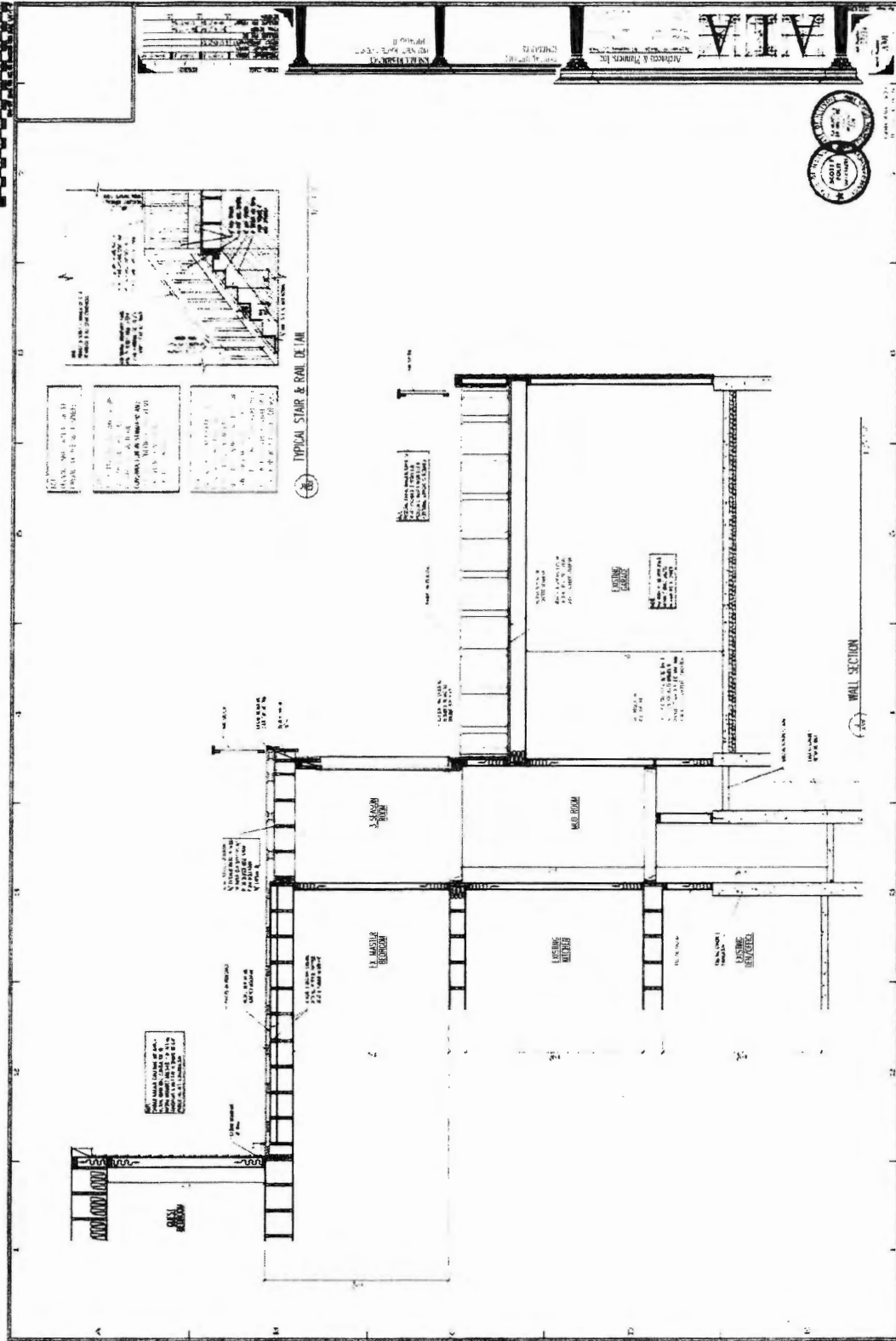
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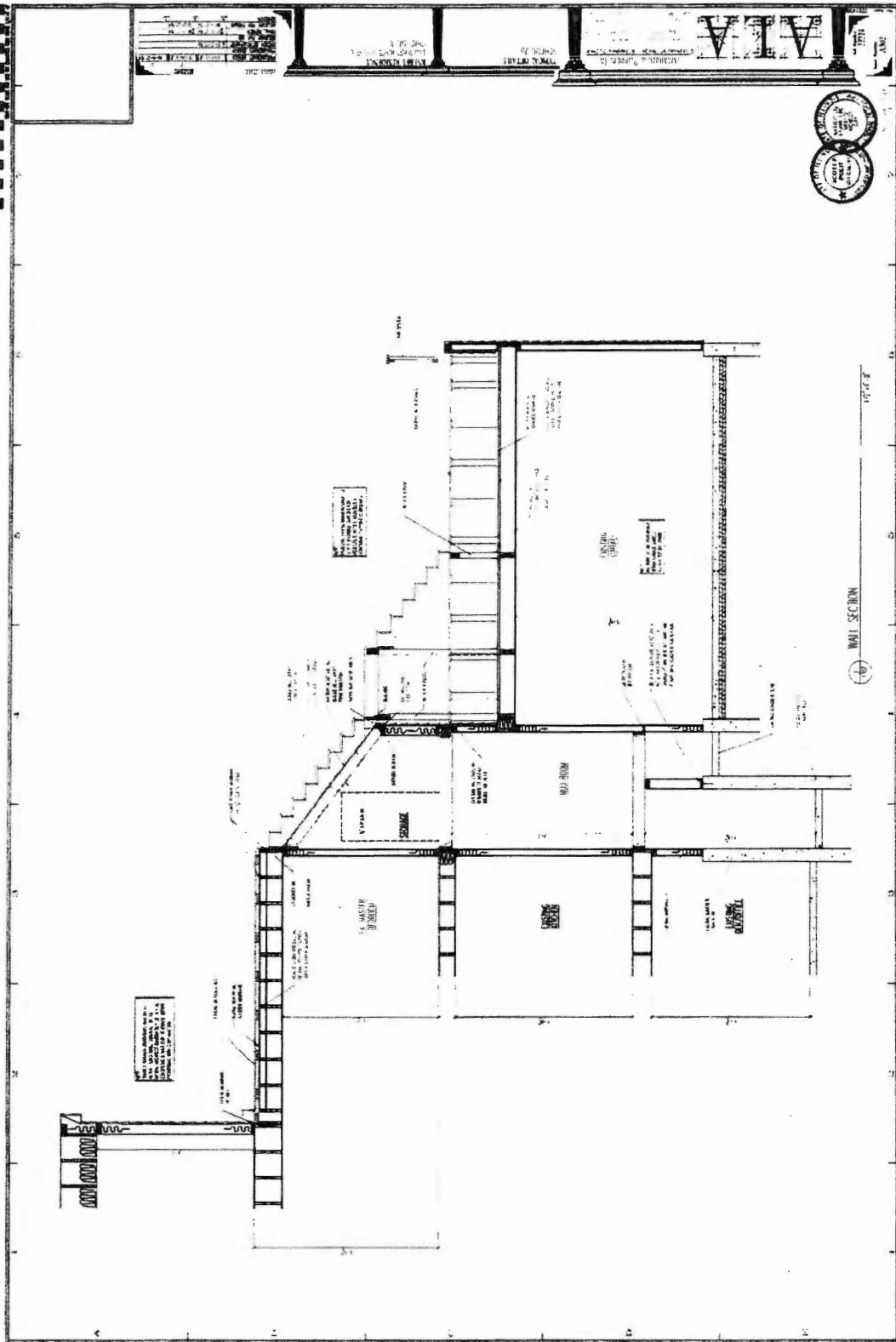


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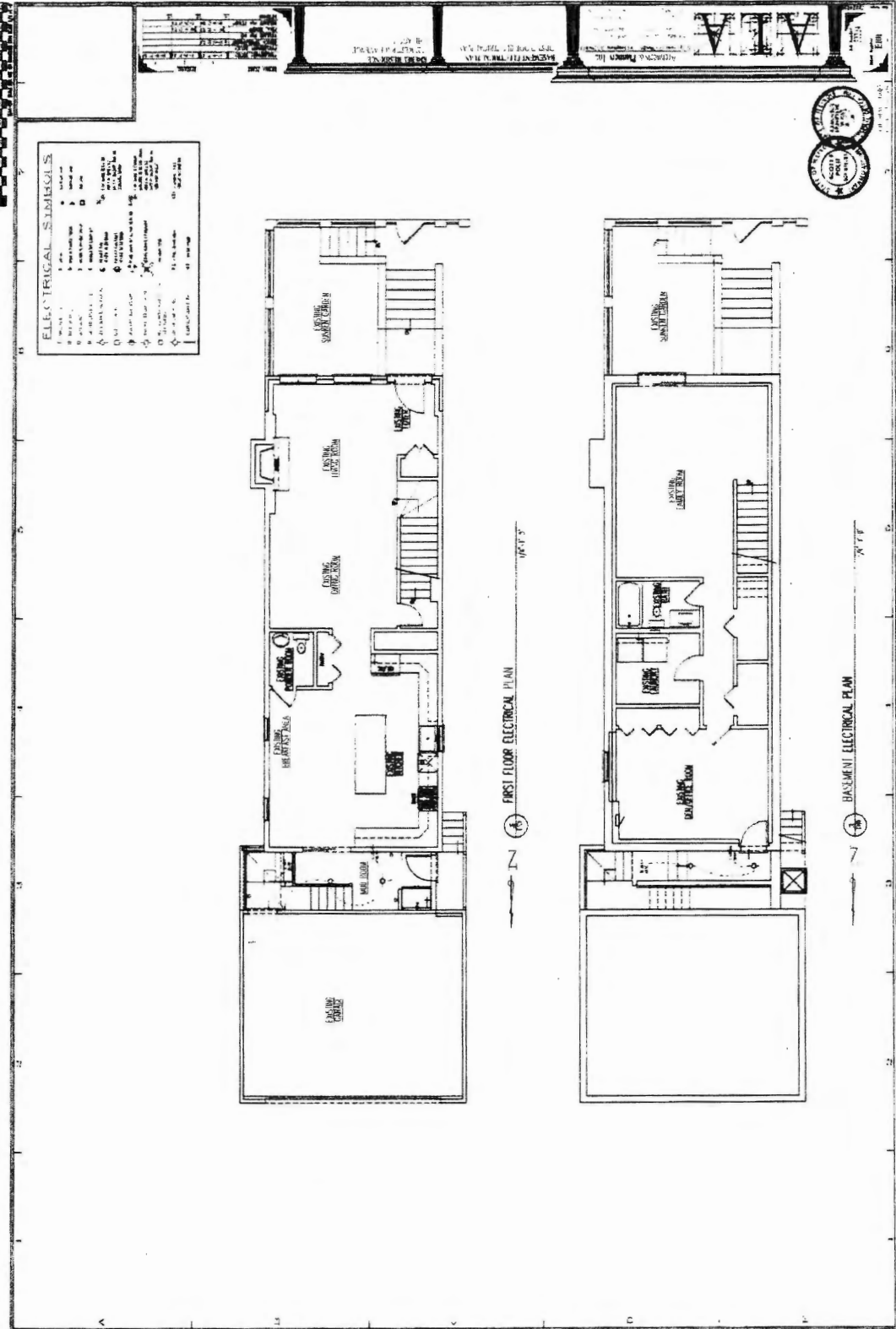
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- Client:** [Illegible]
- Architect:** [Illegible]
- Scale:** [Illegible]
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- Date:** [Illegible]



FINAL FOR PUBLICATION



FINAL FOR PUBLICATION



FINAL FOR PUBLICATION



*Reclassification Of Area Shown On Map No. 2-G.*

(As Amended)

(Application No. 22409T1)

(Common Address: 1065 W. Polk St.)

[SO2024-0008880]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That Title 17 of the Municipal Code, the Chicago Zoning Ordinance, be amended by changing all the RT4 Residential Two-Flat, Townhouse and Multi-Unit District symbols and indications as shown on Map Number 2-G in the area bounded by:

West Polk Street; a line 72 feet west of and parallel to South Carpenter Street;  
West Cabrini Street; and a line 96 feet west of and parallel to South Carpenter Street,

to those of an RM4.5 Residential Multi-Unit District which is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

[Site Plan; Basement, 1<sup>st</sup>, 2<sup>nd</sup> and 3<sup>rd</sup> Floor Plans; Roof Plan;  
Front, Rear, East and West Building Elevations; and  
Landscape Plan attached to this ordinance  
printed on pages 14916 through 14926  
of this *Journal*.]

Type 1 Narrative Rezoning Analysis attached to this ordinance reads as follows:

## Final for Publication

### **17-13-0303-C(1) Substitute Type 1 Narrative & Plans – 1065 West Polk Street, Chicago, IL**

Proposed Zoning: RM-4.5 Residential Multi-Unit District

Lot Area: 2,400 square feet

Proposed Land Use: The Applicant is seeking a zoning change in order to develop the subject property with a new three-story residential building containing three (3) dwelling units. The proposed building will measure 36.6 ft. in height. The residential building will be supported by two (2) off-street parking spaces at the rear of the lot. In conjunction with Type 1 zoning change application, the Applicant is seeking a Variation as per the Chicago Zoning Code, Section 17-13-0303-D, to reduce the number of required off-street parking spaces from three (3) parking spaces to two (2) off-street parking spaces.

- (A) The Project's Floor Area Ratio: 4,080 square feet (1.7 FAR)
- (B) The Project's Density (Minimum Lot Area Per D.U.): 800 square feet per D.U.  
(3 residential units proposed)
- (C) The amount of off-street parking: 2 parking spaces

\*Pursuant to Section 17-13-0303-D, the Applicant is seeking a Variation to reduce the number of required parking spaces from three (3) parking spaces to two (2) off-street parking spaces.

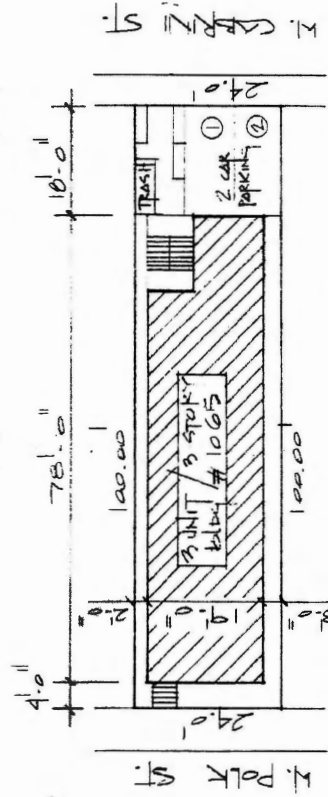
- (D) Setbacks:
  - a. \*Front Setback: 4 feet
  - b. Side Setbacks:
    - West Side: 3 feet
    - East Side: 2 feet
  - c. \*Rear Setback: 18 feet

*\*Pursuant to Sec. 17-13-0303-D, the Applicant is seeking Variations to reduce the required front setback to 4 feet and reduce the required rear setback to 18 feet. The Applicant is also seeking to reduce the Rear Yard Open Space total to zero.*

- (E) Building Height: 36.6 feet

Final for Publication

ZONING INFORMATION	
LOT AREA	24 x 100 = 2400 SF
F.A.R.	RM-4.5
MAX. FLOOR AREA	4080 SF
BASEMENT	
1ST FLOOR	358 SF
2ND FLOOR	358 SF
3RD FLOOR	358 SF
TOTAL	4074 SF

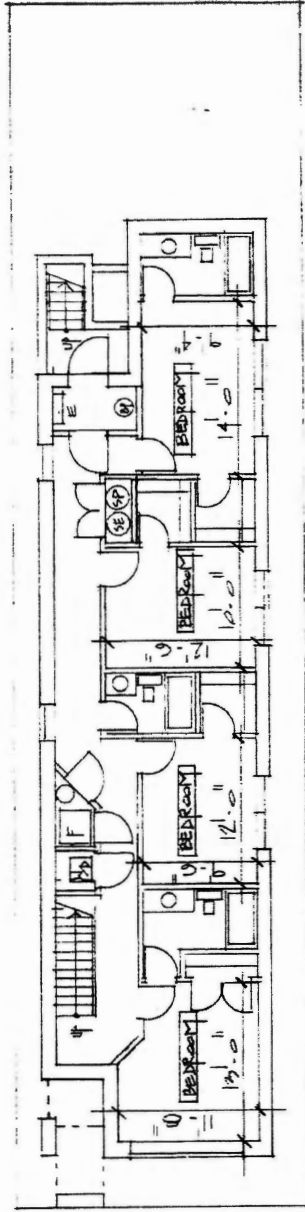


⊕ SITE PLAN  
1/16" = 1'-0"

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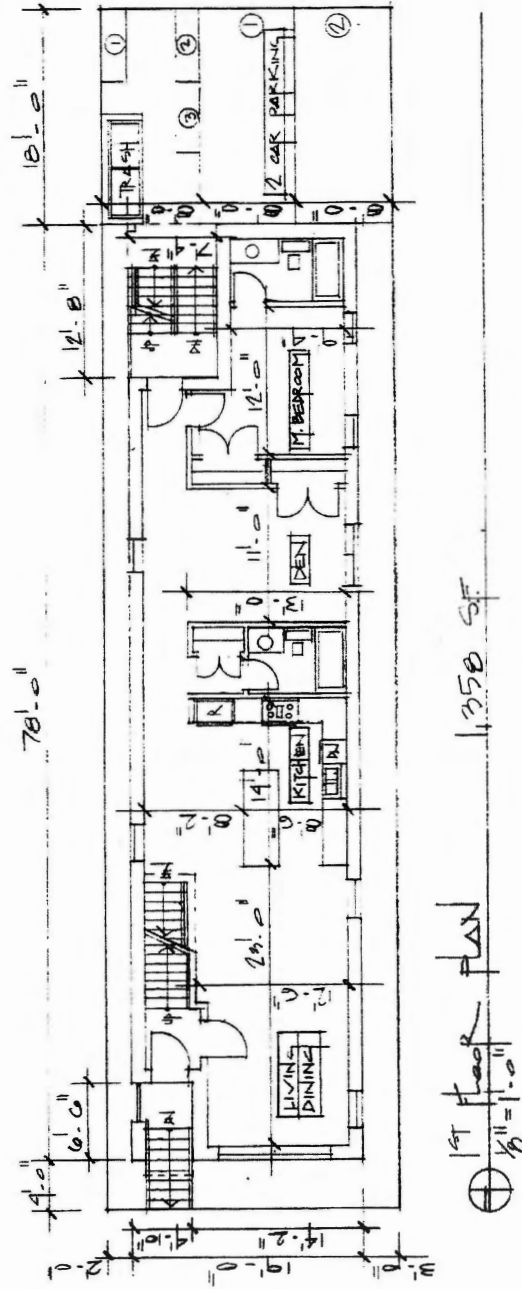


⊕ BASEMENT FLOOR PLAN  
1/8" = 1'-0"

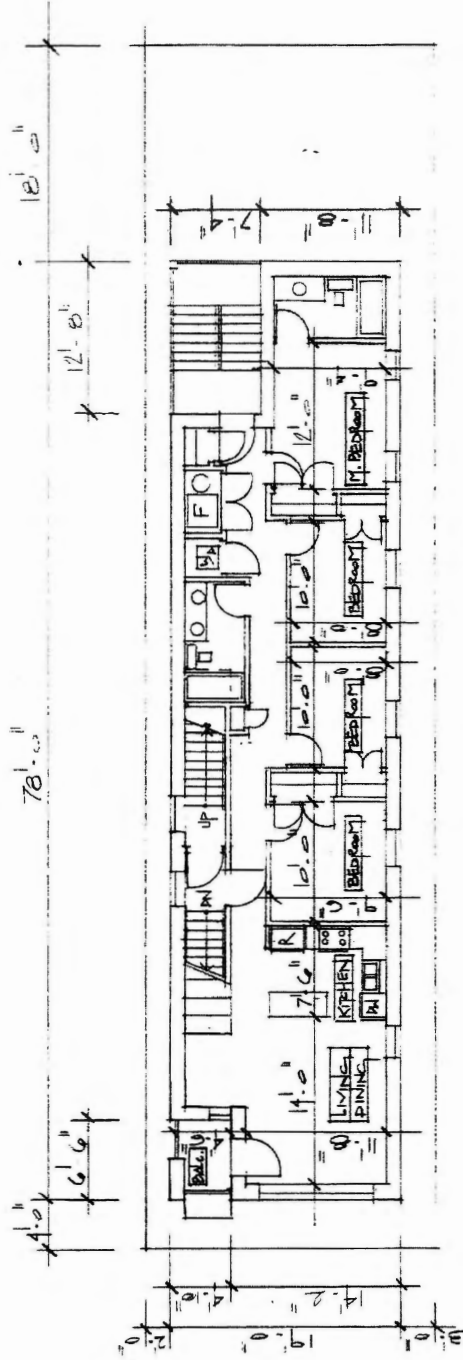
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2nd Floor Plan  
 1,350 SF  
 1/8" = 1'-0"

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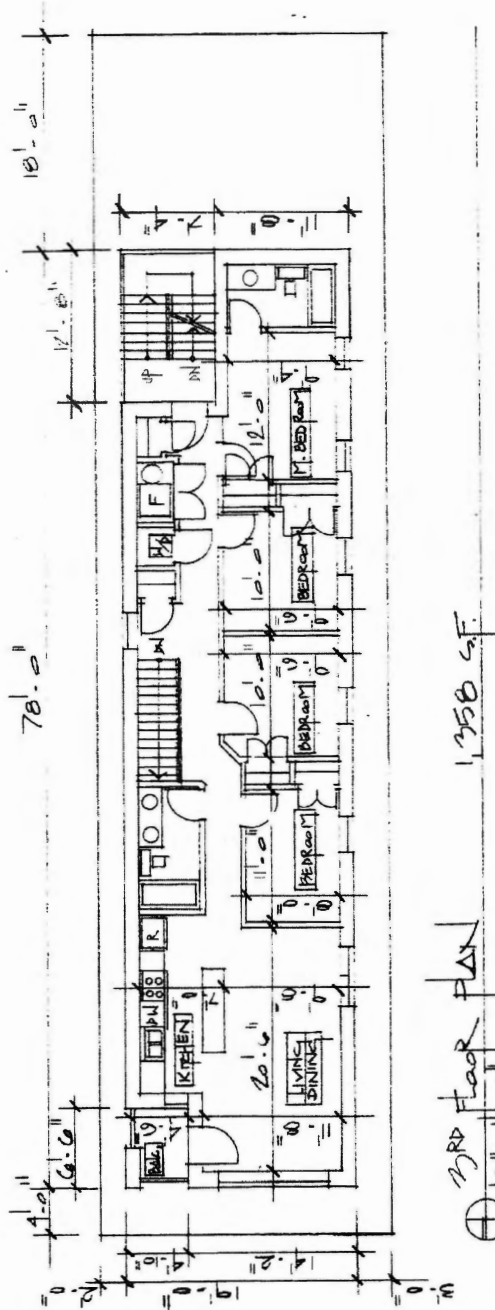
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3RD Floor PLAN 1,350 S.F.  
1/8" = 1'-0"

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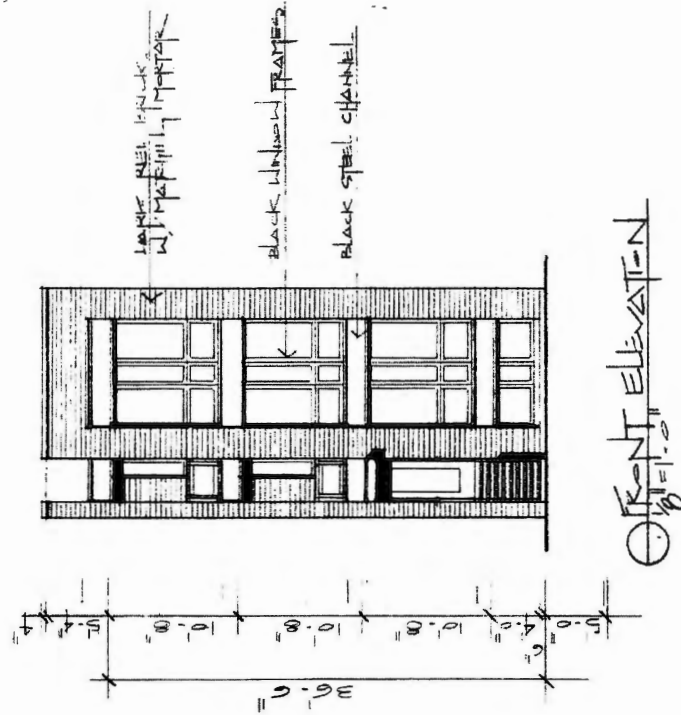
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⊕ Roof PLAN  
1/8" = 1'-0"

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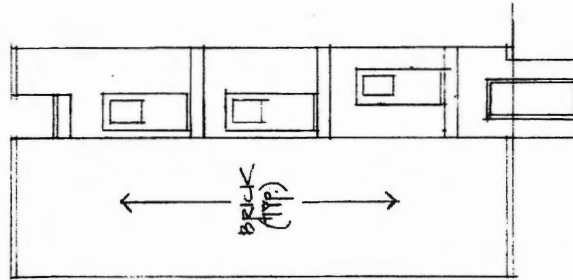


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REAR ELEVATION

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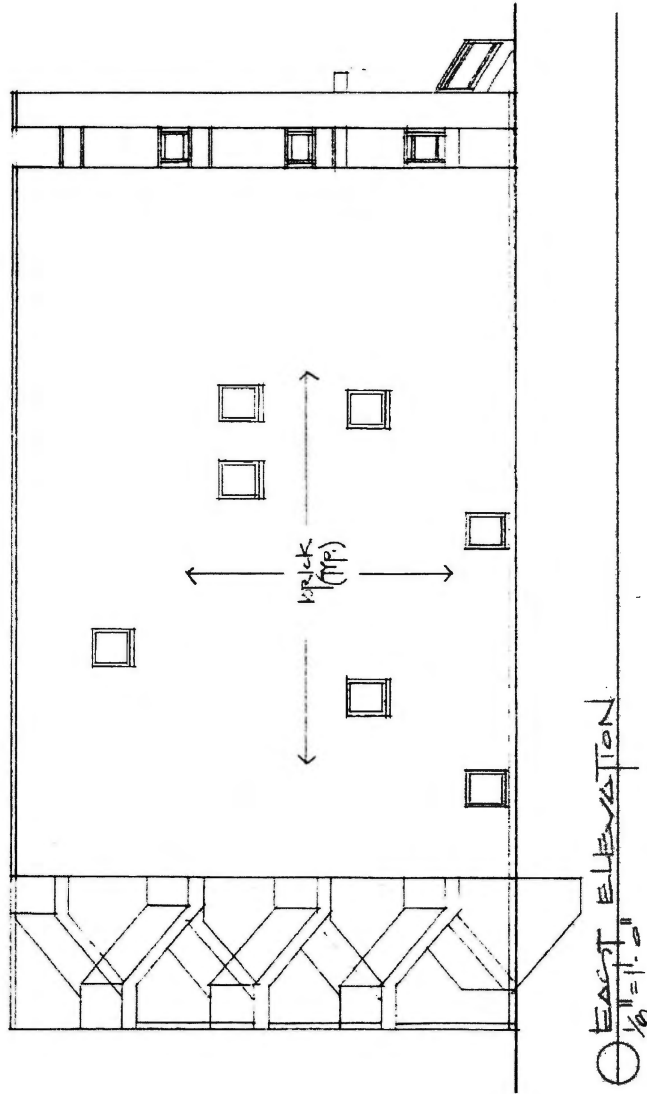
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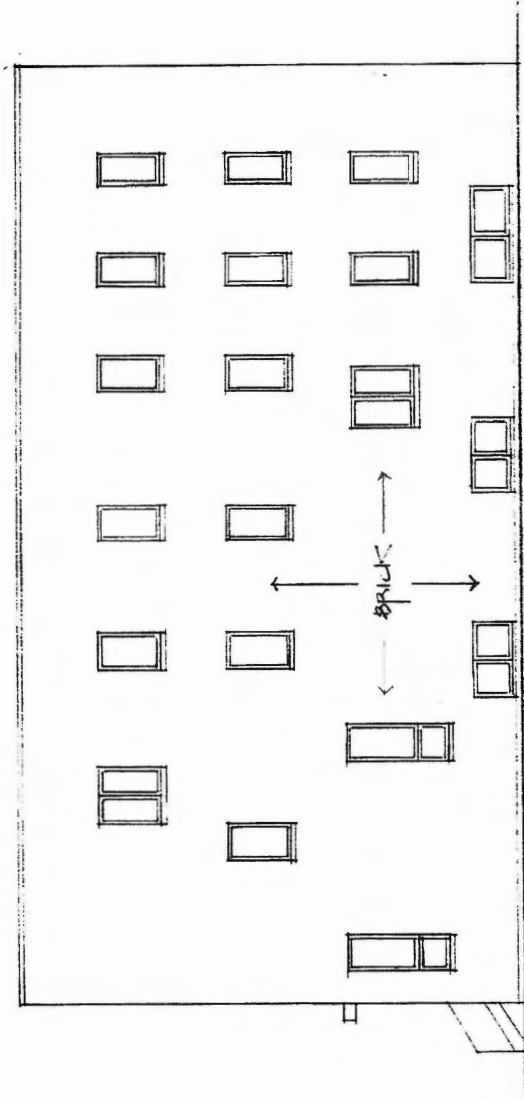
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WEST ELEVATION  
 1/8" = 1'-0"



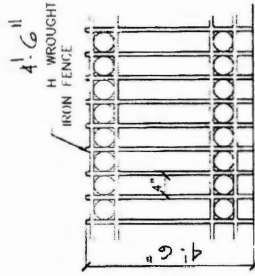
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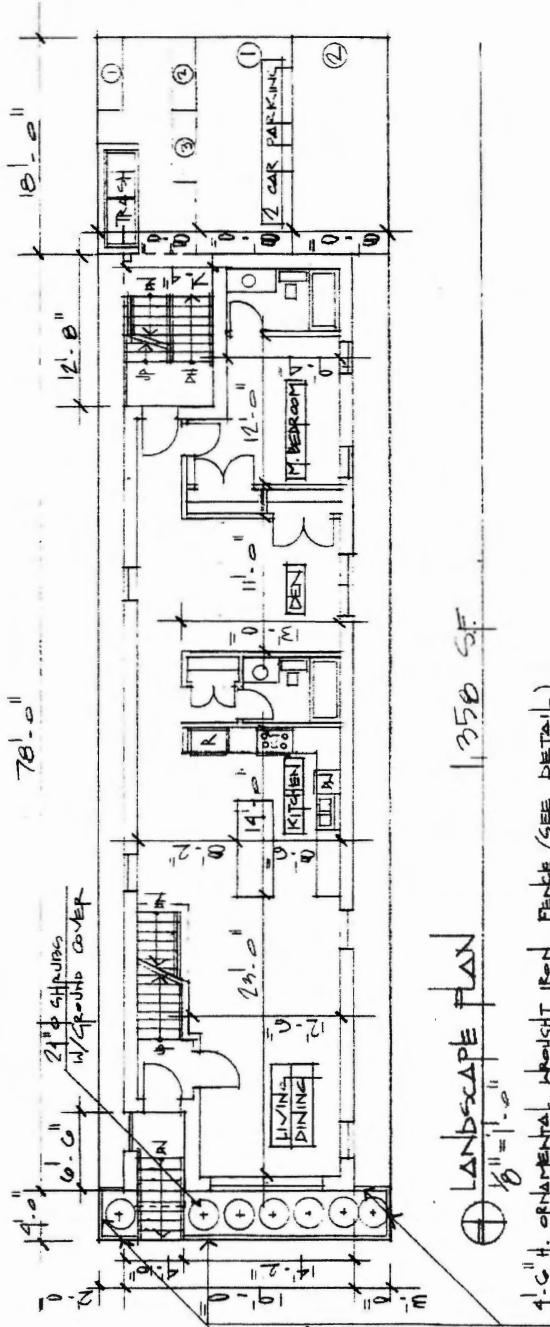
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FENCE DETAIL  
SCALE: 1/2" = 1'-0"



LANDSCAPE PLAN  
350 SF

4'-0" H. ORNAMENTAL WROUGHT IRON FENCE (SEE DETAIL)

*Reclassification Of Area Shown On Map No. 2-G.*  
(As Amended)  
(Application No. 22410T1)  
(Common Address: 1073 W. Polk St.)

[SO2024-0008881]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That Title 17 of the Municipal Code, the Chicago Zoning Ordinance, be amended by changing all the RT4 Residential Two-Flat, Townhouse and Multi-Unit District symbols and indications as shown on Map Number 2-G in the area bounded by:

West Polk Street; a line 144 feet west of and parallel to South Carpenter Street;  
West Cabrini Street; and a line 168 feet west of and parallel to South Carpenter Street,

to those of an RM4.5 Residential Multi-Unit District which is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

[Site Plan; 1<sup>st</sup>, 2<sup>nd</sup> and 3<sup>rd</sup> Floor Plans; Roof Plan; Front, Rear,  
East and West Building Elevations; and Landscape Plan  
attached to this ordinance printed on pages 14929  
through 14939 of this *Journal*.]

Type 1 Narrative Rezoning Analysis attached to this ordinance reads as follows:

## Final for Publication

### **17-13-0303-C(1) Substitute Type 1 Narrative & Plans – 1073 West Polk Street, Chicago, IL**

Proposed Zoning: RM-4.5 Residential Multi-Unit District

Lot Area: 2,400 square feet

Proposed Land Use: The Applicant is seeking a zoning change in order to develop the subject property with a new three-story residential building containing three (3) dwelling units. The proposed building will measure 36.6 ft. in height. The residential building will be supported by two (2) off-street parking spaces at the rear of the lot. In conjunction with Type 1 zoning change application, the Applicant is seeking a Variation as per the Chicago Zoning Code, Section 17-13-0303-D, to reduce the number of required off-street parking spaces from three (3) parking spaces to two (2) off-street parking spaces.

(A) The Project's Floor Area Ratio: 4,080 square feet (1.7 FAR)

(B) The Project's Density (Minimum Lot Area Per D.U.): 800 square feet per D.U.  
(3 residential units proposed)

(C) The amount of off-street parking: 2 parking spaces

*\*Pursuant to Section 17-13-0303-D, the Applicant is seeking a Variation to reduce the number of required parking spaces from three (3) parking spaces to two (2) off-street parking spaces.*

(D) Setbacks:

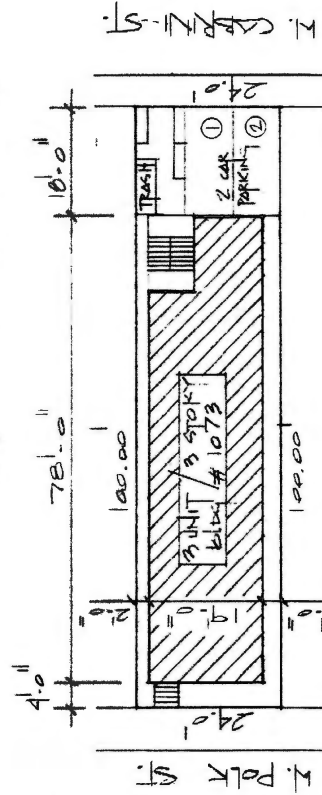
- a. \*Front Setback: 4 feet
- b. Side Setbacks:
  - West Side: 3 feet
  - East Side: 2 feet
- c. \*Rear Setback: 18 feet

*\*Pursuant to Sec. 17-13-0303-D, the Applicant is seeking Variations to reduce the required front setback to 4 feet and reduce the required rear setback to 18 feet. The Applicant is also seeking to reduce the Rear Yard Open Space total to zero.*

(E) Building Height: 36.6 feet

Final for Publication

ZONING INFORMATION	
LOT AREA	24 x 100 = 2,400 SF
F.A.R.	R.M. 4.5
MAX. PER. BLE	1.7
BUILDING	
1ST FLOOR	1,358 SF
2ND FLOOR	1,358 SF
3RD FLOOR	1,358 SF
TOTAL	4,074 SF



⊕ SITE PLAN  
1/8" = 1'-0"



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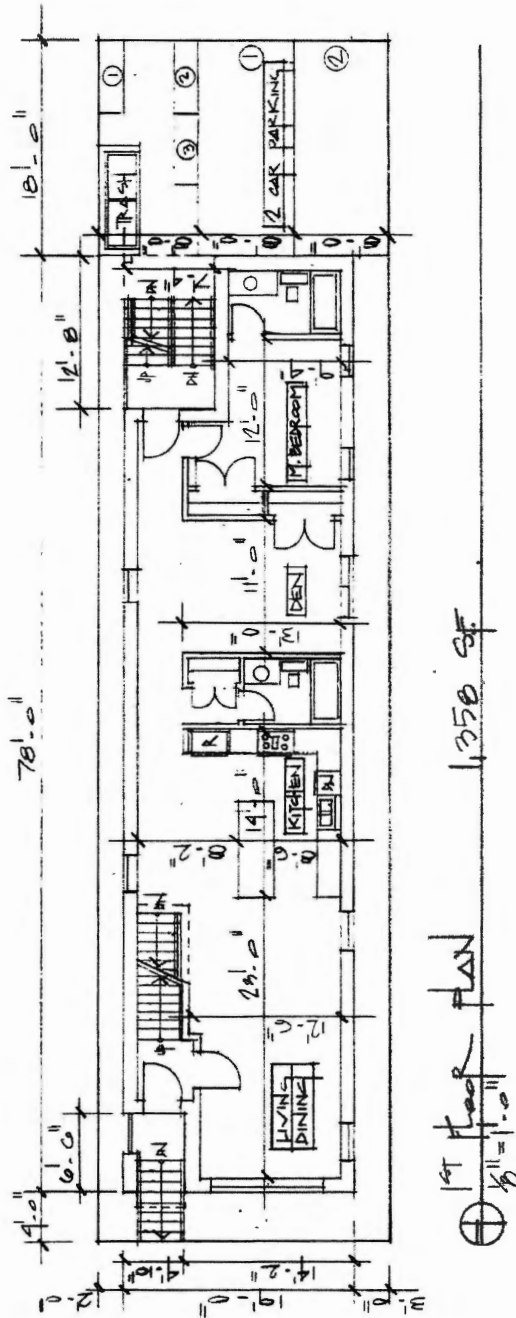
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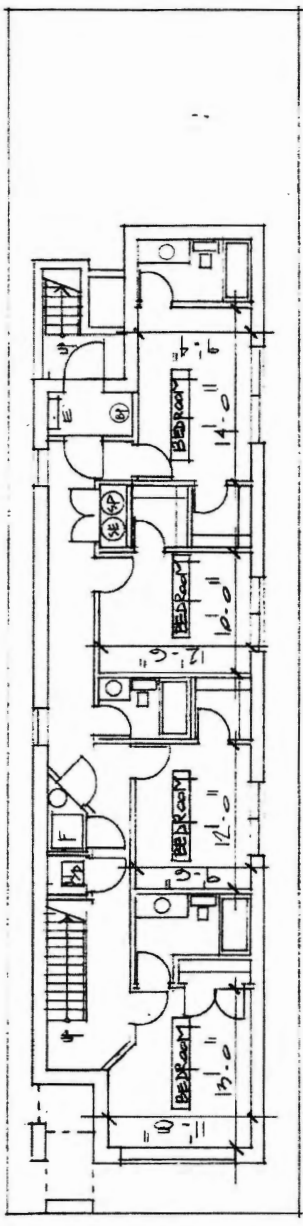
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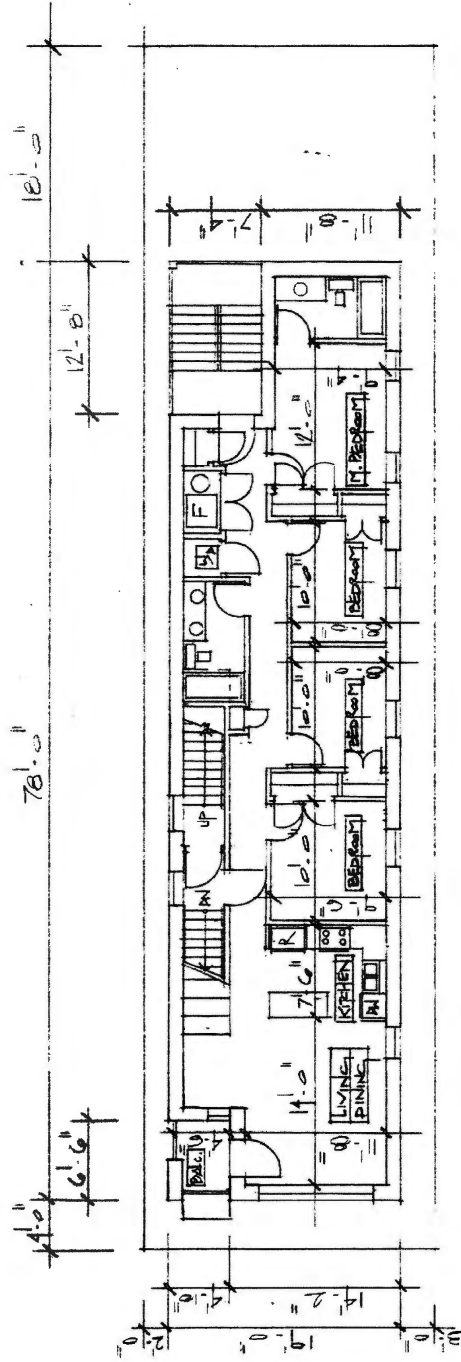


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⊕ 3-~~3~~ STORY APARTMENT FLOOR PLAN  
1/8" = 1'-0"

Final for Publication



⊕ 2nd Floor Plan  
 1/8" = 1'-0"  
 1,350 S.F.



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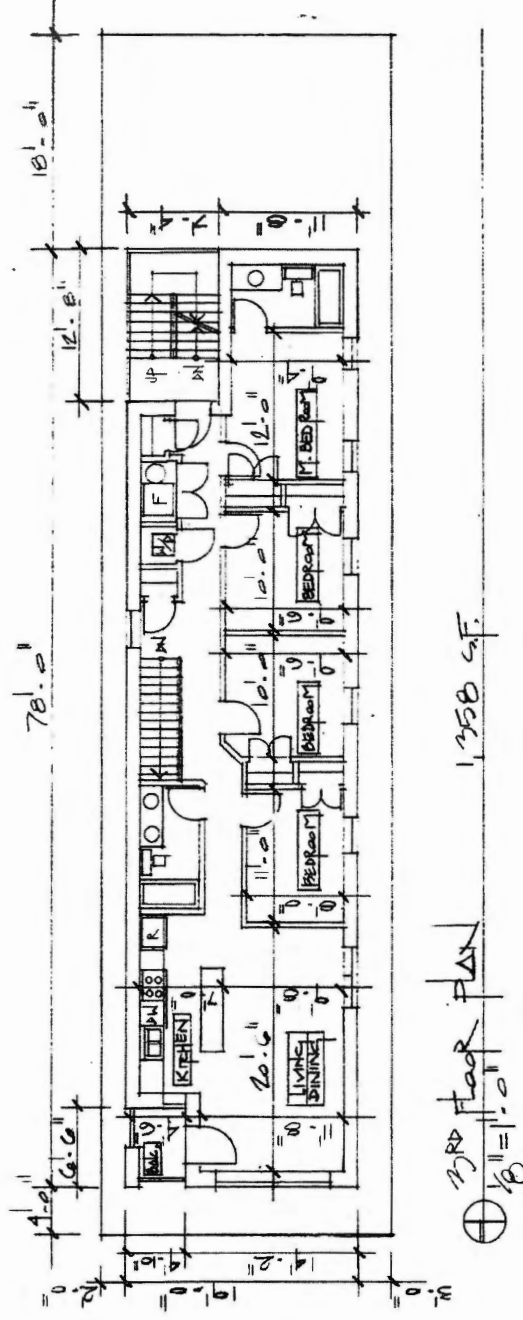
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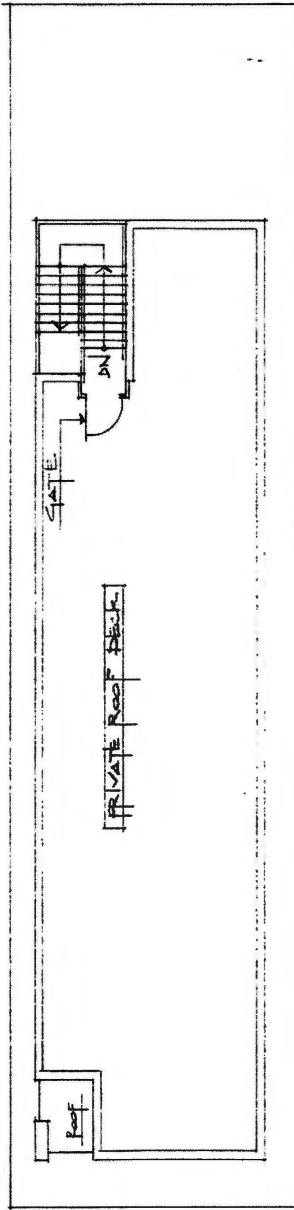
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LICENSE NUMBER 184-001465



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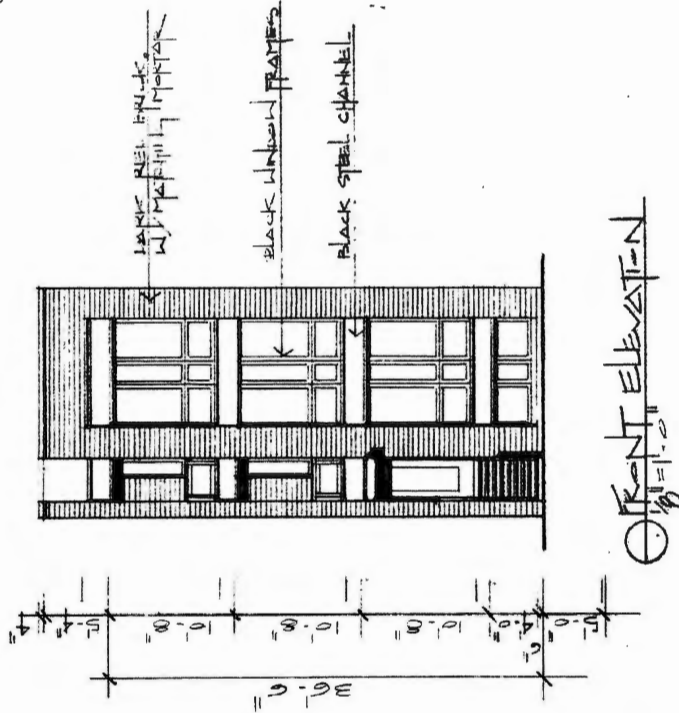



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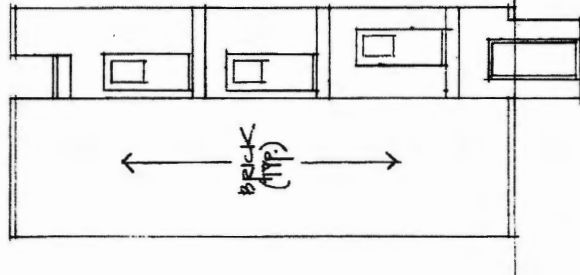
⊕ Roof PLAN  
1/8" = 1'-0"

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REAR ELEVATION  
1/8" = 1'-0"

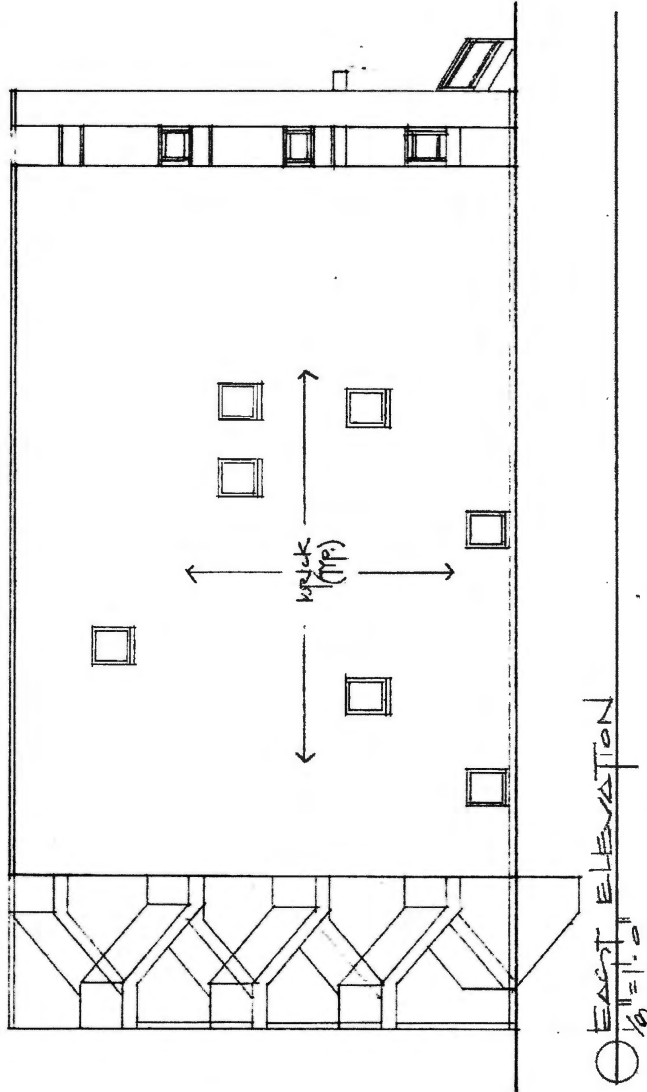


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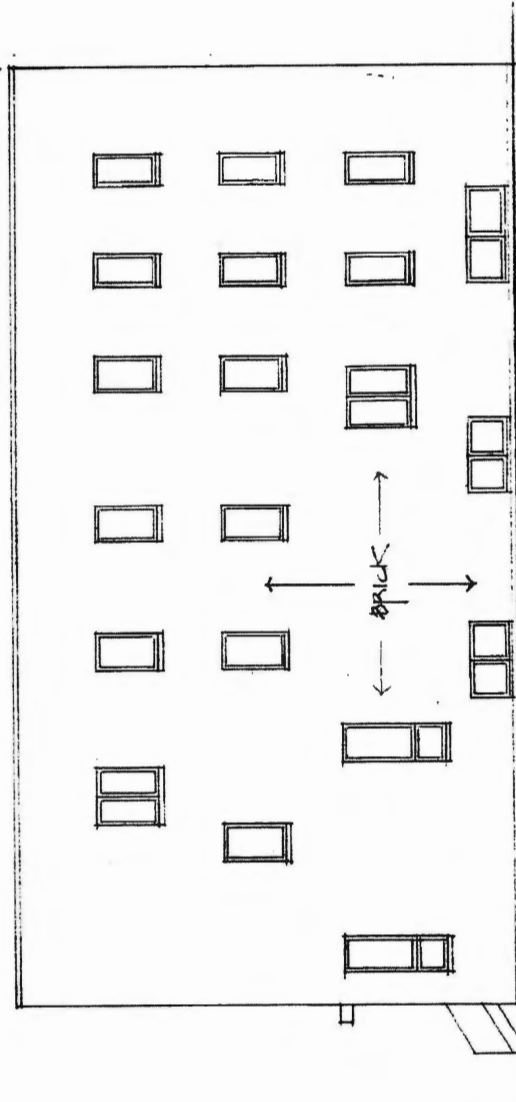
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WEST ELEVATION  
1/8" = 1'-0"

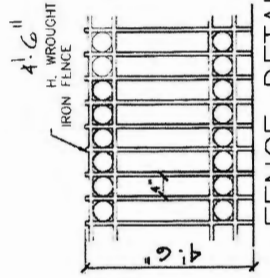
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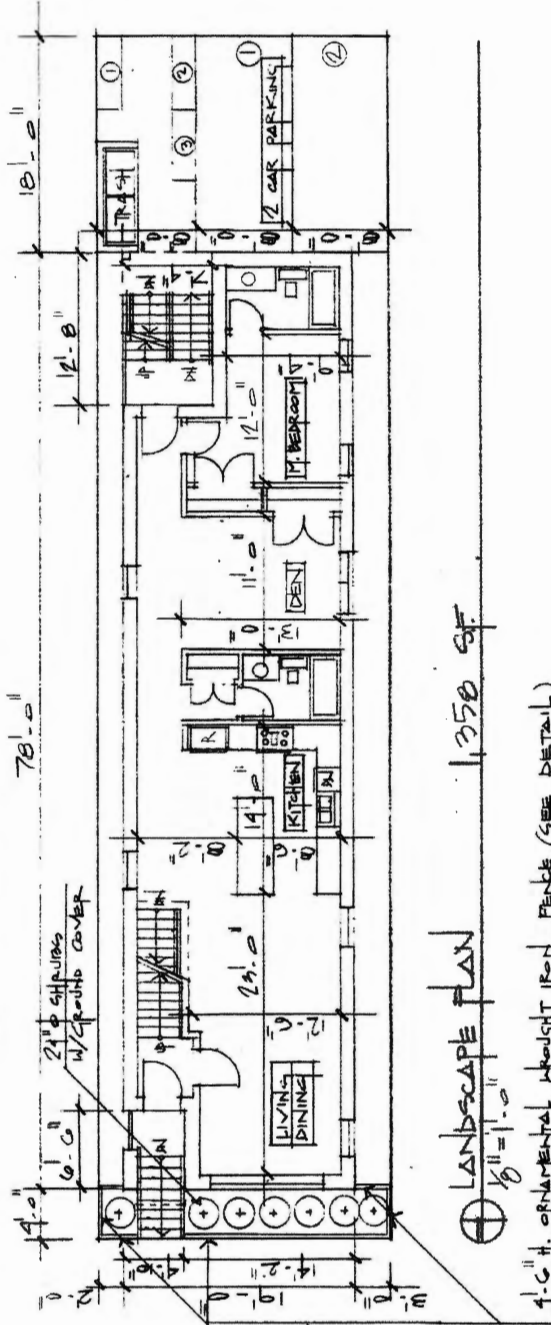
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FENCE DETAIL  
SCALE: 1/2" = 1'-0"



LANDSCAPE PLAN  
1/8" = 1'-0"  
1,350 SF

*Reclassification Of Area Shown On Map No. 3-F.*  
(Application No. 22444T1)  
(Common Address: 1528 N. LaSalle Dr.)

[O2024-0009543]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all the current RM5 Residential Multi-Unit District symbols and indications as shown on Map Number 3-F in the area bounded by:

a line 306.09 feet north of and parallel to West Burton Place; North LaSalle Drive; a line 281.09 feet north of and parallel to West Burton Place; and the public alley next west of and parallel to North LaSalle Drive,

to those of a B2-5 Neighborhood Mixed-Use District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

[Site Plan; 1<sup>st</sup>, 2<sup>nd</sup>, 3<sup>rd</sup>, 4<sup>th</sup> and Roof Existing/Demolition Plans; North, South, East and West Existing/Demolition Building Elevations; 1<sup>st</sup>, 2<sup>nd</sup>, 3<sup>rd</sup>, 4<sup>th</sup>, 5<sup>th</sup> and Roof Proposed Floor Plans; North, South, East and West Proposed Building Elevations; and Building Section A attached to this ordinance printed on pages 14942 through 14954 of this *Journal*.]

Type 1 Narrative Rezoning Analysis attached to this ordinance reads as follows:

**SUBSTITUTE NARRATIVE AND PLANS ATTACHMENT  
TYPE I Rezoning from RM-5 to B2-5  
1528 North LaSalle Drive**

**Final for Publication**

**The Project**

The property is improved with a four-story residential building with 4 residential dwelling units and no parking spaces. The Applicant seeks to rezone the property to allow rehabilitation of the existing building with a fifth-floor addition on the existing four-story building and a five-story addition to the rear of the existing building. The additions will allow for an increase in the number of units from four to a total of eight units. Three parking spaces will be added. The height of the building as rehabilitated will be 47.25 feet.

The property is located on the west side of North LaSalle Drive in an area that is primarily improved with multi-family buildings ranging in height from two stories to twenty stories or more. To allow the proposed development, the Applicant seeks a change in zoning classification for the subject property from the property's current RM-5 Residential Multi-Unit District to a B2-5 Neighborhood Mixed-Use District under a Mandatory Type I Map Amendment. The area has a mix of zoning classifications, including RM-5, RM6.5 and B3-5. It is improved with multiple buildings of similar or greater size, scale, and density to the subject building as proposed to be redeveloped. The property is a Transit Served Location per the Transit-Oriented Provisions of the Chicago Zoning Ordinance, Section 17-10-0102-B (1), as it is located on LaSalle Drive a designated bus line corridor in Table 17-17-0400-B, 1,400.18 feet from the CTA Sedgwick Brown Line Station, 2,108 feet from the CTA Division Red Line Station, and 467 feet from Clark Street and 442 feet from North Avenue both of which are designated bus line corridors in Table 17-17-0400-B. Accordingly, the property qualifies for a parking reduction under the Transit Served provision of the Zoning Ordinance

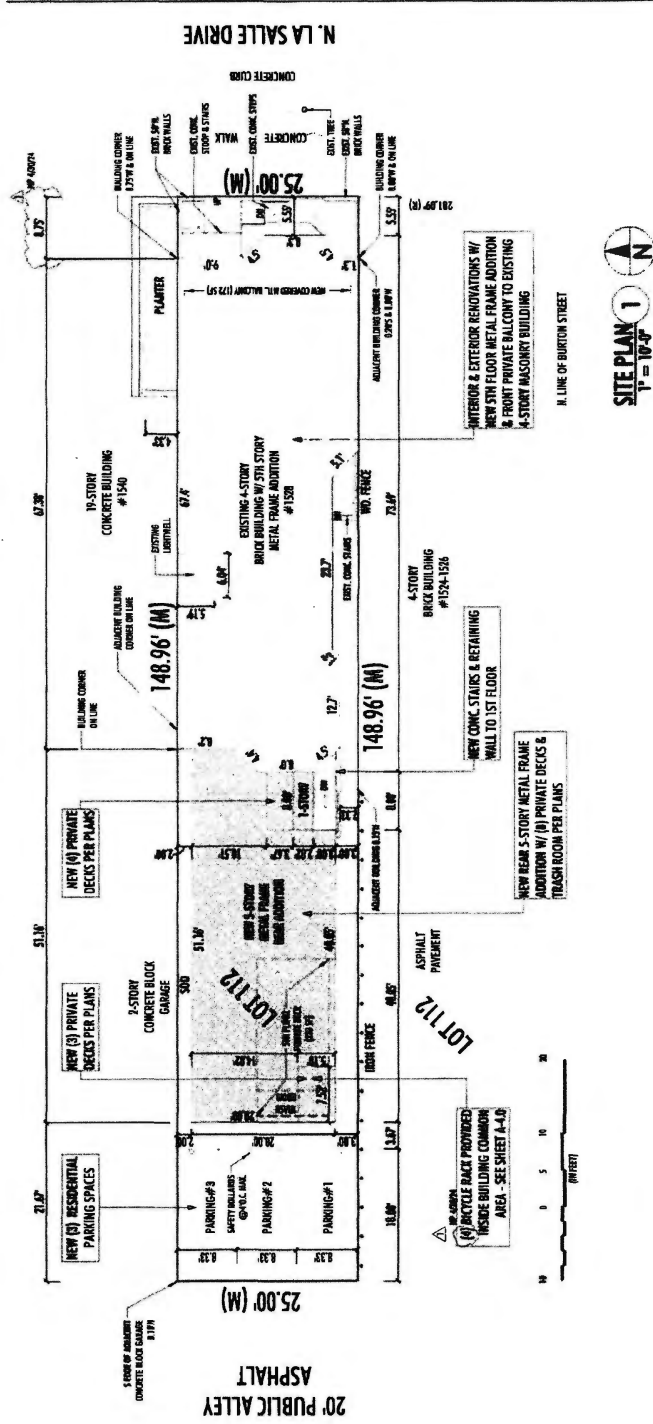
The Applicant also seeks as part of the Type 1 rezoning per Section 17-13-0303-D: 1) Variations under Section 17-13-1101-B to reduce the require front setback from 7.50 feet to 5.55 feet, the rear setback from 30.00 feet to 21.67 feet, and the north side and south side setbacks from 4.73 feet each to zero; and 2) a Variation 17-13-1003-EE to reduce the required parking from 4 spaces to 3 spaces.

The following are the relevant zoning parameters for the proposed project:

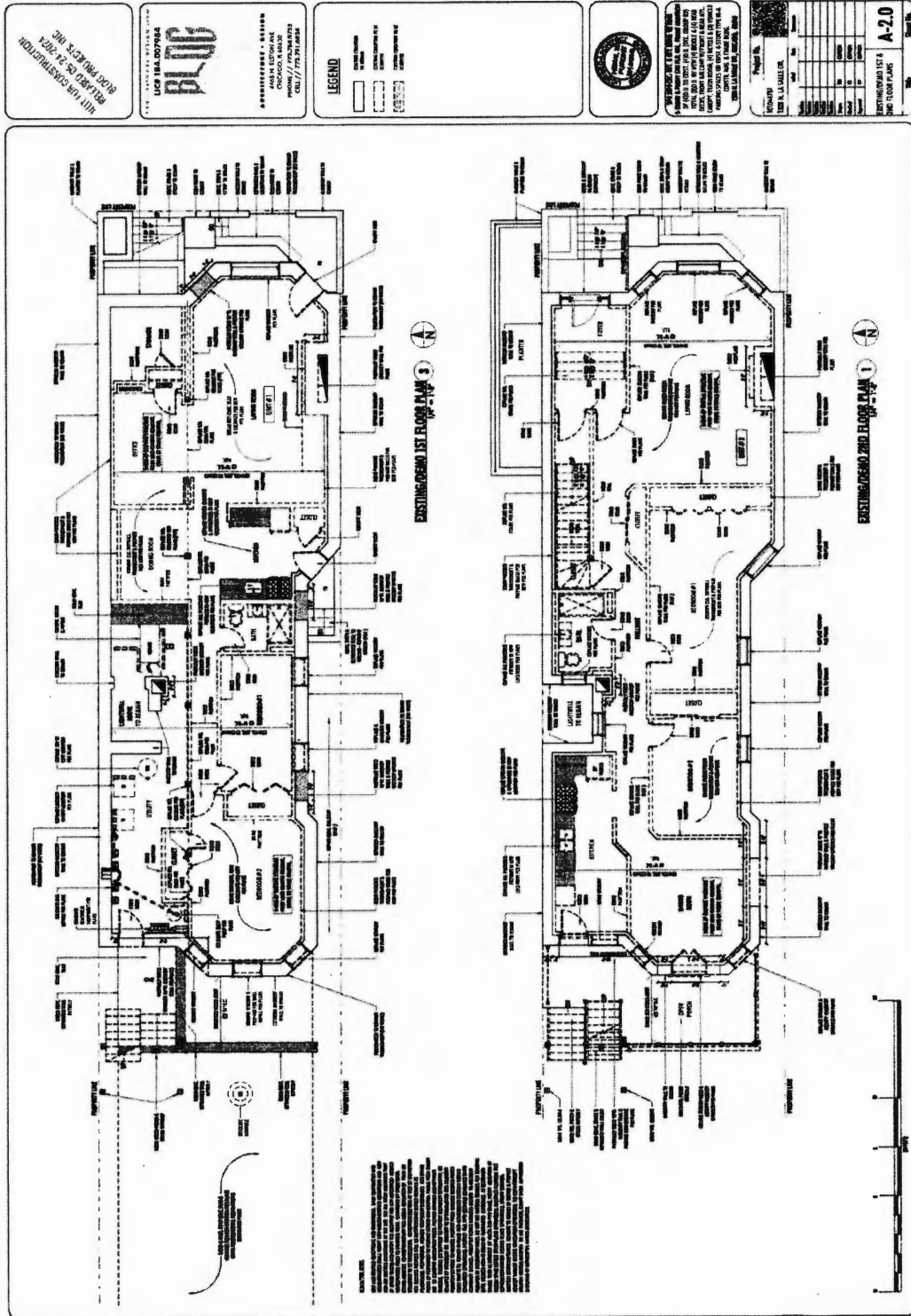
Lot Area:	3,724 square feet	
Floor Area:	12,694.96 square feet	
Maximum FAR:	3.41	
Residential Dwelling Units:	8	
MLA Density:	465.50 square feet	
Height (existing):	47.25 feet	
Bicycle Parking:	4 spaces	
Automobile Parking:	3*	
Setbacks:	Front (LaSalle Drive):	5.55 feet
	North Side:	None
	South Side:	None
	Rear (Alley):	21.67 feet

\*A set of plans, including a site plan showing the TSL distance of 1,400.18 feet to CTA Sedgwick Station.

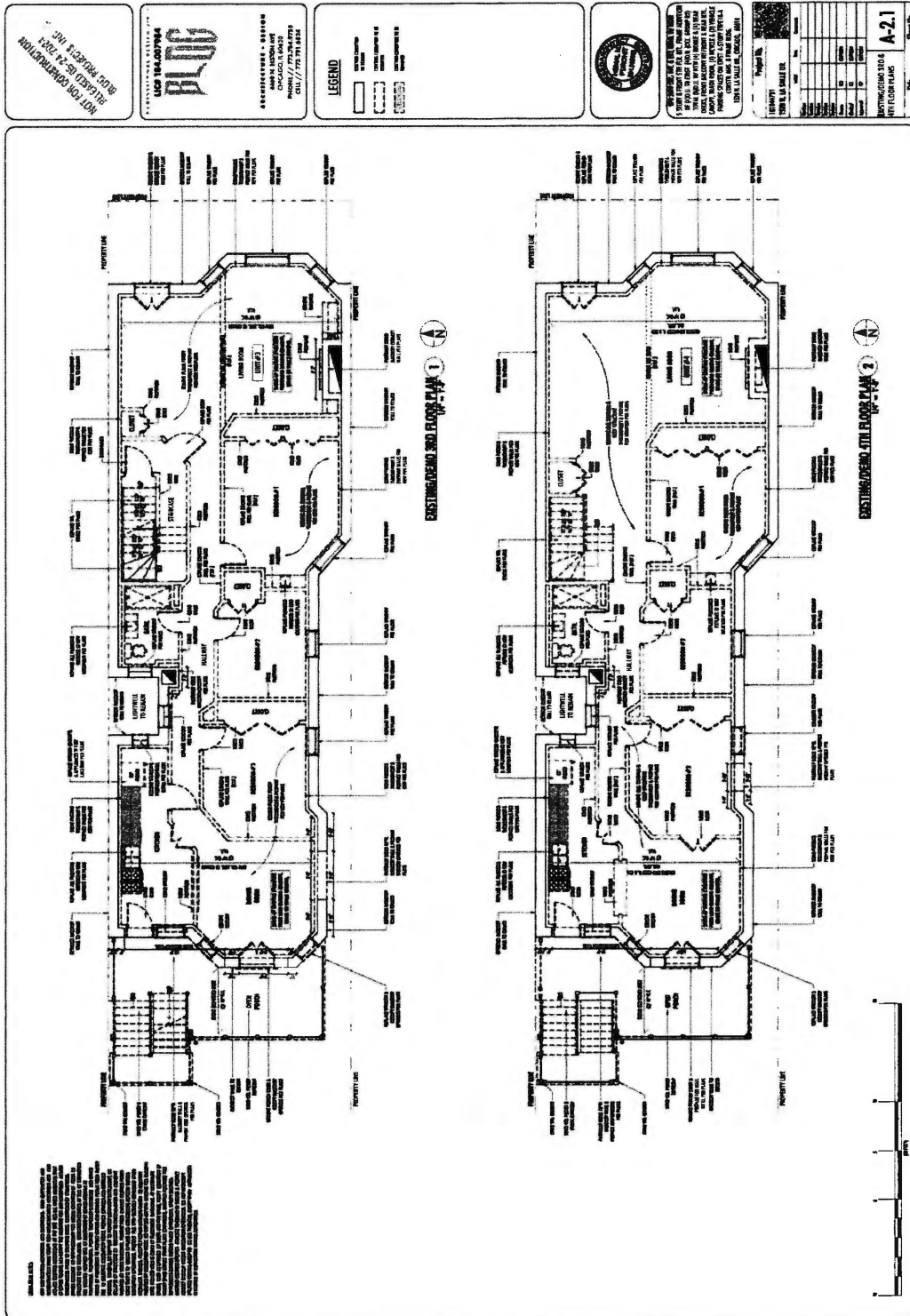
Final for Publication



Final for Publication

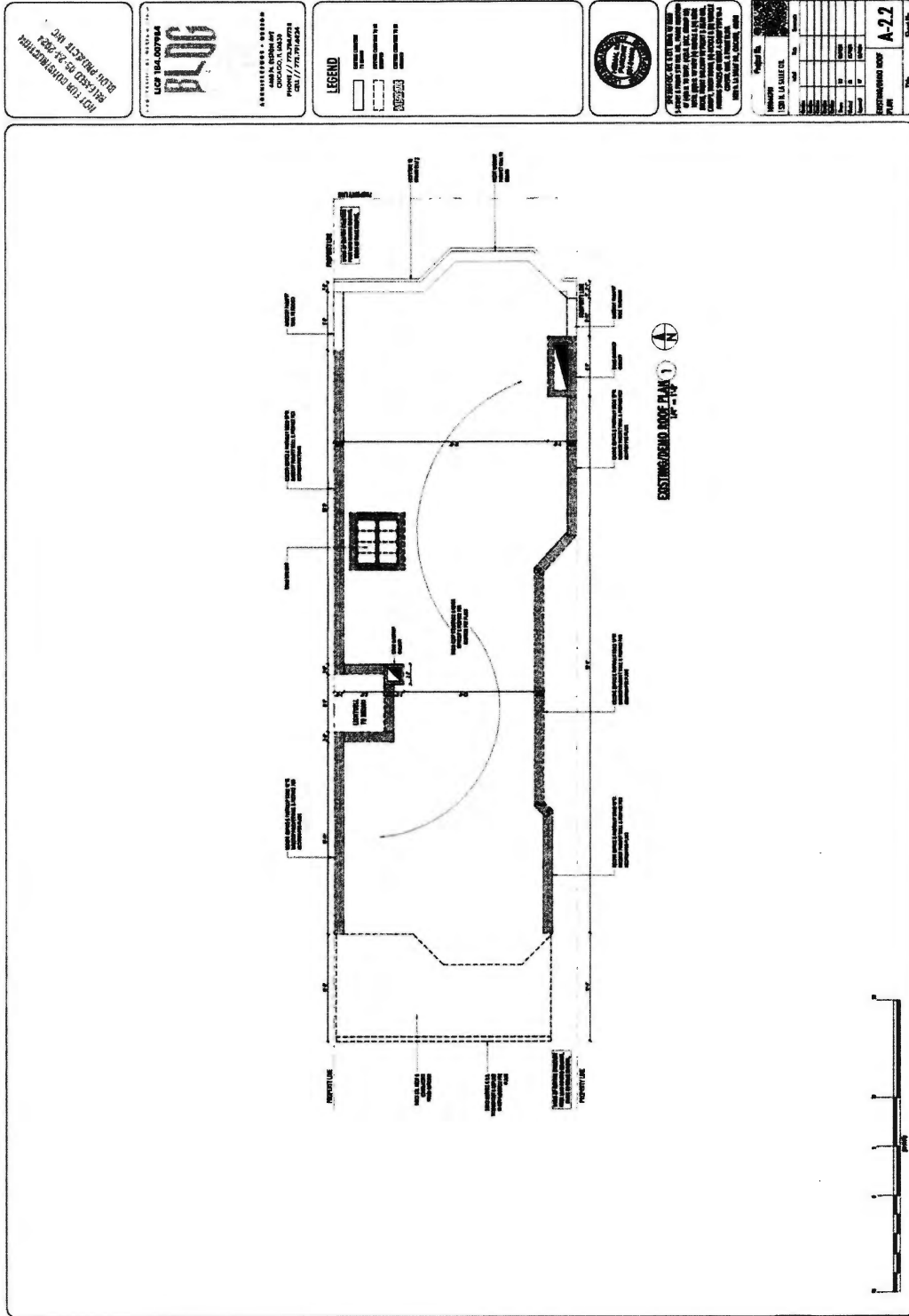


Final for Publication



NOTES: 1. ALL EXISTING WALLS AND PARTITIONS ARE TO REMAIN UNLESS OTHERWISE NOTED. 2. ALL PROPOSED WALLS AND PARTITIONS ARE TO BE CONCRETE MASONRY UNLESS OTHERWISE NOTED. 3. ALL DOORS AND WINDOWS ARE TO BE ALUMINUM UNLESS OTHERWISE NOTED. 4. ALL CEILING ARE TO BE SUSPENDED ACoustic CEILING UNLESS OTHERWISE NOTED. 5. ALL FLOORS ARE TO BE POLISHED CONCRETE UNLESS OTHERWISE NOTED. 6. ALL STAIRS ARE TO BE METAL DECK STAIRS UNLESS OTHERWISE NOTED. 7. ALL ELEVATORS ARE TO BE METAL DECK ELEVATORS UNLESS OTHERWISE NOTED. 8. ALL MECHANICAL ROOMS ARE TO BE METAL DECK MECHANICAL ROOMS UNLESS OTHERWISE NOTED. 9. ALL ELECTRICAL ROOMS ARE TO BE METAL DECK ELECTRICAL ROOMS UNLESS OTHERWISE NOTED. 10. ALL SANITARY ROOMS ARE TO BE METAL DECK SANITARY ROOMS UNLESS OTHERWISE NOTED. 11. ALL PLUMBING ARE TO BE METAL DECK PLUMBING UNLESS OTHERWISE NOTED. 12. ALL STRUCTURAL STEEL ARE TO BE A36 UNLESS OTHERWISE NOTED. 13. ALL STRUCTURAL CONCRETE ARE TO BE 4000 PSI UNLESS OTHERWISE NOTED. 14. ALL STRUCTURAL MASONRY ARE TO BE CMU UNLESS OTHERWISE NOTED. 15. ALL STRUCTURAL BRICK ARE TO BE BURNED BRICK UNLESS OTHERWISE NOTED. 16. ALL STRUCTURAL WOOD ARE TO BE SP4 UNLESS OTHERWISE NOTED. 17. ALL STRUCTURAL COPPER ARE TO BE C110 UNLESS OTHERWISE NOTED. 18. ALL STRUCTURAL GLASS ARE TO BE 1/2" CLEAR UNLESS OTHERWISE NOTED. 19. ALL STRUCTURAL INSULATION ARE TO BE R15 UNLESS OTHERWISE NOTED. 20. ALL STRUCTURAL SOUNDING ARE TO BE 5/8" UNLESS OTHERWISE NOTED. 21. ALL STRUCTURAL VIBRATION ARE TO BE 1/2" UNLESS OTHERWISE NOTED. 22. ALL STRUCTURAL AIR ARE TO BE 1/2" UNLESS OTHERWISE NOTED. 23. ALL STRUCTURAL LIGHT ARE TO BE 1/2" UNLESS OTHERWISE NOTED. 24. ALL STRUCTURAL SOUND ARE TO BE 5/8" UNLESS OTHERWISE NOTED. 25. ALL STRUCTURAL VIBRATION ARE TO BE 1/2" UNLESS OTHERWISE NOTED. 26. ALL STRUCTURAL AIR ARE TO BE 1/2" UNLESS OTHERWISE NOTED. 27. ALL STRUCTURAL LIGHT ARE TO BE 1/2" UNLESS OTHERWISE NOTED. 28. ALL STRUCTURAL SOUND ARE TO BE 5/8" UNLESS OTHERWISE NOTED. 29. 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Final for Publication



Final for Publication

101 P&A CONSTRUCTION  
1815 PEARSON ST.  
CHICAGO, IL 60647

CONSTRUCTION DESIGN  
LIC# 184.007764  
**BLOG**

ARCHITECTS • DESIGN  
4416 N. LEXINGTON  
CHICAGO, IL 60647  
PHONE // 773.284.8773  
FAX // 773.284.8854

**LEGEND**

- EXISTING
- PROPOSED
- REVISIONS

DATE: 07/17/2024  
PROJECT: 101 P&A CONSTRUCTION  
SHEET: A-3.0  
DRAWN BY: JMS  
CHECKED BY: JMS

**EXISTING WEST ELEVATION**

**EXISTING EAST ELEVATION**

**NOTES:**

- EXISTING WEST ELEVATION
- EXISTING EAST ELEVATION


Final for Publication

KT CONSULTING  
ARCHITECTURE INC.  
4540 S. LAMAR BL. SUITE 100  
CHICAGO, IL 60609  
TEL: 773.644.1234

**BLOG**  
ARCHITECTURE  
ARCHITECTURAL DESIGN  
CHICAGO, ILLINOIS  
1000 N. LA SALLE ST.  
CHICAGO, IL 60610  
TEL: 773.644.1234

**LEGEND**

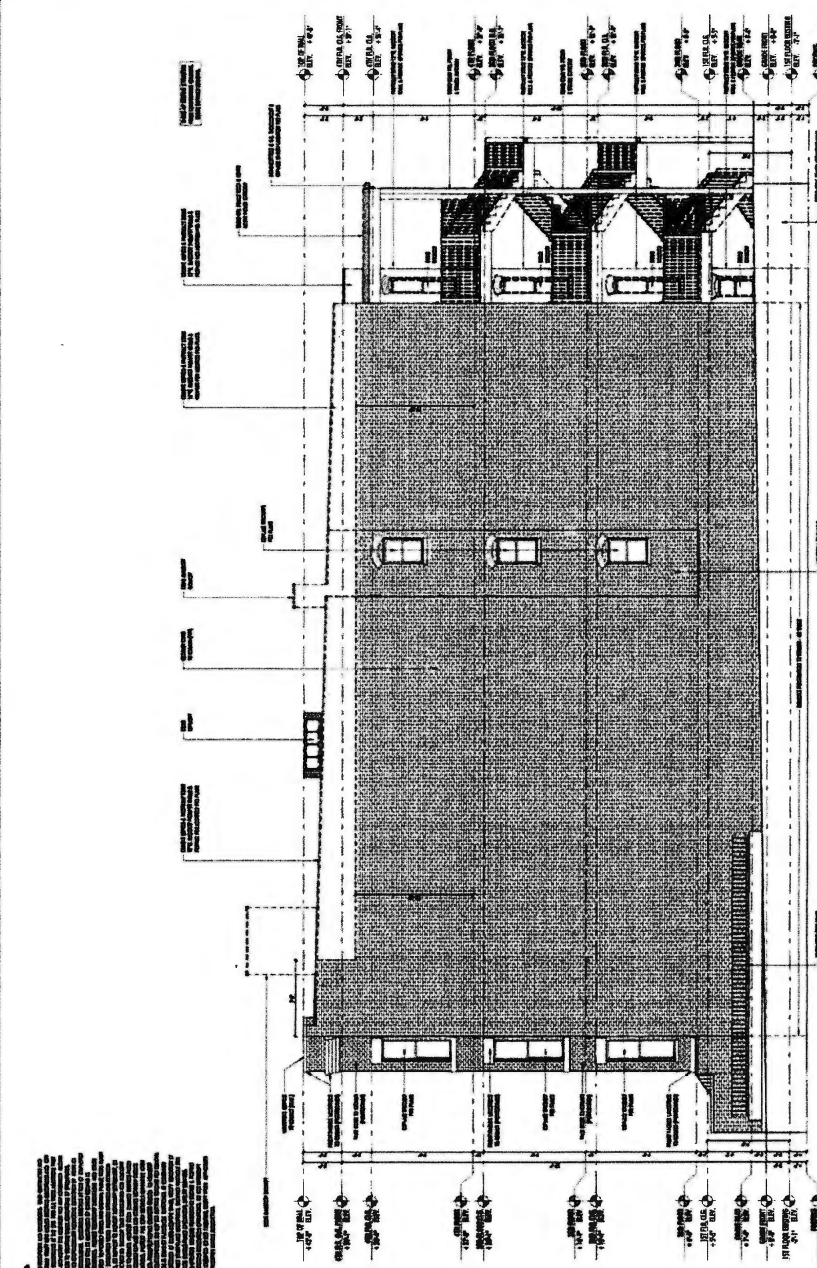
- ARCHITECTURAL FINISH
- EXISTING FINISH
- EXISTING STRUCTURE
- EXISTING UTILITIES
- EXISTING ROOF
- EXISTING GRADE
- EXISTING ELEVATION



STATE OF ILLINOIS  
OFFICE OF THE ARCHITECT  
NO. 037442-00  
JAMES M. HANCOCK  
ARCHITECT  
CHICAGO, ILLINOIS

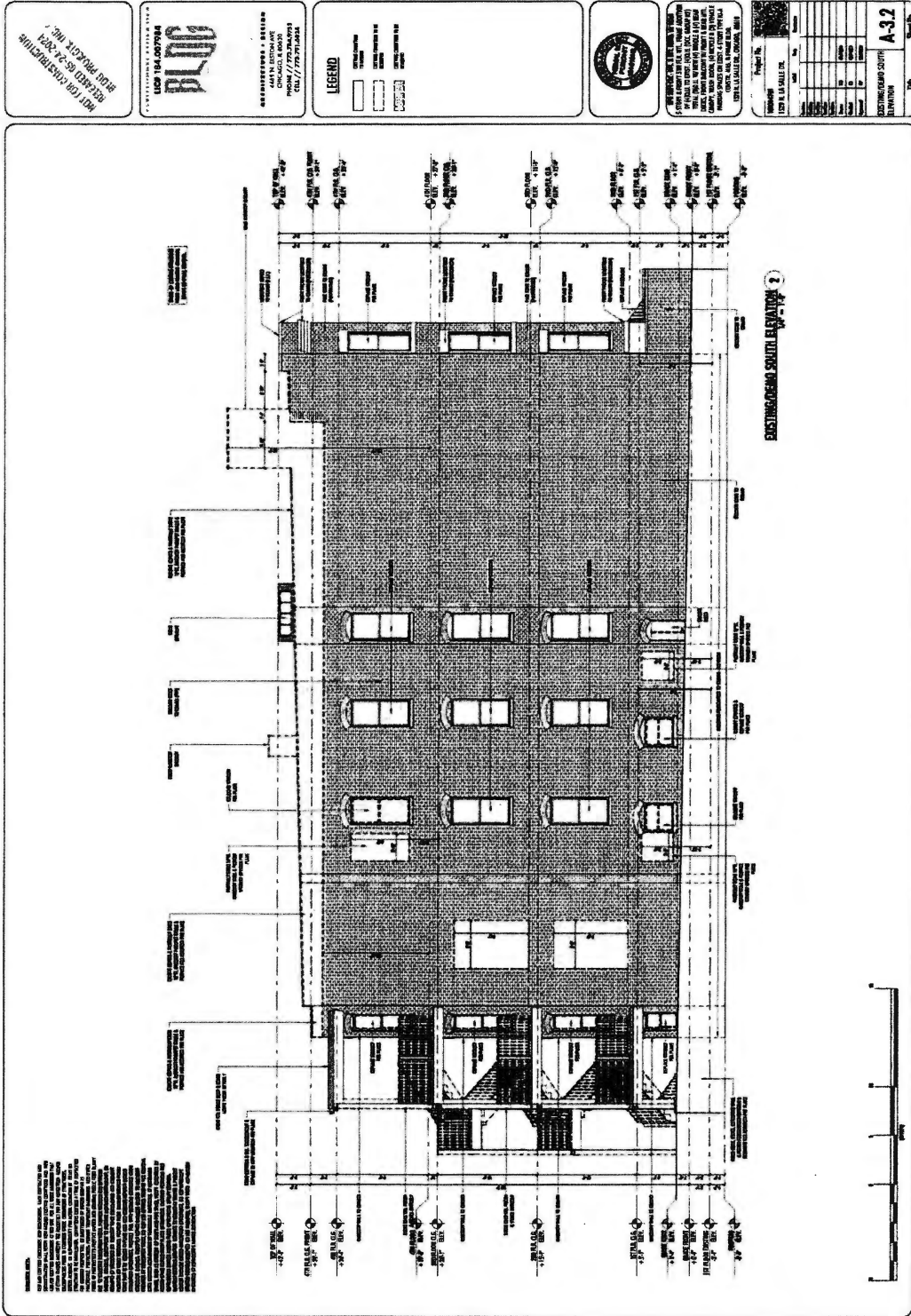
NO.	REVISION	DATE
1	ISSUED FOR PERMIT	07/17/2024
2	FOR REVIEW	07/17/2024
3	FOR REVIEW	07/17/2024
4	FOR REVIEW	07/17/2024
5	FOR REVIEW	07/17/2024
6	FOR REVIEW	07/17/2024
7	FOR REVIEW	07/17/2024
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16	FOR REVIEW	07/17/2024
17	FOR REVIEW	07/17/2024
18	FOR REVIEW	07/17/2024
19	FOR REVIEW	07/17/2024
20	FOR REVIEW	07/17/2024

Project No. 2024-001  
100 N. LA SALLE ST.  
CHICAGO, IL 60610  
ELEVATION A-3.1  
Scale: 1/8" = 1'-0"

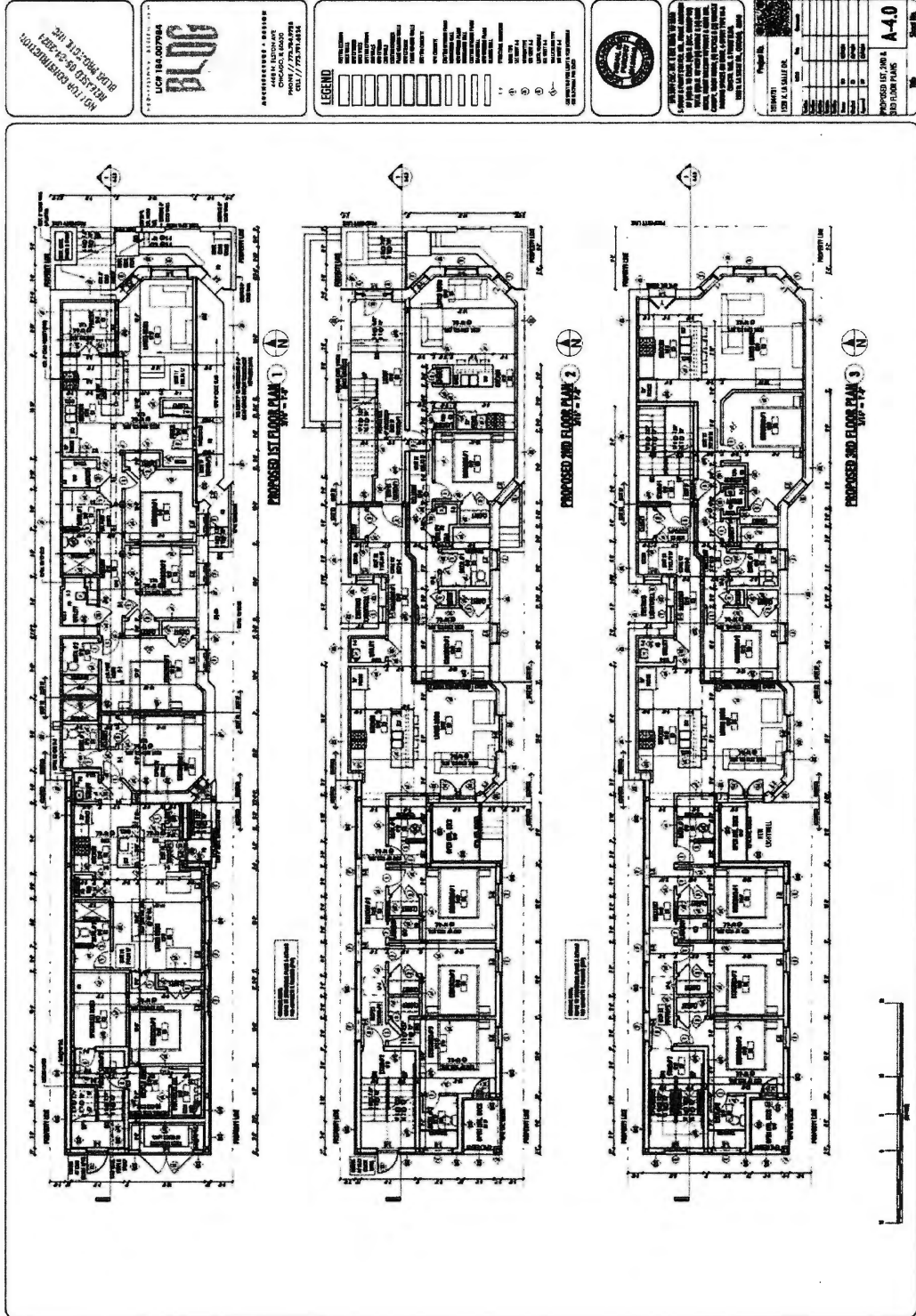


**EASTINGWOOD NORTH ELEVATION 2**

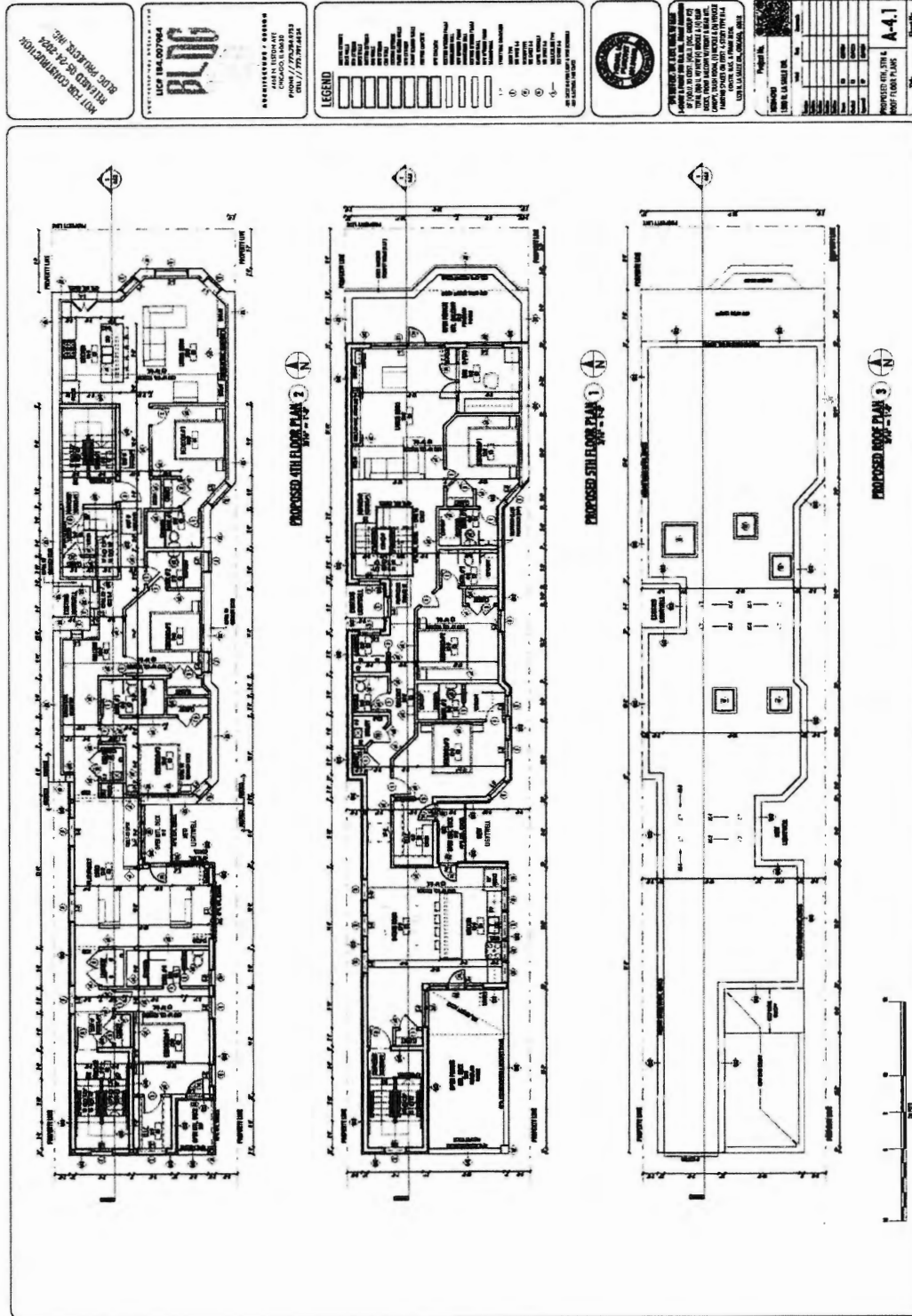
Final for Publication



Final for Publication



Final for Publication



MR. JACOBSON  
BLDG. PROJECTS, INC.

14950 S. LA SALLE ST.  
**BLDG.**  
ARCHITECTURE • DESIGN  
JACOBSON  
PHONE: (773) 224-4173  
CELL: (773) 224-4134

**LEGEND**

DOOR  
WINDOW  
PARTITION  
CORNER  
STAIR  
ELEVATOR  
MECHANICAL  
ELECTRICAL  
PLUMBING  
FURNITURE  
EQUIPMENT  
CLOSET  
CABINETS  
SINK  
TOILET  
SHOWER  
TUB  
BATHTUB  
STOVE  
REFRIGERATOR  
CUPBOARD  
SINK  
TOILET  
SHOWER  
TUB  
BATHTUB  
STOVE  
REFRIGERATOR  
CUPBOARD

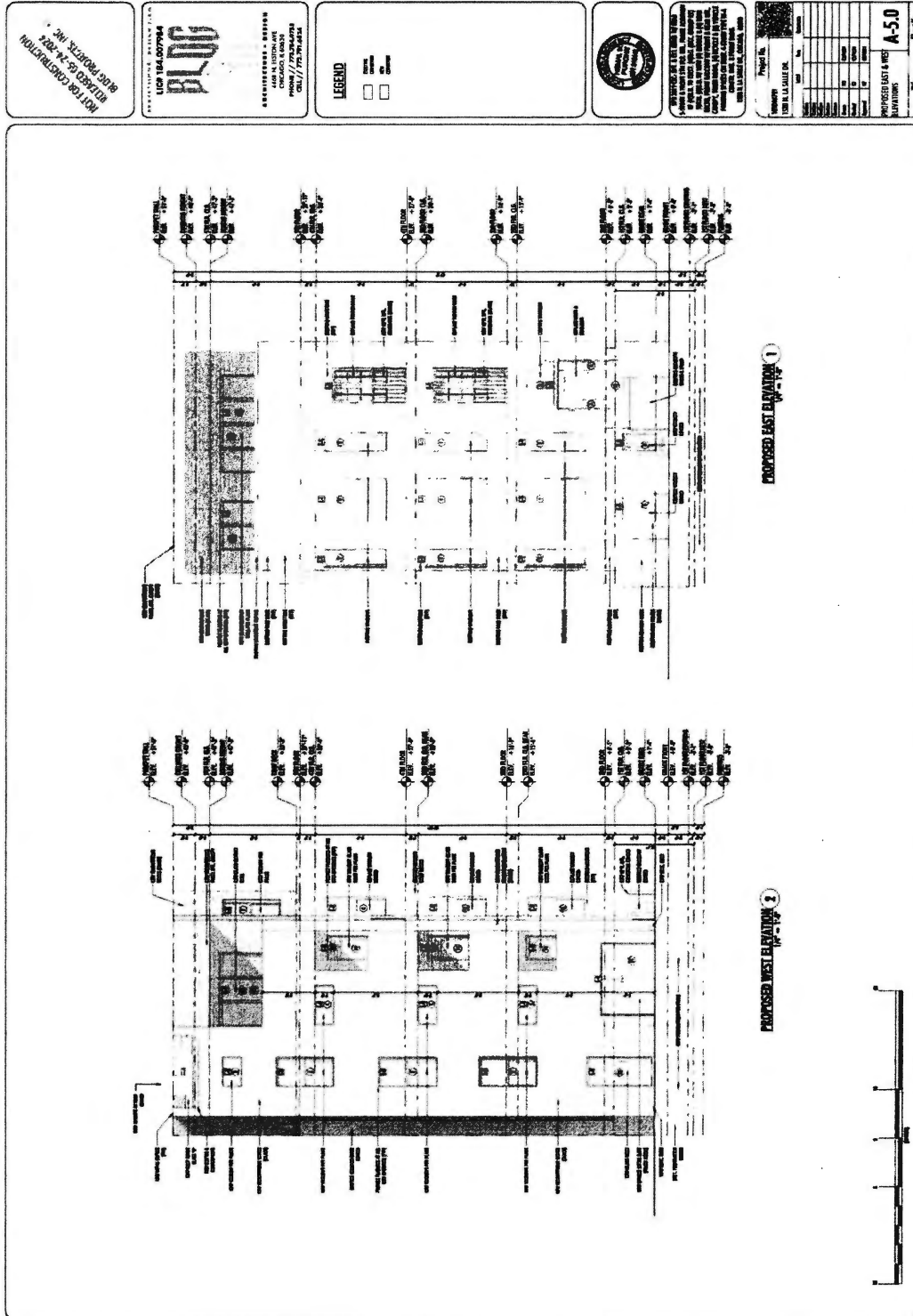


FOR THE RECORD, THE CITY ENGINEER HAS REVIEWED THIS PLAN AND HAS FOUND IT TO BE IN ACCORDANCE WITH THE CITY ENGINEERING DEPARTMENT'S REQUIREMENTS FOR THE RECORD. THIS REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE PLAN AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED HEREON.

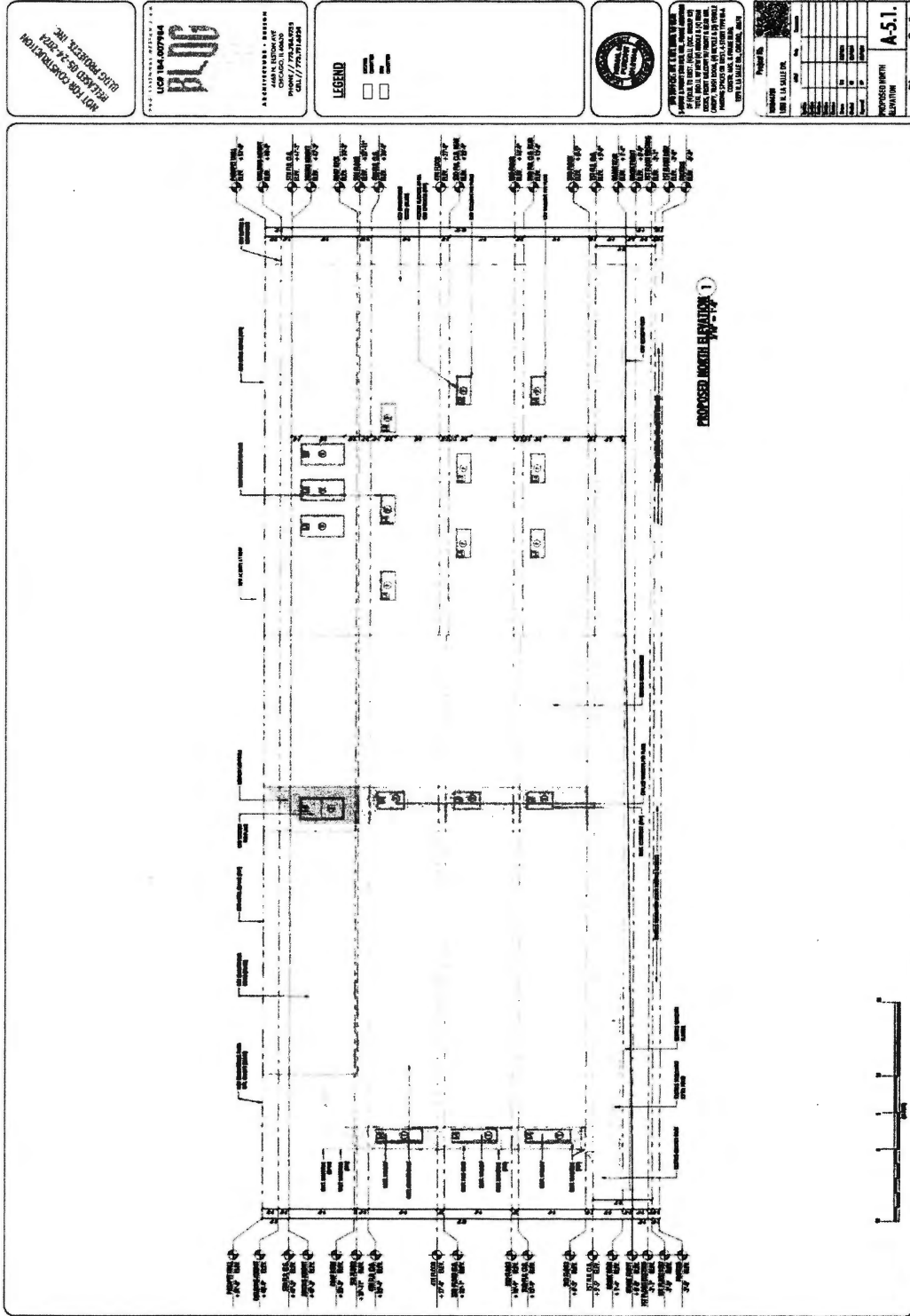
NO.	DATE	DESCRIPTION
1	7/17/2024	ISSUED FOR PERMIT

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Sheet No. A-4.1  
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Date: 7/17/2024

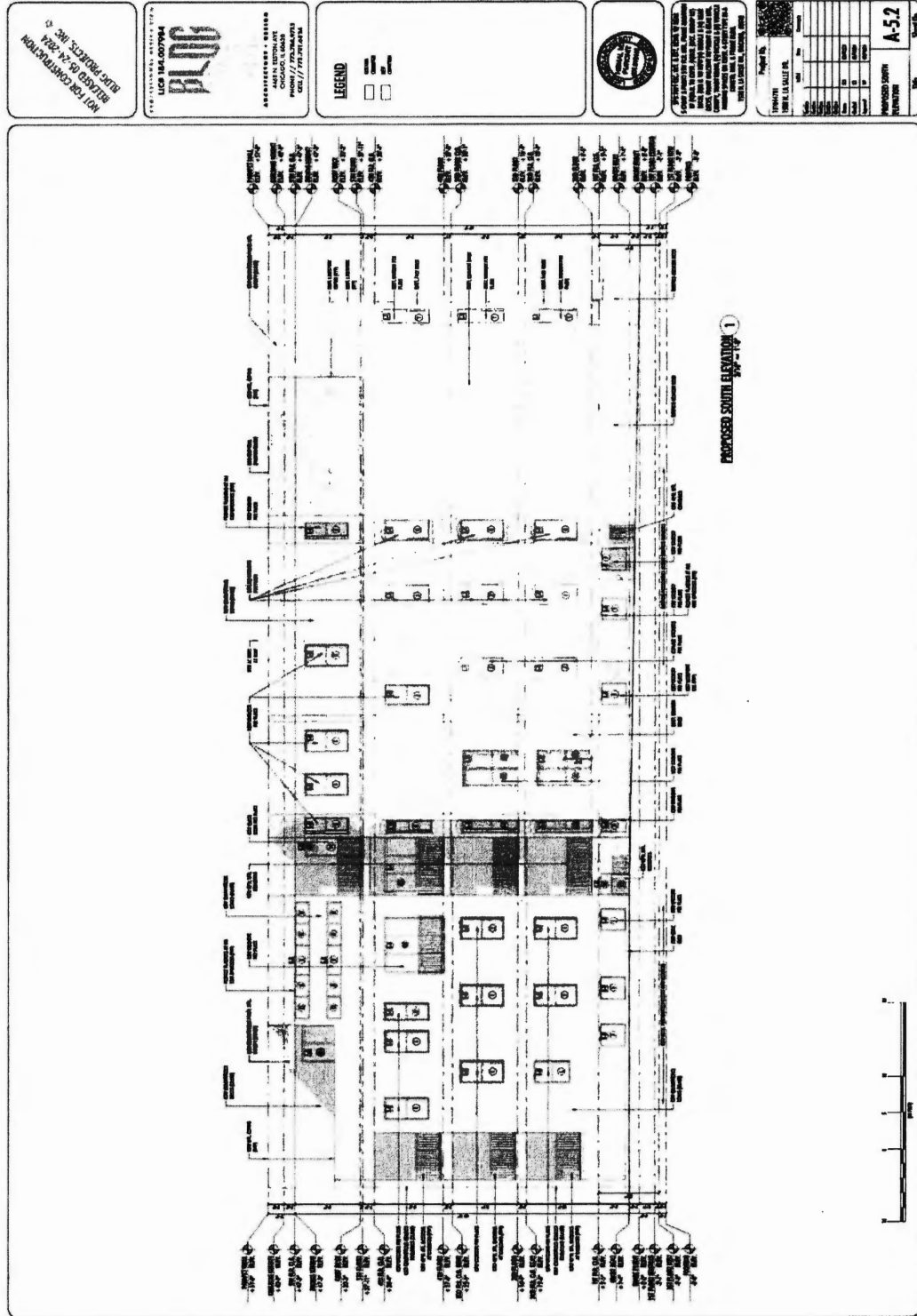
Final for Publication



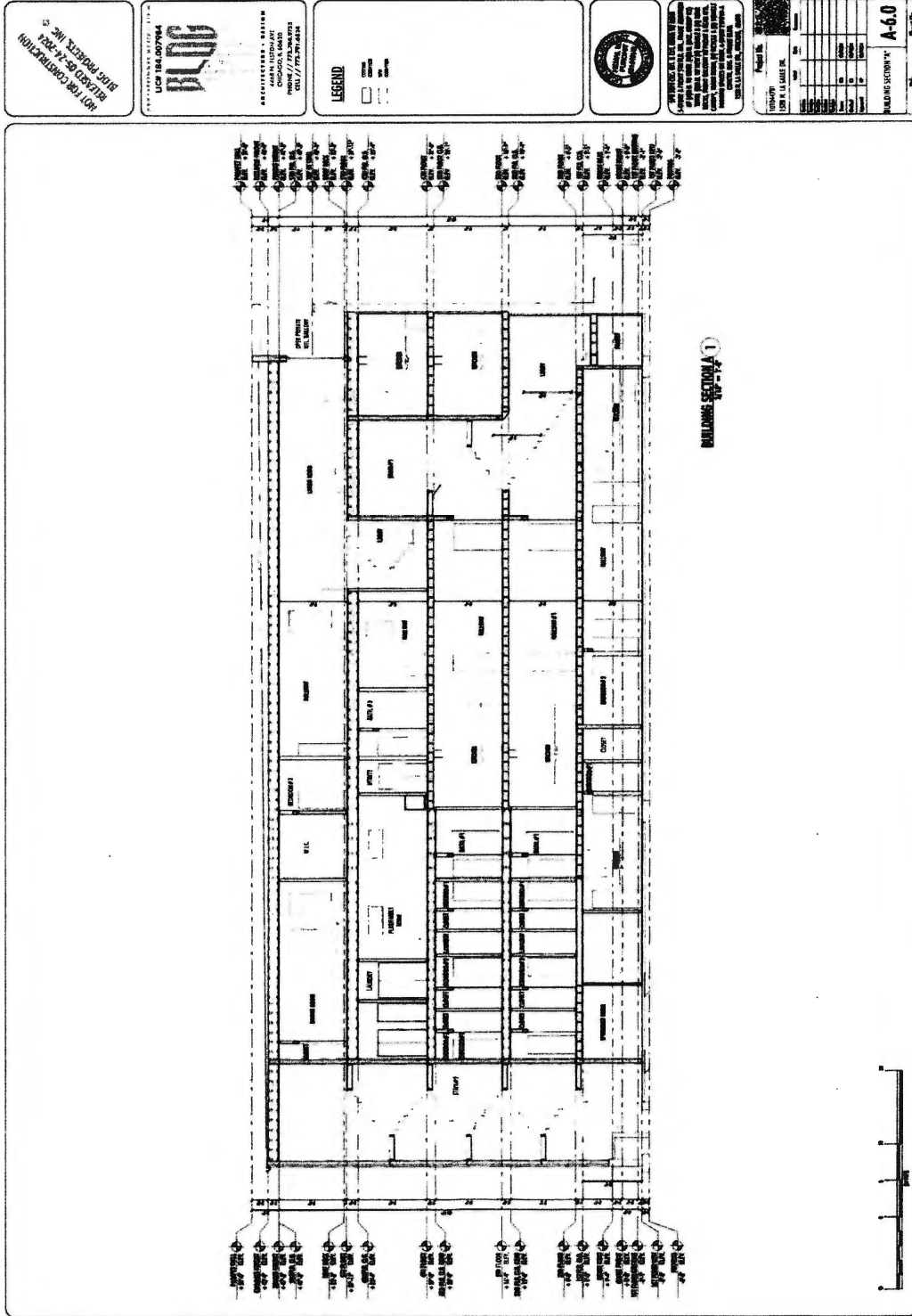
Final for Publication



Final for Publication



Final for Publication



*Reclassification Of Area Shown On Map No. 3-I.*

(Application No. 22446T1)

(Common Address: 2616 W. Haddon Ave.)

[O2024-0009451]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the RS3 Residential Single-Unit (Detached House) District symbols as shown on Map Number 3-I in the area bounded by:

the public alley next north of and parallel to West Haddon Avenue; a line 154.25 feet west of and parallel to North Rockwell Street; West Haddon Avenue; and a line 179.25 feet west of and parallel to North Rockwell Street,

to those of an RT4 Residential Two-Flat, Townhouse and Multi-Unit District.

SECTION 2. This ordinance takes effect after its passage and due publication.

[Site Plans; Basement, First, Second and Third Floor Plans;  
Roof Plan; and North, South, East and West Building  
Elevations attached to this ordinance printed  
on pages 14957 through 14967  
of this *Journal*.]

Type 1 Narrative Rezoning Analysis attached to this ordinance reads as follows:

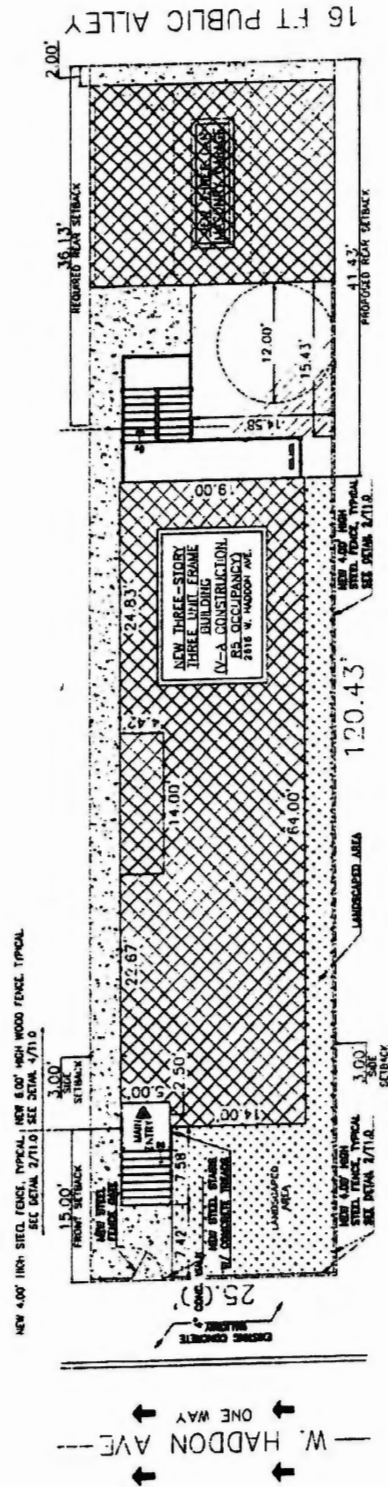
FINAL FOR PUBLICATION

**A NARRATIVE AND PLANS FOR TYPE 1 ZONING AMENDMENT FOR  
2616 WEST HADDON AVE., CHICAGO  
REZONING FROM RS3 TO RT4**

The subject property is currently improved with a residential building, which the Applicant proposes to demolish. The Applicant needs a zoning change to comply with the use table and the standards and the bulk and density requirements of the RT4 District to redevelop this property with a new 3-story residential building with 3 dwelling units and with 3 on-site parking spaces.

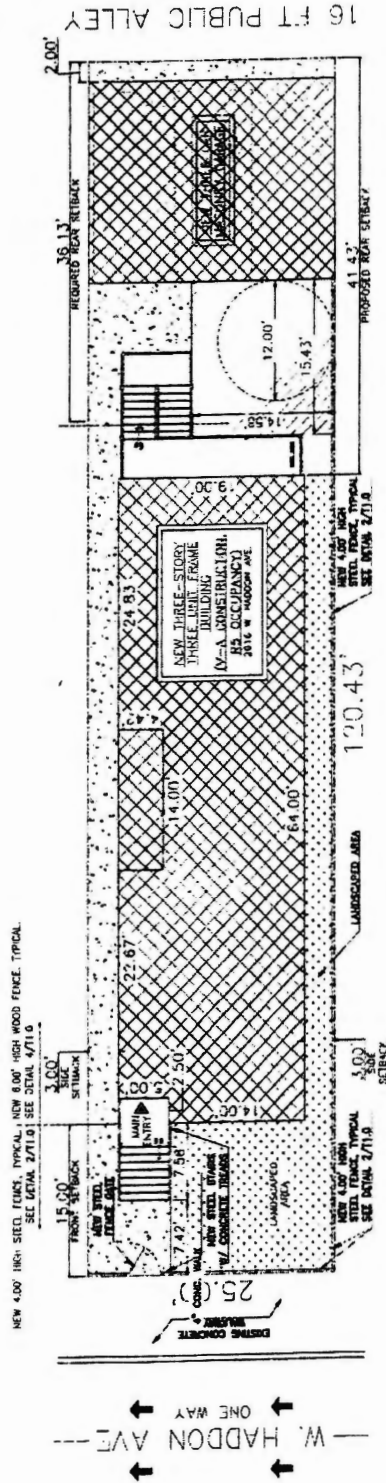
Project Description:	Zoning Change from an RS3 Residential Single-Unit (Detached House) District to an RT4 Residential Two-Flat, Townhouse and Multi-Unit District.
Use:	Residential Building with 3 dwelling units
Lot Area:	25' x 120.43' = 3,010.75 SF (recorded measurements)
Floor Area Ratio:	1.2
Floor Area:	3,610.50 SF
Density:	1,003.58 Square Feet per DU Unit
Off- Street parking:	Parking spaces: 3
Setbacks:	Front: 15' Side Setbacks: east: 3' and west 3' Rear: 36.13' Rear Yard Open Space: 227.59 SF
Building Height:	35 Feet (per plans attached)

FINAL FOR PUBLICATION

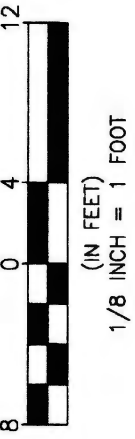


**SITE PLAN**  
 SCALE: 1/16"=1'-0"

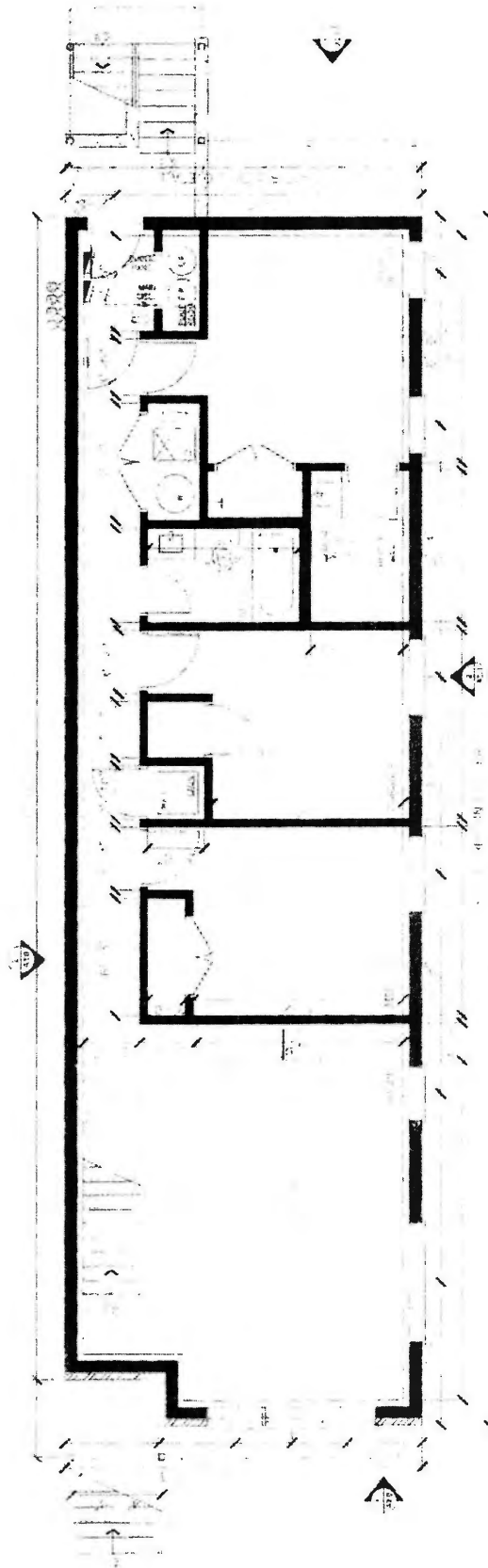
PREPARED FOR PUBLICATION



SITE PLAN  
SCALE: 1/16"=1'-0"

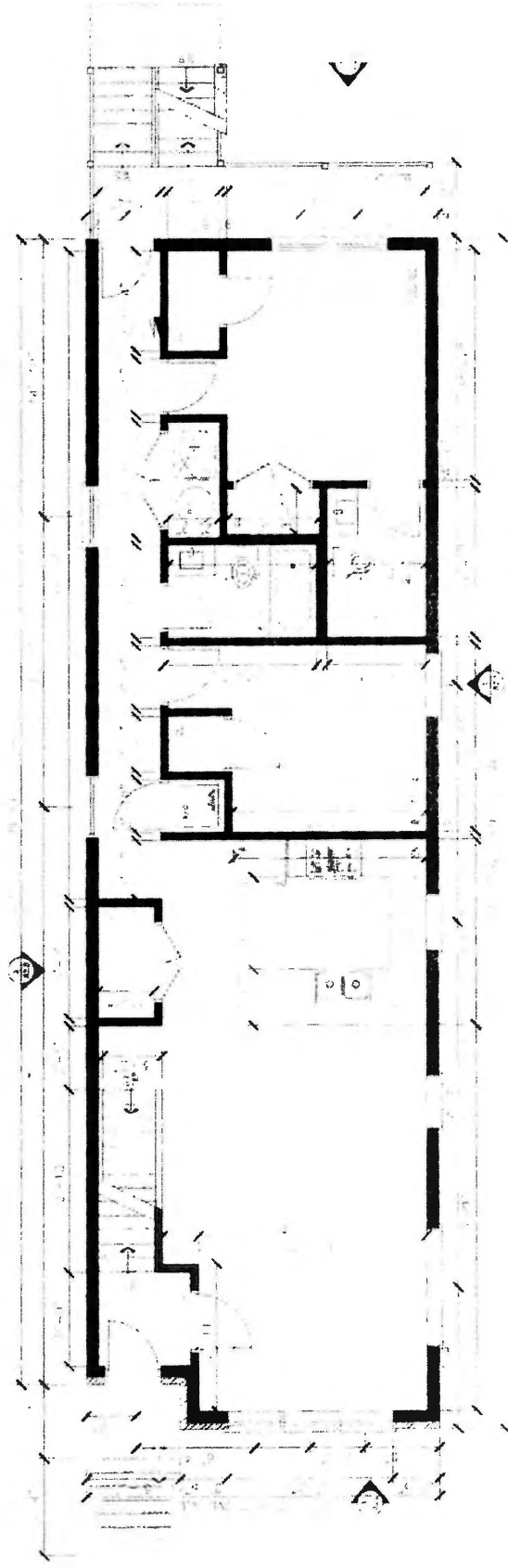
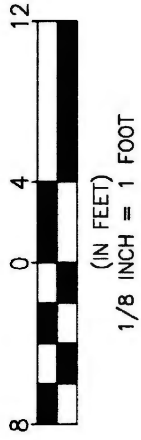


PLANS FOR PUBLICATION



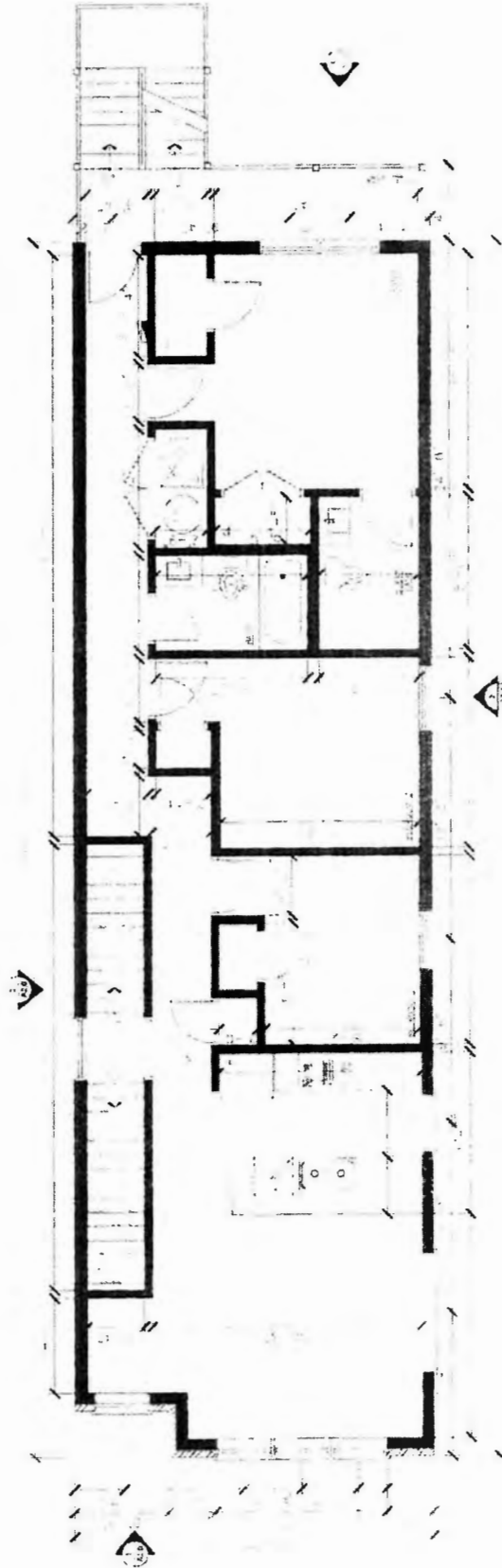
**BASEMENT FLOOR PLAN**  
SCALE: 1/8"=1'-0"

FOR PUBLICATION



FIRST FLOOR PLAN  
SCALE: 1/8"=1'-0"

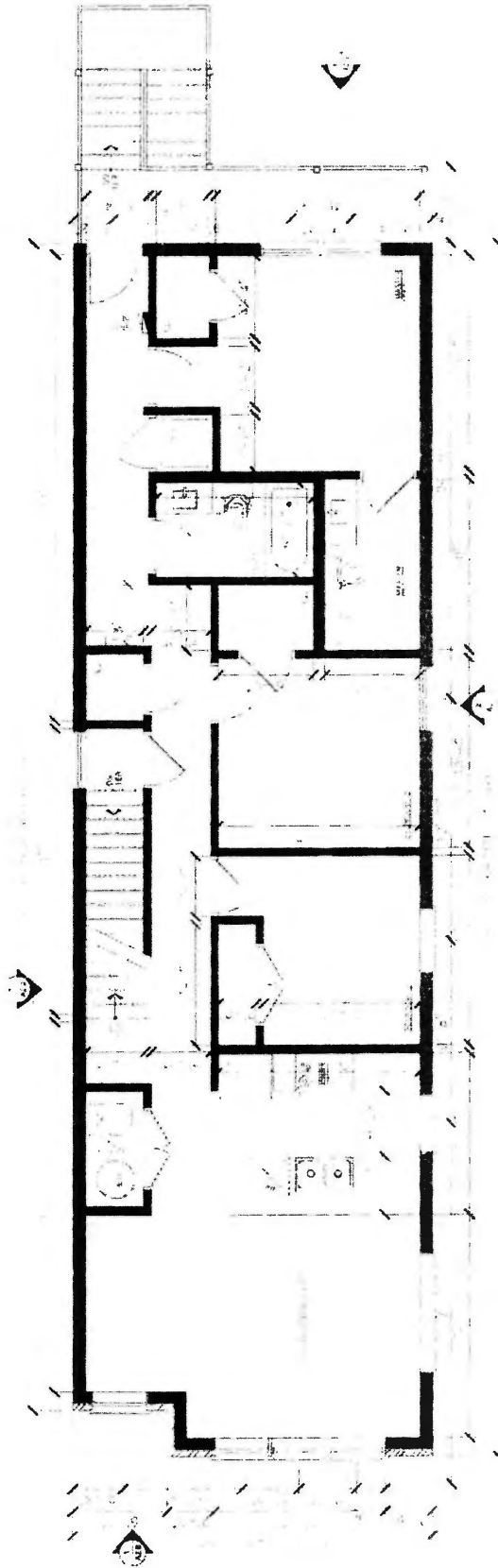
FOR PUBLICATION



SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"

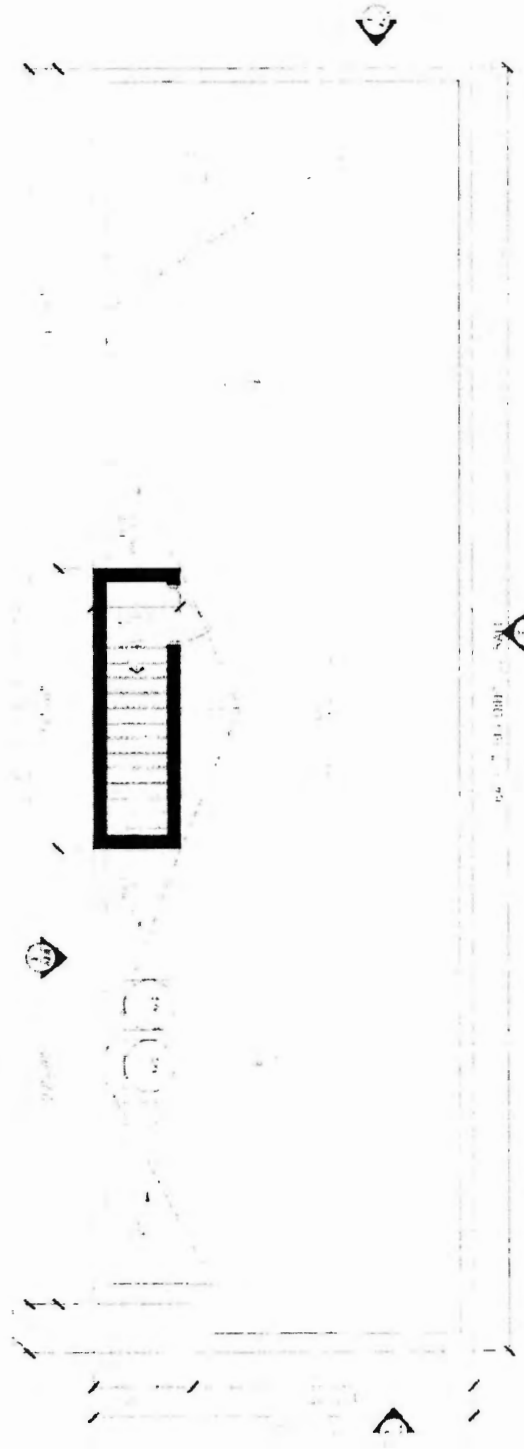
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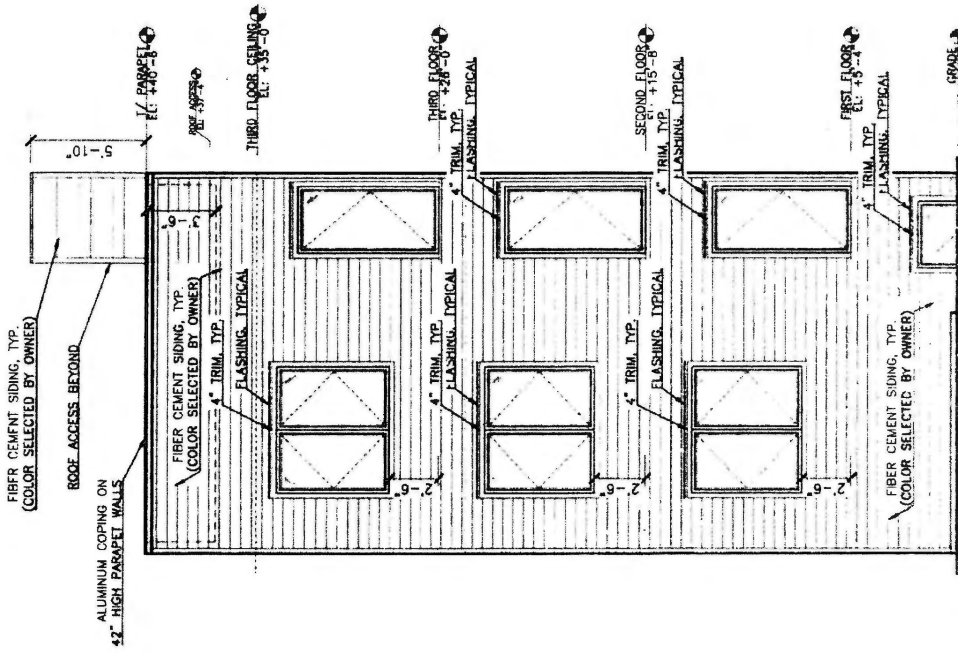
THIRD FLOOR PLAN

SCALE: 1/8"=1'-0"

PLANS FOR PUBLICATION



ROOF PLAN  
SCALE: 1/8"=1'-0"



**NORTH ELEVATION**

SCALE: 1/8" = 1'-0"

FOR PUBLICATION

BASEMENT  
EL. -3'-0"  
BY ROOMS

GRADE  
EL. 0'-0"

FIRST FLOOR  
EL. +5'-0"

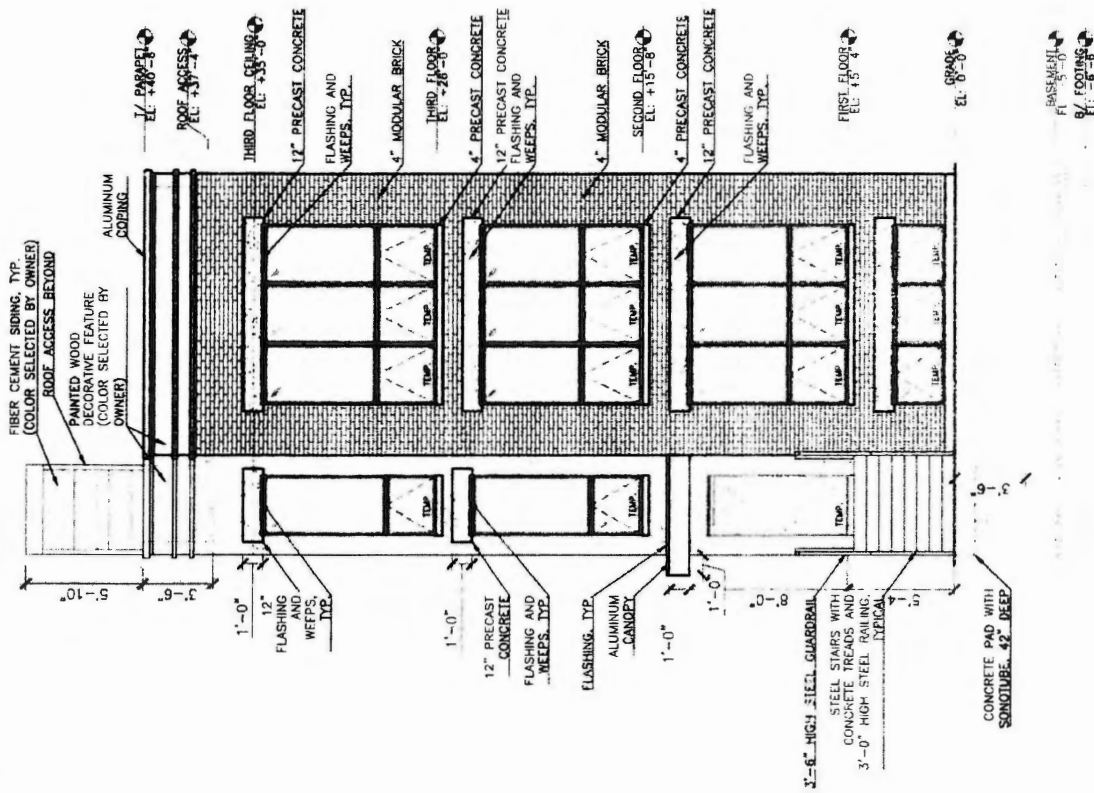
SECOND FLOOR  
EL. +15'-0"

THIRD FLOOR  
EL. +25'-0"

THIRD FLOOR CEILING  
EL. +25'-0"

ROOF ACCESS BEYOND  
EL. +25'-0"

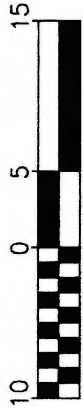
5'-10"



**SOUTH ELEVATION**

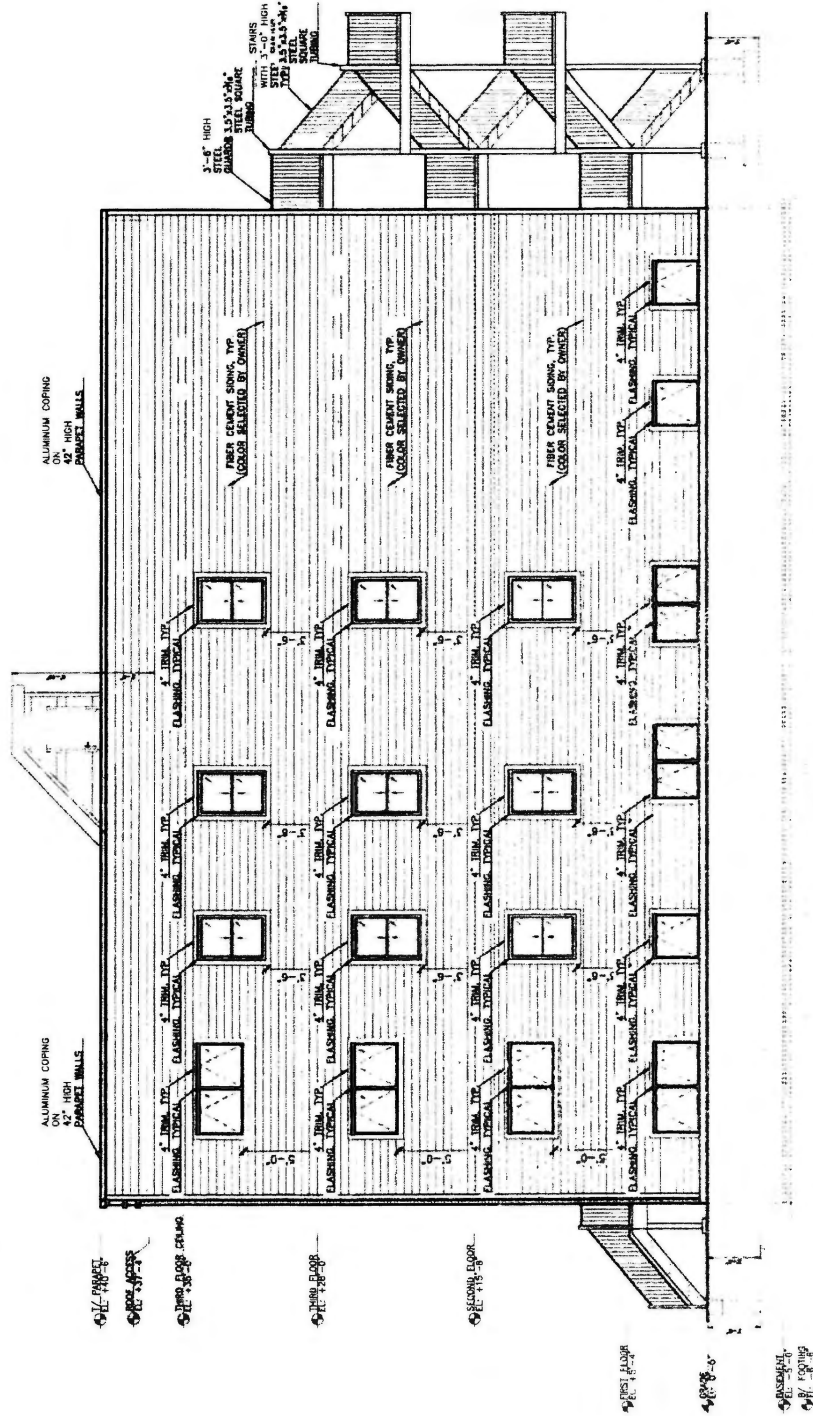
SCALE: 1/8"=1'-0"

NOT FOR PUBLICATION



3/32 INCH = 1 FOOT

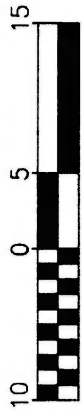
READY FOR PUBLICATION



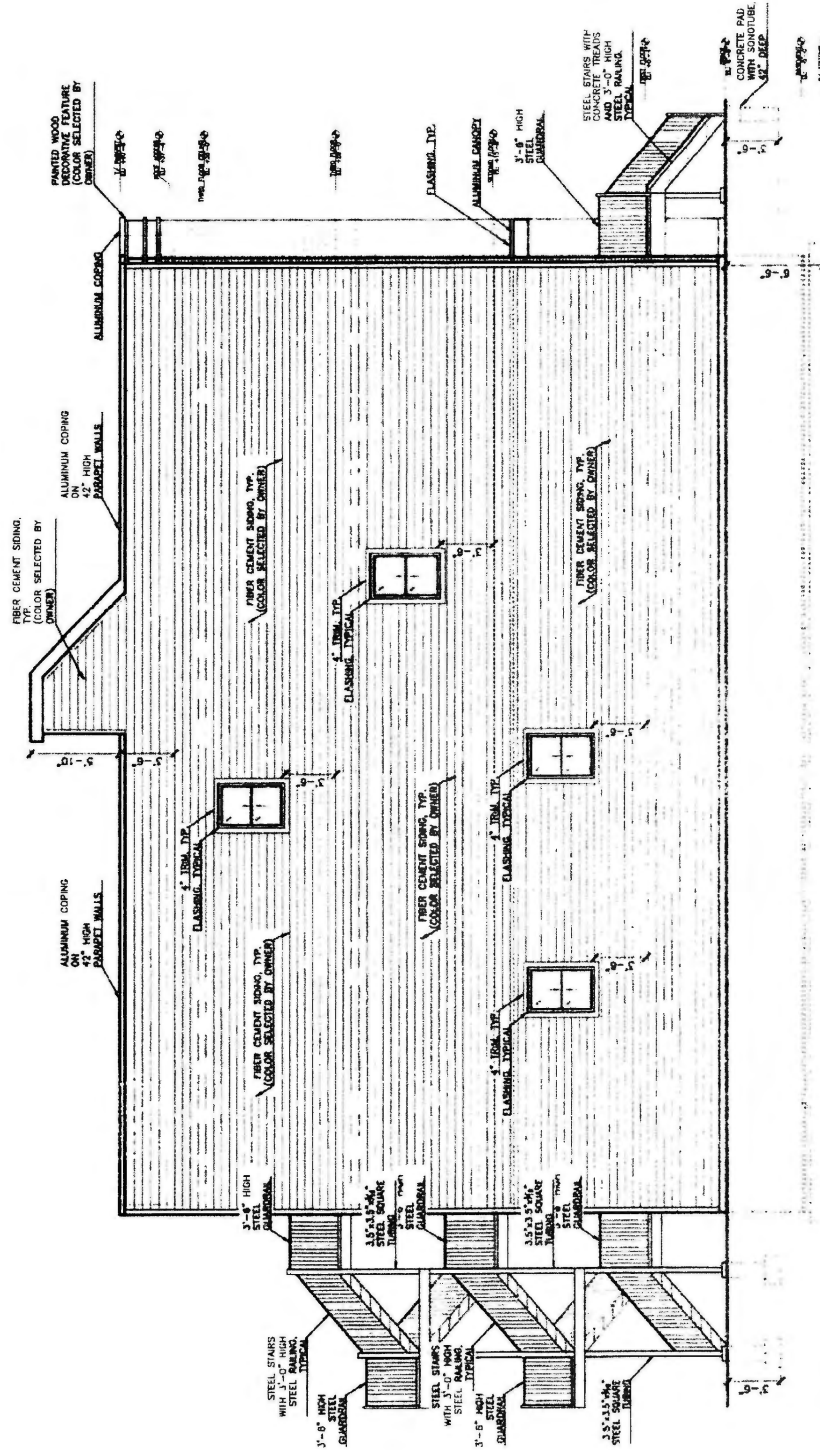
**EAST ELEVATION**

SCALE: 3/32" = 1'-0"

PLANS FOR PUBLICATION



(IN FEET)  
3/32 INCH = 1 FOOT



WEST ELEVATION

SCALE: 3/32" = 1'-0"

*Reclassification Of Area Shown On Map No. 3-J.*  
(Application No. 22445T1)  
(Common Address: 1334 N. Ridgeway Ave.)

[O2024-0009450]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the RS3 Residential Single-Unit (Detached House) District symbols as shown on Map Number 3-J in the area bounded by:

a line 250 feet south of and parallel to West Hirsch Street; North Ridgeway Avenue;  
a line 275 feet south of and parallel to West Hirsch Street; and the public alley next  
west of and parallel to North Ridgeway Avenue,

to those of an RT4 Residential Two-Flat, Townhouse and Multi-Unit District.

SECTION 2. This ordinance takes effect after its passage and due publication.

[Cover Page and Site Plan; Basement, First and Second Floor  
Existing Plans; Basement Proposed Floor Plan; and  
South, East and West Building Elevations  
attached to this ordinance printed  
on pages 14971 through  
14974 of this *Journal*.]

Type 1 Narrative Rezoning Analysis attached to this ordinance reads as follows:

## Final for Publication

**A NARRATIVE AND PLANS FOR TYPE 1 ZONING AMENDMENT FOR  
1334 NORTH RIDGEWAY AVE., CHICAGO  
REZONING FROM RS3 TO RT4**

The subject property is currently improved with a 2-story plus basement multi-unit residential building, which the Applicant proposes to preserve and rehab. The Applicant needs a zoning change to comply with the use table and the standards and the bulk and density requirements of the RT4 District to obtain a building permit to allow the existing dwelling unit in the basement to legally convert from 2 dwelling units to 3 dwelling units (for a total of 3DU within the existing building).

Project Description:	Zoning Change from an RS3 Residential Single-Unit (Detached House) District to an RT4 Residential Two-Flat, Townhouse and Multi-Unit District.
Use:	Residential Building – to convert from 2 dwelling units to 3 dwelling units
Lot Area:	25' x 124' = 3,100 SF (recorded measurements)
Floor Area Ratio:	.84 (existing)
Floor Area:	Existing Floor Area – no change proposed: 1,295 SF - (basement, not included in the FAR calculations) 1,295 SF - 1 <sup>st</sup> Floor 1,295 SF - 2 <sup>nd</sup> Floor
Density:	1,033 Square Feet per DU Unit
Off- Street parking:	Parking spaces: 3 (with a carport)
Setbacks:	Existing Front: 7'-1" Existing Side Setbacks: south: 0' and north 0' Rear: 0' (carport located within the rear setback, alternative relief for variation) * Rear Yard Open Space: 726 SF
Building Height:	24 Feet - existing height no change proposed

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**\* Optional Relief for Adjustment and Variation under Section 17-13-0303-D – a Type 1 map amendment pursuant to Section 17-13-0300, may include relief available pursuant to Section 17-13-1000 or 17-13-1100; in such instances, City Council approval of a Type-1 application containing said elements shall preclude subsequent review otherwise required pursuant to Sections 17-13-1000 or 17-13-1100, provided that no Type 1 application permits issued may be in violation of Section 17-13-0310:**

- (1) With this Type 1 Rezoning, the Applicant also seeks relief for variation from Section 17-3-0405-A to reduce the minimum required rear setback of 37.2' to 0' and to reduce the required rear garage feature setback from 2' to 0' to allow a proposed carport for 3 parking spaces to be located at the rear of the subject property. With this request, the Applicant states the following:
  - (A) Strict compliance with the regulations and standards of this Zoning Ordinance would create practical difficulties and hardships for the subject property, since although a fully enclosed garage is permitted to encroach into the required rear setbacks, an open carport, which only provides a covered roof over the parking spaces, is not permitted by right, but instead it triggers this rear setback variation.
  - (B) The requested variation is consistent with the stated purpose and intent of this Zoning Ordinance since this proposed rehab project aligns with the intent of the Ordinance, which seeks to preserve existing older residential buildings. Also, the proposed variation relief is compatible with the existing land use pattern within the subject neighborhood, where the majority of the zoning lots provide enclosed parking with zero rear setback.
  - (C) Evidence of the Practical Difficulties or Particular Hardship is as follows:
    1. The property in question cannot yield a reasonable return if permitted to be used only in accordance with the strict rear setback standards of this Zoning Ordinance. Most of the existing zoning lots on this block are improved with structures providing enclosed parking, which are built up to the rear lot line and do not provide any rear setback. The covered parking area is necessary for the comfort of the future residents of the dwelling units.
    2. The practical difficulties and hardships are due to unique circumstances and are not generally applicable to other similarly situated property. The Applicant proposes to preserve and rehab the existing Greystone building as the Ordinance promotes and encourages owners to do. Providing a covered parking area is necessary for the convenience of the residents of the property. The open carport will line up with the existing garages on neighboring lots, so the variation will not adversely affect light or air to adjacent properties and with a 1:1 parking ratio, it will not increase congestion in the public streets.
    3. The rear setback variation will not alter the essential character of the neighborhood, since per the zoning map, most of the existing zoning lots on this block are improved with garages built with no rear setback. This project follows the existing land use patterns on the block.



Final for Publication

**GENERAL NOTES:**

1. Check with the project of private property for any existing or proposed structures, utilities, easements, etc. which may affect the proposed demolition. Obtain all necessary permits and approvals from the appropriate authorities.
2. Verify the location and extent of all existing structures and utilities to be demolished.
3. Verify the location and extent of all existing easements and encroachments.
4. Verify the location and extent of all existing foundations and footings.
5. Verify the location and extent of all existing structural members.
6. Verify the location and extent of all existing non-structural members.
7. Verify the location and extent of all existing site work.
8. Verify the location and extent of all existing site conditions.
9. Verify the location and extent of all existing site features.
10. Verify the location and extent of all existing site elements.

**SECOND FLOOR EXISTING PLAN**  
 148 5211  
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**FIRST FLOOR EXISTING PLAN**  
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**BASEMENT EXISTING PLAN**  
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**Architect Information:**  
 Mario G. Cruz  
 ARCHITECT  
 1334 N. RIDGEWAY AVENUE  
 CHICAGO, ILLINOIS

**Project Information:**  
 1334 N. RIDGEWAY AVENUE  
 CHICAGO, ILLINOIS  
 Demolition Floor Plans  
 D-100

**Professional Seal:**  
 EXP. 11-30-2024  
 MARIO G. CRUZ  
 ARCHITECT  
 1334 N. RIDGEWAY AVENUE  
 CHICAGO, ILLINOIS 60642

Final for Publication

**BASEMENT FLOOR PROPOSED PLAN**

**REVISIONS:**  
 1. REVISED PER COMMENTS FROM THE BOARD OF ARCHITECTS.  
 2. REVISED PER COMMENTS FROM THE BOARD OF ARCHITECTS.  
 3. REVISED PER COMMENTS FROM THE BOARD OF ARCHITECTS.

**GENERAL NOTES:**  
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO BUILDING CODE, 2012 EDITION, AS AMENDED.  
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO MECHANICAL CODE, 2012 EDITION, AS AMENDED.  
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO ELECTRICAL CODE, 2012 EDITION, AS AMENDED.  
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO PLUMBING CODE, 2012 EDITION, AS AMENDED.  
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO GAS CODE, 2012 EDITION, AS AMENDED.  
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO SAFETY CODE, 2012 EDITION, AS AMENDED.  
 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO FIRE CODE, 2012 EDITION, AS AMENDED.  
 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO HEALTH CODE, 2012 EDITION, AS AMENDED.  
 9. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO ENVIRONMENTAL CODE, 2012 EDITION, AS AMENDED.  
 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO COMMUNITY DEVELOPMENT CODE, 2012 EDITION, AS AMENDED.

**DATE:** 11/30/2023  
**BY:** MARIO G. CRUZ  
**PROJECT:** 1334 N. RIDGEWAY AVENUE, CHICAGO, ILLINOIS

**1334 N. RIDGEWAY AVENUE  
 CHICAGO ILLINOIS**

**Proposed  
 Basement Floor  
 Plan**

**A-100**

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Architectural drawings for a building at 1334 N. Ridgeway Avenue, Chicago, IL. The drawings include:

- East Elevation:** Shows a three-story building facade with a prominent entrance on the left, multiple windows, and a decorative cornice.
- West Elevation:** Shows the opposite side of the building, featuring a large bay window and a different entrance configuration.
- Floor Plan:** A detailed plan of the building's footprint, showing room layouts, window placements, and structural grid lines. Dimensions are provided for various sections.

**Annotations and Text:**

- Scale:** 1/8" = 1'-0"
- Project Name:** 1334 N. RIDGEWAY AVENUE
- Location:** CHICAGO, ILLINOIS
- Architect:** Mario G. Cruz, ARCHITECT
- Sheet Number:** A-200
- Date:** EXP. 11-30-2024
- Professional Seal:** A circular seal for Mario G. Cruz, Registered Professional Engineer, No. 140,000,000, State of Illinois, is visible on the drawing.

*Reclassification Of Area Shown On Map No. 5-F.*

(Application No. 22471T1)

(Common Address: 1854 N. Howe St.)

[O2024-0009613]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, be amended by changing all of the RM4.5 Residential Multi-Unit District symbols and indications as shown on Map Number 5-F in the area bounded by:

a line 550.12 feet north of and parallel to the north line of West Willow Street; the west line of North Howe Street; a line 528.12 feet north of and parallel to the north line of West Willow Street; and the alley next west of and parallel to North Howe Street,

to those of an RM4.5 Residential Multi-Unit District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

[Code Matrix; Drawing Index; Site Plan; Basement, First, Second and Third Floor Plans; Roof Plan; Building Elevations; and Wall Sections attached to this ordinance printed on pages 14978 through 14988 of this *Journal*.]

Type 1 Narrative Rezoning Analysis attached to this ordinance reads as follows:

## Final for Publication

### 17-13-0303-C (1) Type 1 Narrative & Plans - Zoning Map Amendment 1854 North Howe Street, Chicago, Illinois

Proposed Zoning: RM-4.5 Residential Multi-Unit District

Lot Area: 2,742.74 square feet

Proposed Land Use: The Applicant is seeking an elective *Type 1 Zoning Map Amendment with Variation* relief, pursuant to Section 17-13-0303-D of the Chicago Zoning Ordinance, in order to permit the construction of a new three-story (with basement) *single-family residence* and a two-car detached garage (with roof deck), at the subject property. The new proposed building will be masonry in construction and will measure 38 feet-3 inches in height.

- (A) The Project's Floor Area Ratio: 4,604.64 square feet (1.68 FAR)
- (B) The Project's Density (Lot Area Per Dwelling Unit): 1 dwelling unit/  
(2,742.74 square feet)
- (C) The amount of off-street parking: 2 total automobile spaces
- (D) Setbacks:
  - a. Front Setback: 9 foot-8¼ inches
  - b. Rear Setback: 34 feet-11 inches
  - c. \*Side Setbacks:  
North: 1 foot-0 inches  
South: 1 foot-0 inches

\*The Applicant is seeking a *Variation* [Section 17-13-1101-B] to reduce both the north and the south minimum *side setbacks* – from 2 feet to 1 foot (each), resulting in a reduction to the minimum required *combined side setback* – from 4.4 feet to 2 feet, in order to permit the construction of a new three-story *single-family residence*, at the subject property, which is comprised of a *substandard* size lot. Based on current market models, the “standard” interior *width* for a *single-family home* is at least 20 feet. The statistical comparative data for this neighborhood corroborates these conclusions, showing that almost every *single residence* on the subject block measures at least 20 feet to 22 feet in *width*. The pattern of development for this particular *residential* block, therefore, demonstrates reduced *side setback* conditions affecting almost every property, with many of the existing buildings favoring one side of the property (i.e., ZERO *side setback*). Due to the unique atypical dimensions plaguing the subject property – in particular, the *substandard* lot width (22 feet < 25 feet) and the orientation of the existing adjacent buildings on their respective sites, it is impossible for the Applicant to design a fully code-compliant “standard” *width* home on this significantly *substandard* size lot, without necessitating this singular form of allowable relief.

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Setbacks: (CONTINUED)

- c. \*Side Setbacks:
  - North: 1 feet-0 inches
  - South: 1 feet-0 inches

The Applicant designed the proposed new *single-family residence* and accessory structures with considerable deference to the immediately adjacent improvements, and – too, drawing inspiration from the character and functionality of the other buildings/residences that comprise the subject block, which such block includes several improved properties with similar sized or much larger homes that enjoy at least one reduced *setback* condition(s). These new improvements were also supported by the Alderman, the local community organization and by most of the other residents and property owners in the area during the underlying community review.

- (E) Building Height: 34 feet-11 inches

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SINGLE FAMILY RESIDENCE 3 STORY BUILDING W/ NFPA 13D SPRINKLER, BASEMENT, ROOF DECK AND 2 CAR GARAGE W/ ROOF DECK 1854 NORTH HOWE STREET CHICAGO, IL



CODE MATRIX (SUBSECTOR VARIANCES)

1999 IBC TABLE 101

CODE MATRIX

DISPOSABLE INDEX

APPLICABLE CODES
MECHANICAL
ELECTRICAL
PLUMBING
STRUCTURAL
FOUNDATION
MATERIALS
FIRE
ENERGY EFFICIENCY
ENVIRONMENTAL
ACCESSIBILITY

ARCHITECT'S STATEMENT & SEAL
I, [Name], ARCHITECT, HEREBY CERTIFY THAT I HAVE PREPARED THESE PLANS AND SPECIFICATIONS IN ACCORDANCE WITH THE CITY OF CHICAGO ORDINANCES AND THE NATIONAL BUILDING CODE.

Professional information and stamps:
- ARCHITECTS: JESSICA HERSHMAN, ARCHITECT, 1121 N. LA SALLE ST., CHICAGO, IL 60610, PH: 312.467.7215, FAX: 312.467.7215
- CONTRACT: JESSICA HERSHMAN ARCHITECTS, INC., 1121 N. LA SALLE ST., CHICAGO, IL 60610
- PROJECT NAME: SINGLE FAMILY RESIDENCE 1854 N HOWE CHICAGO, IL
- ARCHITECT'S SEAL: JESSICA HERSHMAN, ARCHITECT, LICENSE NO. 029593716, EXPIRES 12/31/2025
- CITY OF CHICAGO SEAL: ARCHITECTURAL REVIEW BOARD, 475 N. DEARBORN ST., CHICAGO, IL 60610



Final for Publication



PLANNING DEPARTMENT  
300TH ANNIVERSARY  
2013-2023

FOR THE CITY OF CHICAGO  
PLANNING DEPARTMENT  
300TH ANNIVERSARY  
2013-2023

FOR THE CITY OF CHICAGO  
PLANNING DEPARTMENT  
300TH ANNIVERSARY  
2013-2023

FOR THE CITY OF CHICAGO  
PLANNING DEPARTMENT  
300TH ANNIVERSARY  
2013-2023

FOR THE CITY OF CHICAGO  
PLANNING DEPARTMENT  
300TH ANNIVERSARY  
2013-2023

FOR THE CITY OF CHICAGO  
PLANNING DEPARTMENT  
300TH ANNIVERSARY  
2013-2023

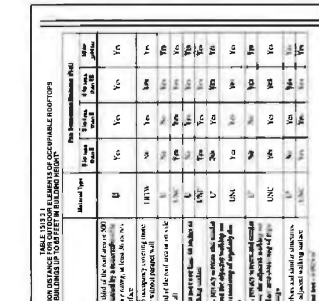
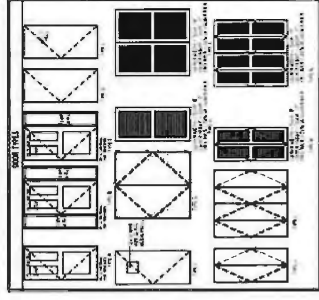


Table with 10 columns: ROW, COL, AREA, AREA, AREA, AREA, AREA, AREA, AREA, AREA. Contains numerical data for various zones.

Table with 10 columns: ROW, COL, AREA, AREA, AREA, AREA, AREA, AREA, AREA, AREA. Contains numerical data for various zones.

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Table with 10 columns: ROW, COL, AREA, AREA, AREA, AREA, AREA, AREA, AREA, AREA. Contains numerical data for various zones.



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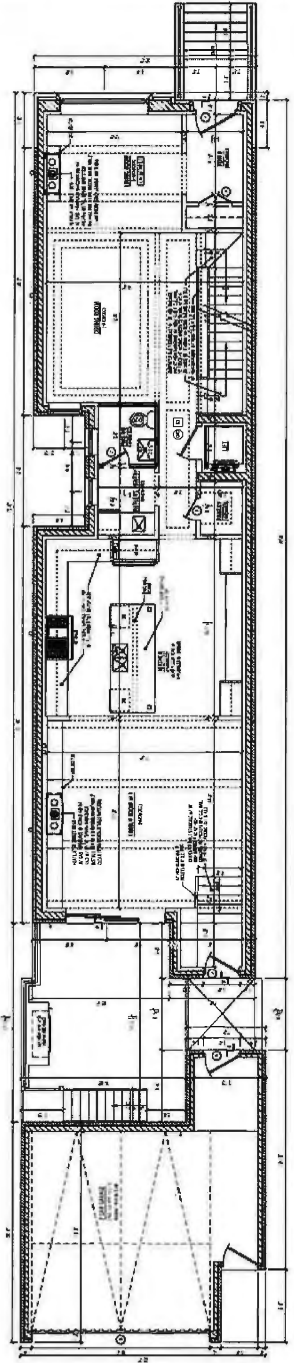
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Table with 10 columns: ROW, COL, AREA, AREA, AREA, AREA, AREA, AREA, AREA, AREA. Contains numerical data for various zones.

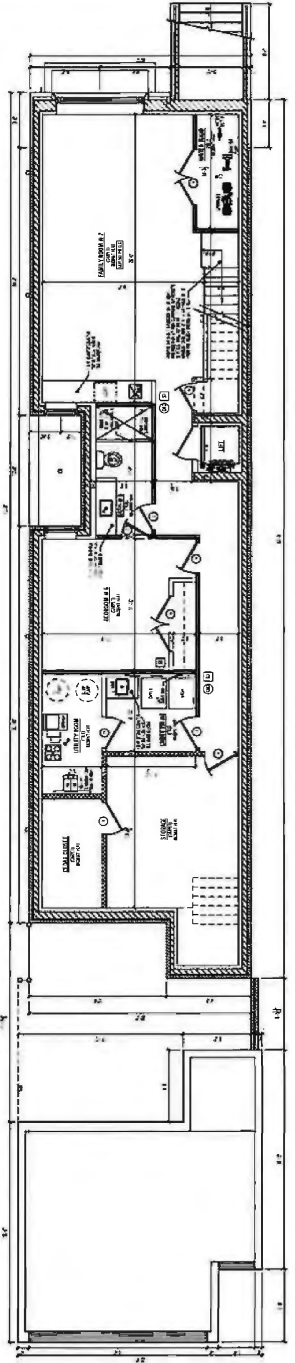
REQUIREMENTS FOR SUBMITTING A PROPOSAL FOR CONSTRUCTION OF A BUILDING OR STRUCTURE. This section includes detailed instructions and a checklist for applicants, covering requirements for site plans, zoning, and other regulatory matters. It includes a checklist table with columns for 'Type of Proposal', 'Required Documents', and 'Required Fees'.

Final for Publication

 <p>360          CONSULTING          1111 N. WILSON          SUITE 200          CHICAGO, IL 60642          TEL: 312.467.1234</p>	<p>OWNER: [Redacted]</p>	<p>DESIGNER: [Redacted]</p>	<p>DATE: [Redacted]</p>		

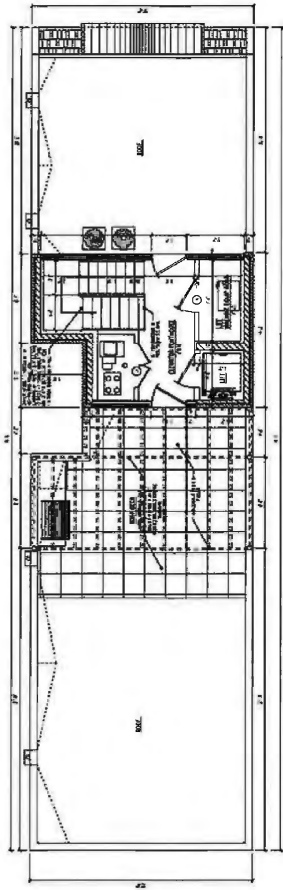


FIRST FLOOR PLAN

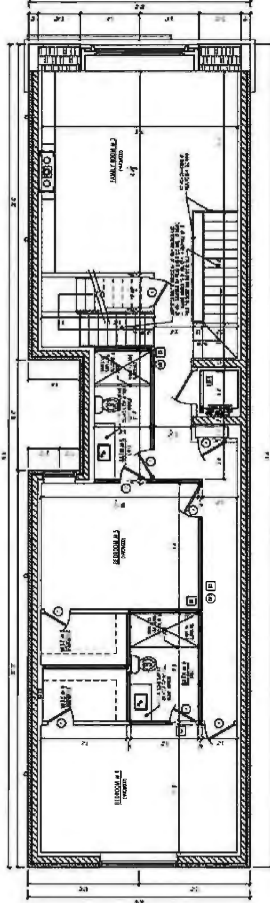


BASMENT FLOOR PLAN

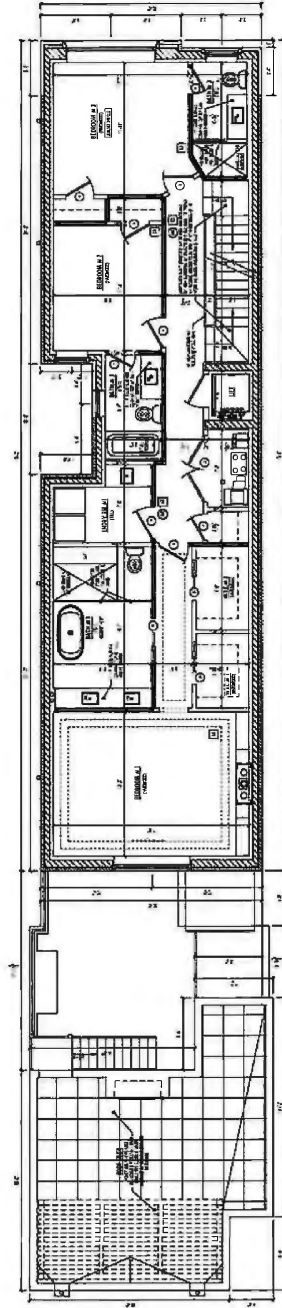
for Publication



ROOF PLAN



THIRD FLOOR PLAN



SECOND FLOOR PLAN



JAMES W. McLAUGHLIN  
 ARCHITECT  
 1111 N. LAUREL  
 CHICAGO, ILL. 60642  
 (312) 321-1111  
 (312) 321-1111

CONTRACT FOR THE PREPARATION OF ARCHITECTURAL DRAWINGS FOR THE CONSTRUCTION OF THE PROJECT HAS BEEN AWARDED TO THE ARCHITECT BY THE BOARD OF SUPERVISORS OF THE CITY OF CHICAGO.

SUBMITTAL DATE:  
 DATE RECEIVED: 4/11/2024  
 DATE FORWARDED: 5/15/2024  
 DATE OF SUBMITTAL: 6/11/2024  
 DATE OF SUBMITTAL: 6/11/2024

PROJECT NAME:  
 SHEET FAMILY: GENERAL  
 SHEET NUMBER: 1111  
 SHEET TOTAL: 1111



SEAL OF THE CITY OF CHICAGO  
 OFFICE OF THE CITY CLERK  
 121 N. LAUREL  
 CHICAGO, ILL. 60642

DATE OF SUBMITTAL: 6/11/2024

SHEET A1.2

INCHES

Final for Publication

ELEVATION COMMENTS	
1	NEW EXTERIOR WALL FINISH
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360

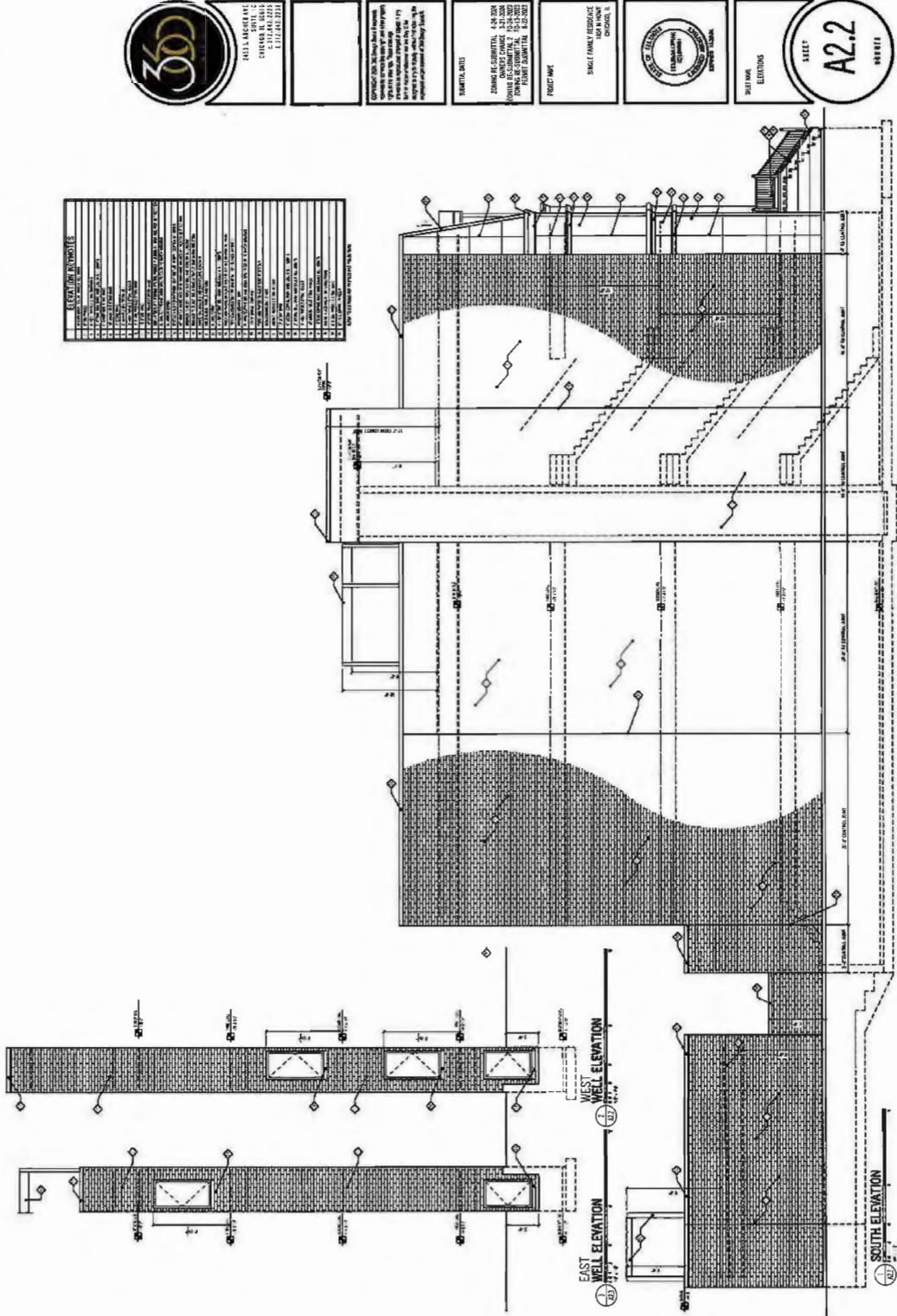
ARCHITECT: 360 ARCHITECTS  
1111 15TH AVENUE, SUITE 1100  
DENVER, CO 80202  
TEL: 303.440.1111

CONSULTING ENGINEER: 360 ENGINEERS  
1111 15TH AVENUE, SUITE 1100  
DENVER, CO 80202  
TEL: 303.440.1111

REGISTERED ARCHITECT: 360 ARCHITECTS  
1111 15TH AVENUE, SUITE 1100  
DENVER, CO 80202  
TEL: 303.440.1111

REGISTERED ENGINEER: 360 ENGINEERS  
1111 15TH AVENUE, SUITE 1100  
DENVER, CO 80202  
TEL: 303.440.1111

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300

4411 S. MARSHFIELD AVE  
CHICAGO, IL 60609  
TEL: 773.554.3000  
FAX: 773.554.3001

DESIGNED BY: [Name]  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
DATE: [Date]

PROJECT NAME: [Name]  
OWNER: [Name]

SCALE: [Scale]

SHEET A2.2

300



300  
COMMUNITY RESIDENCES  
150 W. 11th Street  
New York, NY 10011

DATE: 07/17/2024  
PROJECT: 14985  
DRAWN BY: [Name]  
CHECKED BY: [Name]

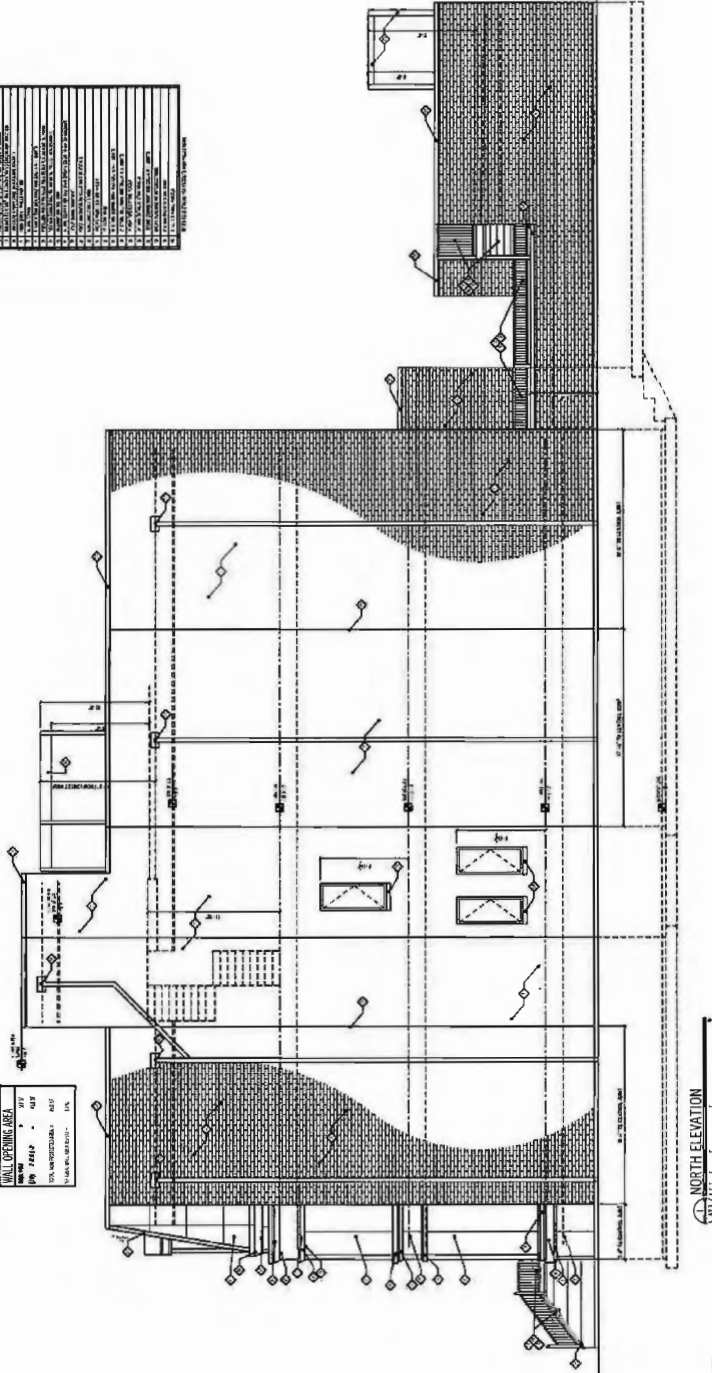
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GENERAL CONTRACTOR: [Name]  
ARCHITECT: [Name]  
ENGINEER: [Name]

PROJECT: [Name]  
SUBMITTAL: [Name]

ENGINEER: [Name]  
REGISTERED PROFESSIONAL ENGINEER  
STATE OF NEW YORK

SHEET  
**A2.3**  
REVIT

NO.	DESCRIPTION	DATE	BY	CHKD.
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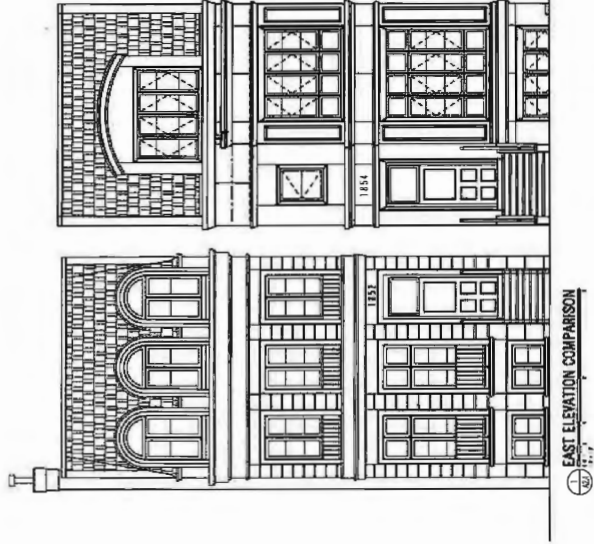
WALL OPENING AREA  
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 100.00 SQ. FT.  
 100.00 SQ. FT.  
 100.00 SQ. FT.

NORTH ELEVATION

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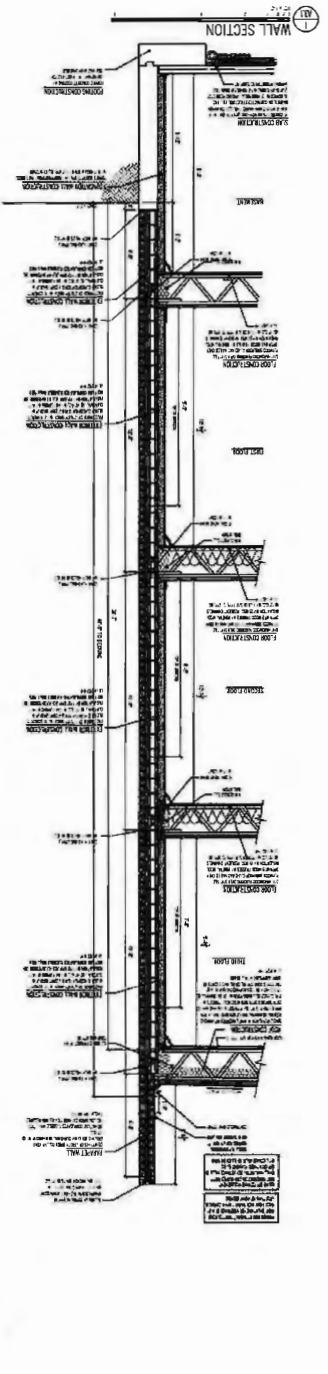
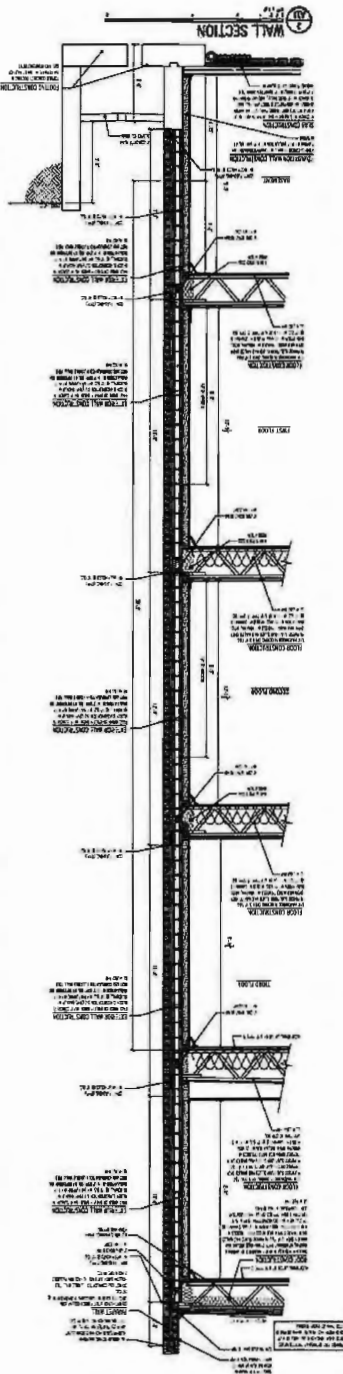
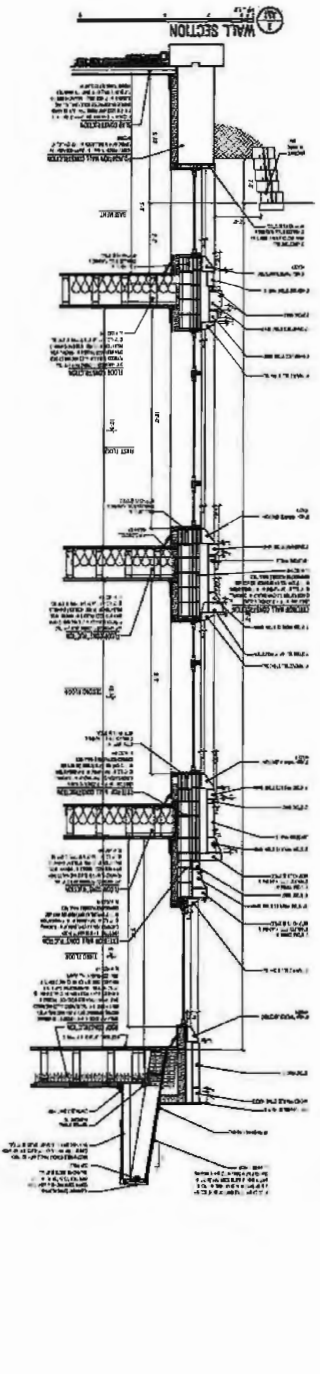
Final for Publication

	DATE: 07/16/2024 SHEET: 1/5 PROJECT: 14986 DATE PLOTTED: 7/17/2024
	<p>BY: [Signature]</p> <p>DATE: 7/16/2024</p> <p>BY: [Signature]</p> <p>DATE: 7/16/2024</p>
<p>PROJECT: 14986 - 1854 EAST ELEVATION COMPARISON</p> <p>DATE: 7/16/2024</p> <p>BY: [Signature]</p> <p>DATE: 7/16/2024</p>	
<p>SUPPLIER: CHS</p> <p>OWNER: CHS</p> <p>OWNER CONTACT: [Name]</p> <p>OWNER ADDRESS: [Address]</p> <p>OWNER PHONE: [Phone]</p> <p>OWNER FAX: [Fax]</p> <p>OWNER EMAIL: [Email]</p>	
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<p>SHEET:</p> <p>A2.4</p> <p>14986</p>	

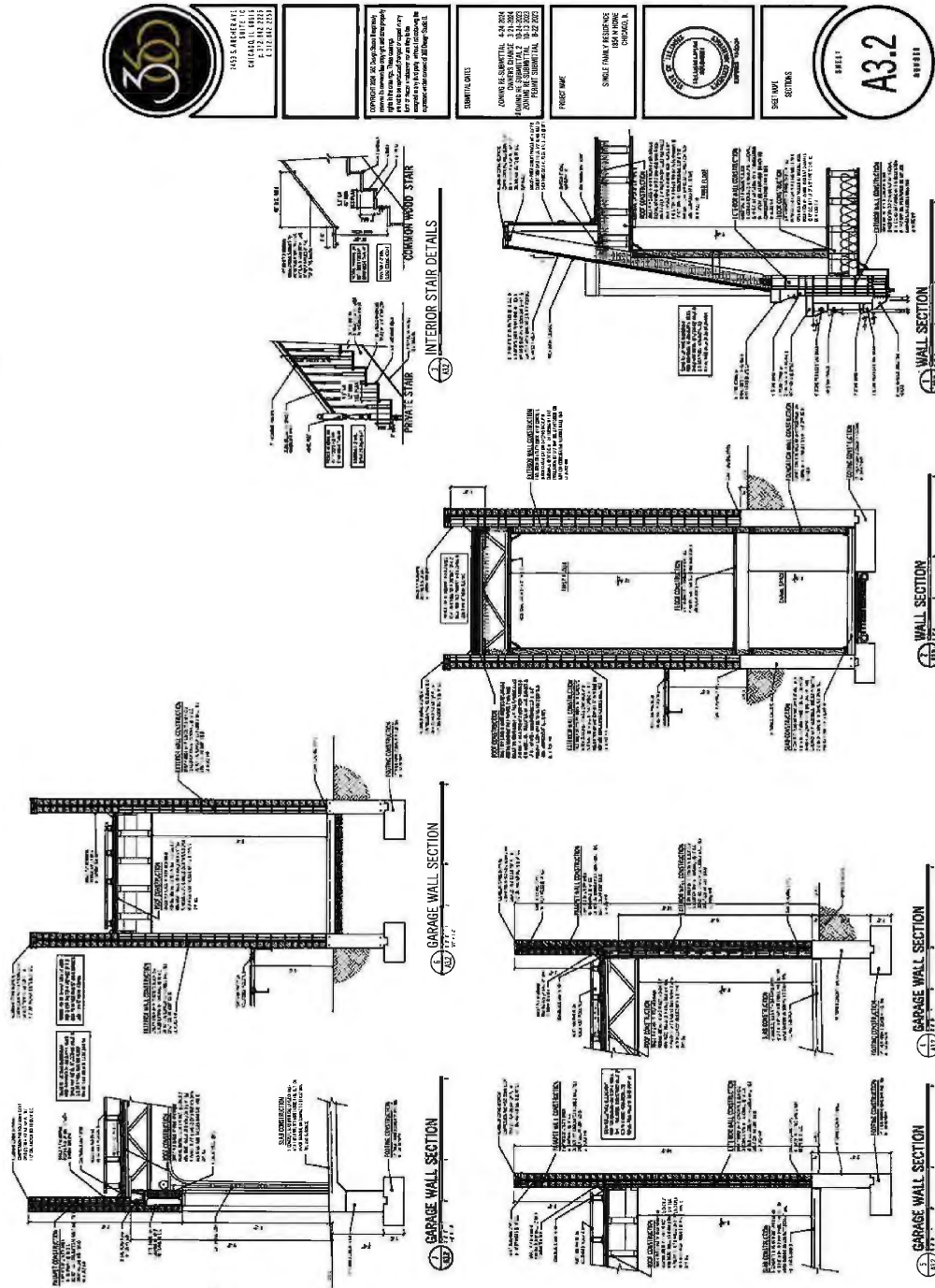


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 <p>300          WALL SECTIONS          DATE: 01/11/16          DRAWN BY: J. J. WILSON          CHECKED BY: J. J. WILSON</p>	<p>CONCRETE SHALL BE CAST IN PLACE AND SHALL BE COMPACTED BY VIBRATION. ALL REINFORCING SHALL BE PLACED IN ACCORDANCE WITH THE REINFORCING SCHEDULE.</p>	<p>REINFORCING SHALL BE PLACED IN ACCORDANCE WITH THE REINFORCING SCHEDULE.</p>	<p>REINFORCING SHALL BE PLACED IN ACCORDANCE WITH THE REINFORCING SCHEDULE.</p>	<p>REINFORCING SHALL BE PLACED IN ACCORDANCE WITH THE REINFORCING SCHEDULE.</p>	<p>REINFORCING SHALL BE PLACED IN ACCORDANCE WITH THE REINFORCING SCHEDULE.</p>	<p>REINFORCING SHALL BE PLACED IN ACCORDANCE WITH THE REINFORCING SCHEDULE.</p>	<p>REINFORCING SHALL BE PLACED IN ACCORDANCE WITH THE REINFORCING SCHEDULE.</p>
	<p>REINFORCING SHALL BE PLACED IN ACCORDANCE WITH THE REINFORCING SCHEDULE.</p>	<p>REINFORCING SHALL BE PLACED IN ACCORDANCE WITH THE REINFORCING SCHEDULE.</p>	<p>REINFORCING SHALL BE PLACED IN ACCORDANCE WITH THE REINFORCING SCHEDULE.</p>	<p>REINFORCING SHALL BE PLACED IN ACCORDANCE WITH THE REINFORCING SCHEDULE.</p>	<p>REINFORCING SHALL BE PLACED IN ACCORDANCE WITH THE REINFORCING SCHEDULE.</p>	<p>REINFORCING SHALL BE PLACED IN ACCORDANCE WITH THE REINFORCING SCHEDULE.</p>	<p>REINFORCING SHALL BE PLACED IN ACCORDANCE WITH THE REINFORCING SCHEDULE.</p>



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*Reclassification Of Area Shown On Map No. 5-G.*

(As Amended)

(Application No. 21128)

(Common Address: 2031 -- 2033 N. Kingsbury St.)

[O2022-2628/SO2023-0004763]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all of the M2-2 Light Industry District symbols and indications as shown on Map Number 5-G in the area bounded by:

North Kingsbury Street; a line perpendicular to North Kingsbury Street commencing 188.50 feet south of North Southport Avenue, as measured along the northeast property line of North Kingsbury Street; the 18-foot public alley east of and parallel to North Kingsbury Street; and a line measuring 263.49 feet running along a convex curve to the southwest with a radius of 458.37 feet from a point 3 feet south of the northwest corner of Lot 32 to a point 91 feet north of North Magnolia Avenue, as measured along the northeast property line of North Kingsbury Street,

to those of a B3-5 Community Shopping District.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all of the B3-5 Community Shopping District symbols and indications as shown on Map Number 5-G in the area bounded by:

North Kingsbury Street; a line perpendicular to North Kingsbury Street commencing 188.50 feet south of North Southport Avenue, as measured along the northeast property line of North Kingsbury Street; the 18-foot public alley east of and parallel to North Kingsbury Street; and a line measuring 263.49 feet running along a convex curve to the southwest with a radius of 458.37 feet from a point 3 feet south of the northwest corner of Lot 32 to a point 91 feet north of North Magnolia Avenue, as measured along the northeast property line of North Kingsbury Street,

to those of a Residential-Business Planned Development which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 3. This ordinance shall be in force and effect from and after its passage.

Plan of Development Statements referred to in this ordinance read as follows:

*Residential-Business Planned Development No. \_\_\_\_\_.*

*Planned Development Statements.*

1. The area delineated herein as Planned Development Number \_\_\_\_\_ (“Planned Development”) consists of approximately 68,181 square feet of property which is depicted on the attached Planned Development Boundary and Property Line Map (the “Property”). Alloy Property Company 2 LLC is the owner of the Property and the “Applicant” for this Planned Development.
2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant’s successors and assigns and, if different than the Applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance (the “Zoning Ordinance”), the Property, at the time of application for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400 of the Zoning Ordinance.
3. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustment of the right-of-way shall require a separate submittal to the Chicago Department of Transportation (“CDOT”) on behalf of the Applicant or its successors, assigns or grantees.

Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the Plans (defined below).

Ingress or egress shall be pursuant to the Plans and may be subject to the review and approval of the Department of Planning and Development (“DPD”) and CDOT. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of CDOT.

All work proposed in the public way must be designed and constructed in accordance with CDOT Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Prior to the issuance of any Part II approval, the submitted plans must be approved by CDOT.

Pursuant to a negotiated and executed Perimeter Restoration Agreement (“Agreement”) by and between the City’s Department of Transportation’s Division of Infrastructure Management and the Applicant, the Applicant shall provide improvements and restoration of all public way adjacent to the Property, which may

include, but not be limited to, the following as shall be reviewed and determined by CDOT's Division of Infrastructure Management:

- Full width of streets
- Full width of alleys
- Curb and gutter
- Pavement markings
- Sidewalks
- ADA crosswalk ramps
- Parkway and landscaping

The Perimeter Restoration Agreement must be executed prior to any CDOT and Planned Development Part II review permitting. The Agreement shall reflect that all work must comply with current Rules and Regulations and must be designed and constructed in accordance with the CDOT Construction Standards for Work in the Public Way and in compliance with the Municipal Code of Chicago Chapter 10-20. Design of said improvements should follow the CDOT Rules and Regulations for Construction in the Public Way as well as The Street and Site Plan Design Guidelines. Any variation in scope or design of public way improvements and restoration must be approved by CDOT.

The private access drive shown on the site plan shall be accessible to allow traffic to access the public alley from Kingsbury. Any third-party private access from the access drive shall only be permitted if such third party enters into an easement agreement or other agreement with the Applicant pursuant to which such third party agrees to share in maintenance and other costs associated with the private access drive.

4. This Planned Development consists of these 17 Statements; a Bulk Regulations and Data Table and the following exhibits and plans attached hereto prepared by Pappageorge Haymes Partners and dated May 16, 2024 (the "Plans"): an Existing Zoning Map; an Existing Land-Use Map; a Site Boundary Map; a Site Plan; an Overall Landscaping Plan; and Building Elevations. In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Zoning Ordinance, and all requirements thereof, and satisfies the established criteria for approval as a Planned Development. In case of a conflict between the terms of this Planned Development ordinance and the Zoning Ordinance, this Planned Development ordinance shall control.

5. The following uses are permitted in the area delineated herein as a Residential-Business Planned Development: dwelling units located on and above the ground floor (including multi-unit residential and townhouses); office; daycare; animal services; business equipment sales and service; business support services (excluding day labor employment agency); communication service establishments; eating and drinking establishments (all, excluding taverns); entertainment and spectator sports (excluding inter-track wagering facilities, amusement arcades, entertainment cabaret and hookah bar); indoor special event including incidental liquor sales; financial services (excluding payday/title secured loan stores and pawn shops); food and beverage retail sales; medical service; personal service; general retail sales; participant sports and recreation; co-located wireless communication facilities; accessory parking and incidental and accessory uses.
6. On-premises signs and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development, subject to the review and approval of DPD. Off-premises signs are prohibited within the boundary of the Planned Development.
7. For purposes of height measurement, the definitions in the Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by the Federal Aviation Administration.
8. The maximum permitted floor area ratio (FAR) for the Property shall be in accordance with the attached Bulk Regulations and Data Table. For the purposes of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply. The permitted overall FAR identified in the Bulk Regulations Table has been determined using a net site area of 68,181 square feet.
9. Upon review and determination, "Part II review", pursuant to Section 17-13-0610 of the Zoning Ordinance, a Part II review fee shall be assessed by DPD. The fee, as determined by staff at the time, is final and binding on the Applicant and must be paid to the Department of Revenue prior to the issuance of any Part II approval.

The Plans are hereby approved in their entirety and no further approvals shall be required under this Planned Development or the Zoning Ordinance for the improvements undertaken in accordance with the Plans, other than Part II approval (per Section 17-13-0610 of the Zoning Ordinance).

10. The Site and Landscape Plans shall be in substantial conformance with the Landscape Ordinance and any other corresponding regulations and guidelines. Final landscape plan review and approval will be by DPD. Any interim reviews associated with site plan review or Part II reviews, are conditional until final Part II approval.
11. The Applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Fleet and Facility Management and Buildings, under Section 13-32-125 of the Municipal Code, or any other provision of that Code.

12. The terms and conditions of development under this Planned Development ordinance may be modified administratively, pursuant to Section 17-13-0611-A of the Zoning Ordinance by the Zoning Administrator upon the application for such a modification by the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors.
13. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
14. The Applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources. The Applicant shall obtain the number of points necessary to meet the requirements of the Chicago Sustainable Development Policy, in effect at the time the Part II review process is initiated for each improvement that is subject to the aforementioned policy and must provide documentation verifying compliance.
15. The Applicant acknowledges that it is the policy of the City to maximize opportunities for Minority- and Women-owned Business Enterprises ("M/WBEs") and city residents to compete for contracts and jobs on construction projects approved through the planned development process. To assist the City in promoting and tracking such M/WBE and city resident participation, an applicant for planned development approval shall provide information at three points in the city approval process. First, the applicant must submit to DPD, as part of its application for planned development approval, an M/WBE Participation Proposal. The M/WBE Participation Proposal must identify the applicant's goals for participation of certified M/WBE firms in the design, engineering and construction of the project, and of city residents in the construction work. The City encourages goals of (i) 26 percent MBE and 6 percent WBE participation (measured against the total construction budget for the project or any phase thereof), and (ii) 50 percent city resident hiring (measured against the total construction work hours for the project or any phase thereof). The M/WBE Participation Proposal must include a description of the applicant's proposed outreach plan designed to inform M/WBEs and city residents of job and contracting opportunities. Second, at the time of the applicant's submission for Part II permit review for the project or any phase thereof, the applicant must submit to DPD: (a) updates (if any) to the applicant's preliminary outreach plan; (b) a description of the applicant's outreach efforts and evidence of such outreach, including, without limitation, copies of certified letters to M/WBE contractor associations and the ward office of the alderman in which the project is located and receipts thereof; (c) responses to the applicant's outreach efforts; and (d) updates (if any) to the applicant's M/WBE and city resident participation goals. Third, prior to issuance of a Certificate of Occupancy for the project or any

phase thereof, the applicant must provide DPD with the actual level of M/WBE and city resident participation in the project or any phase thereof, and evidence of such participation. In addition to the foregoing, DPD may request such additional information as the department determines may be necessary or useful in evaluating the extent to which M/WBEs and city residents are informed of and utilized in planned development projects. All such information will be provided in a form acceptable to the Zoning Administrator. DPD will report the data it collects regarding projected and actual employment of M/WBEs and city residents in planned development projects twice yearly to the Chicago Plan Commission and annually to the Chicago City Council and the Mayor.

16. The Applicant acknowledges and agrees that the rezoning of the Property from M2-2 Light Industry District to B3-5 Community Shopping District and then to this Residential-Business Planned Development is an "entitlement" that triggers the requirements of Section 2-44-085 of the Municipal Code of Chicago (the "ARO"). The P.D. is located in an "inclusionary housing area" within the meaning of the ARO and permits the construction of 355 dwelling units. The Applicant intends to construct a 355-unit rental development (the "Project").

Developers of rental projects in inclusionary housing areas with 30 or more units must provide between 10 percent and 20 percent of the units in the residential development as affordable units, depending on the average depth of affordability provided, as described in subsection (F)(2) of the ARO. Regardless of the applicable percentage of affordable units in the rental project, developers must construct at least 25 percent of the affordable units on-site and another 25 percent on-site or off-site (collectively, the "Required Units"), and may satisfy the balance of their affordable housing obligation through: (a) the establishment of additional on-site or off-site affordable units; (b) payment of a fee in lieu of the establishment of on-site or off-site affordable units; or (c) any combination thereof. All on-site affordable units must be accessible dwelling units, as required under subsection (W)(10) of the ARO, and developers must give preference in leasing accessible units to people with disabilities, as specified in the ARO rules. All off-site affordable units must have at least two bedrooms and must be located in a downtown district, inclusionary housing area, or community preservation area. Whether on-site or off-site, developers must give preference in leasing affordable units of two bedrooms or more to multi-person households, as specified in the ARO rules. If a residential project is located in a transit-served location, off-site units must be located in a substantially comparable transit-served location.

The Applicant has elected the 20 percent option as set forth in the chart in subsection (F)(2) of the ARO. As a result, the Applicant's affordable housing obligation is 71 percent affordable units (20 percent of 355) and half of which (50 percent of 71 or 35.5) are Required Units. Provided that an ordinance (the "LAC Ordinance") designating the Property as a Low Affordability Community pursuant to 35 ILCS 200/15-178 is approved, the Applicant would satisfy its affordable housing obligation by providing 71 affordable units in the Project, as set forth in the Affordable Housing Profile (AHP) attached hereto. The Applicant agrees that the affordable rental units must be affordable to households with a range of incomes averaging 60 percent of the

Chicago Primary Metropolitan Statistical Area Median Income (AMI), as updated annually, provided that: (x) the maximum income level for any affordable unit may not exceed 80 percent of the AMI; (y) at least one-third (or 24 units) must be affordable to households at or below 50 percent of the AMI, one-sixth of which (or 4 of the 24 units) must be affordable to households at or below 40 percent of the AMI; and (z) all income levels must be multiples of 10 percent of the AMI.

If the LAC Ordinance is not approved, the Applicant would satisfy its affordable housing obligation by providing 54 of its required 71 affordable units in the Project and making a payment to the Affordable Housing Opportunity Fund in lieu of the establishment of 17 affordable units in the amount of \$155,344 per unit for a total payment of \$2,640,848, as set forth in the AHP attached hereto. In this scenario, the affordable rental units must be affordable to households with a range of incomes averaging 60 percent of the Chicago Primary Metropolitan Statistical Area Median Income (AMI), as updated annually, provided that: (x) the maximum income level for any affordable unit may not exceed 80 percent of the AMI; (y) at least one-third (or 18 units) must be affordable to households at or below 50 percent of the AMI, one-sixth of which (or 3 of the 18 units) must be affordable to households at or below 40 percent of the AMI; and (z) all income levels must be multiples of 10 percent of the AMI.

If the Applicant requests any material change to its method of compliance with the ARO, such as locating affordable units off-site instead of on-site or changing the target affordability level after the passage of this P.D., DOH may adjust the AHP as requested, in accordance with the ARO, without amending the P.D., provided however, the Applicant must update and resubmit the revised AHP to DOH for review and approval and, at DOH's request, provide an informational presentation to Plan Commission on such change. Prior to the issuance of any building permits for any residential building in the P.D., including, without limitation, excavation or foundation permits, the Applicant must execute and record an Inclusionary Housing Agreement ("IHA") in accordance with subsection (N) of the ARO. The terms of the IHA and any amendments thereto are incorporated herein by this reference. The Applicant acknowledges and agrees that the IHA will be recorded against the P.D. and will constitute a lien against such property. The Commissioner of DOH may enforce remedies for any breach of this Statement 16, including any breach of any IHA, and enter into settlement agreements with respect to any such breach, subject to the approval of the Corporation Counsel, without amending the P.D.

This statement does not include all ARO requirements and options. It is intended to provide an overview of the application of the ARO to this P.D. In the event of any conflict between this statement and the terms and conditions of the ARO, the ARO shall govern.

17. This Planned Development shall be governed by Section 17-13-0612 of the Zoning Ordinance. Should this Planned Development ordinance lapse, the Commissioner of DPD shall initiate a zoning map amendment to rezone the Property to the B3-5 Community Shopping District.

[Affordable Housing Profile (AHP) Form unavailable at time of printing.]

[Existing Zoning Map; Land-Use Map; Property Line and Boundary Map; Site Plan; Landscape Plan; Northeast, Southwest and Northwest Building Elevations; Green Roof Plans; Podium Axonometric View -- South Corner; and Tower Axonometric View -- 15<sup>th</sup> Floor Terrace and Amenity Deck referred to in these Plan of Development Statements printed on pages 14997 through 15008 of this *Journal*.]

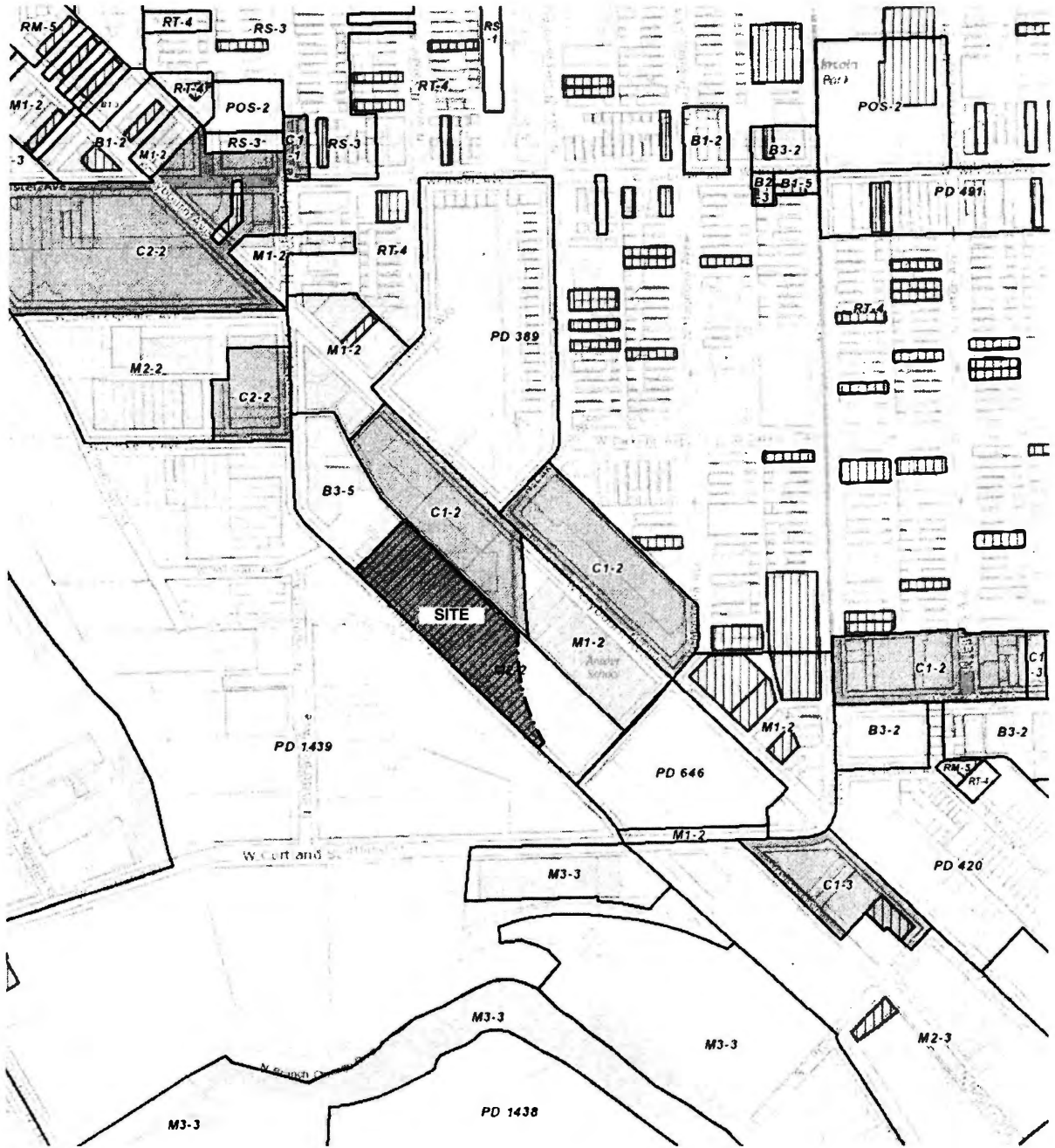
Bulk Regulations and Data Table referred to in these Plan of Development Statements read as follows:

*Residential-Business Planned Development No. \_\_\_\_\_.*

*Bulk Regulations And Data Table.*

Gross Site Area (square feet):	93,105
Area of Public Rights-of-Way (square feet):	24,924
Net Site Area (square feet):	68,181
Maximum Floor Area Ratio:	5.0
Number of Dwelling Units:	355
Minimum Off-Street Parking Spaces:	203
Minimum Bicycle Parking Spaces:	360
Minimum Off-Street Loading Spaces:	2
Maximum Building Height:	275 feet, 0 inches
Minimum Setbacks:	Per Plans

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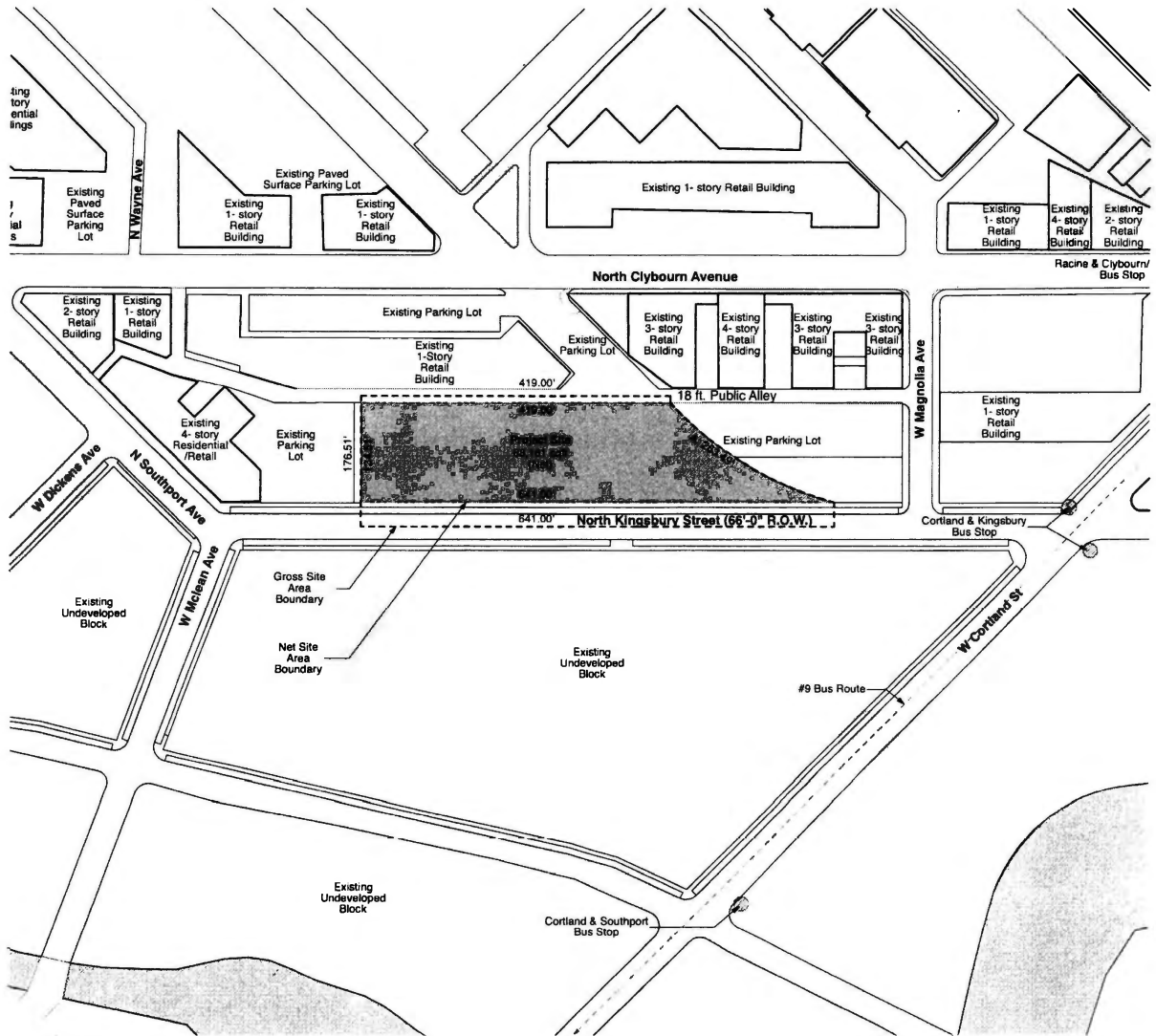
Applicant: Alloy Property Company 2, LLC  
 Address: 2031-2033 North Kingsbury Street  
 Introduction Date: September 21, 2022  
 Plan Commission Date: May 16, 2024

Existing Zoning



Pappageorge Haymes Partners

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SCALE: 1" = 200'

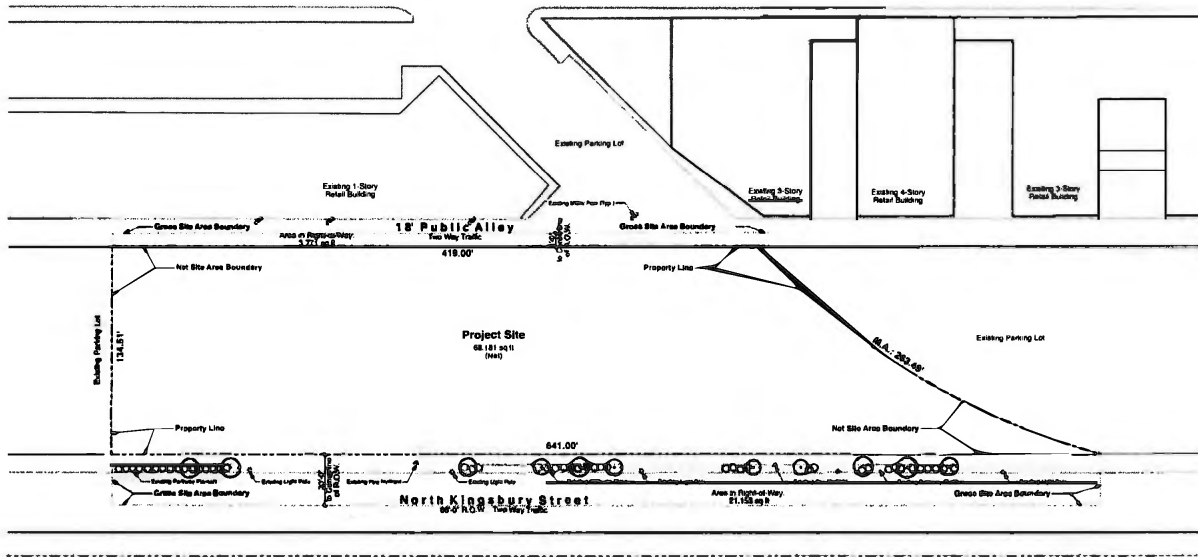
Applicant: Alloy Property Company 2, LLC  
 Address: 2031-2033 North Kingsbury Street  
 Introduction Date: September 21, 2022  
 Plan Commission Date: May 16, 2024

Land Use Map



Pappageorge Haymes Partners

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SCALE: 1" = 100'

Net Site Area:	68,181 sf
Area in Right-Of-Way:	24,924 sf
Gross Site Area:	93,105 sf

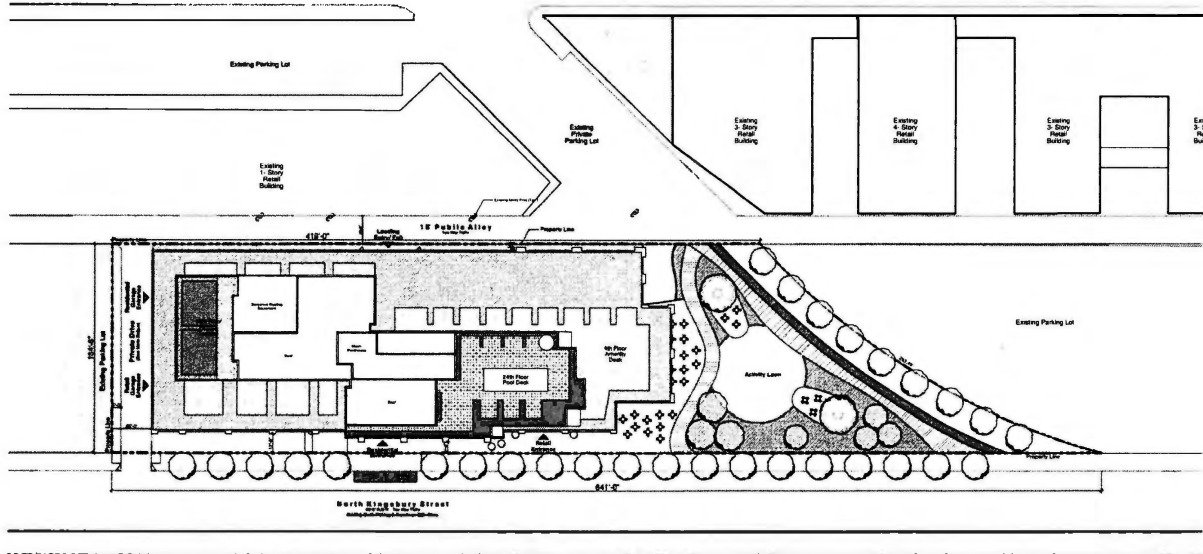
Applicant: Alloy Property Company 2, LLC  
 Address: 2031-2033 North Kingsbury Street  
 Introduction Date: September 21, 2022  
 Plan Commission Date: May 16, 2024

Property Line & Planned Development Boundary



Pappageorge Haymes Partners

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Private Drive Note:

The private access drive shown on the site plan shall be accessible to allow traffic to access the public alley from Kingsbury. Any third-party private access from the access drive shall only be permitted if such third party enters into an easement agreement or other agreement with the Applicant pursuant to which such third party agrees to share in maintenance and other costs associated with the private access drive.

SCALE: 1" =100'

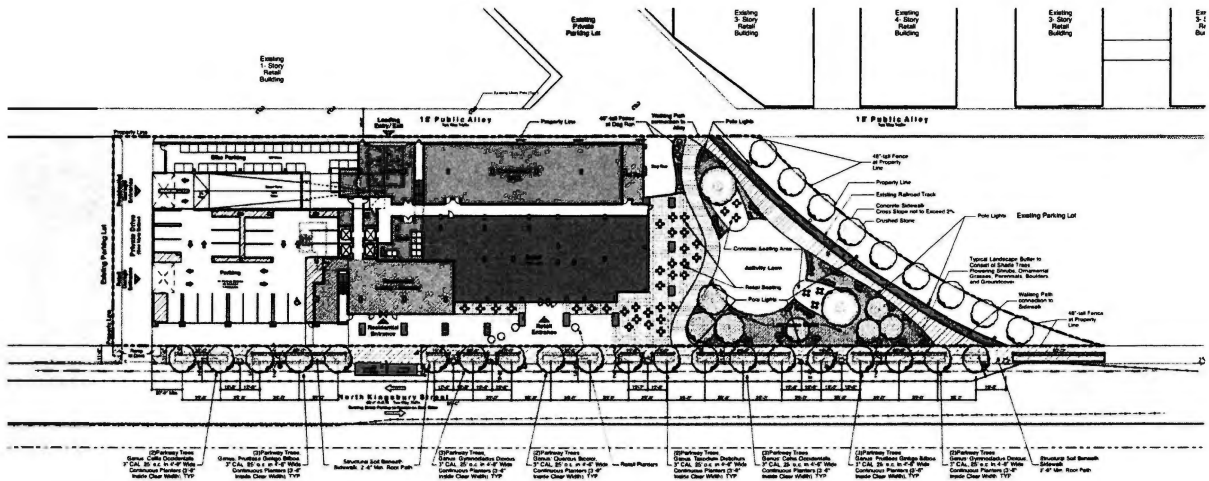
Applicant: Alloy Property Company 2, LLC  
 Address: 2031-2033 North Kingsbury Street  
 Introduction Date: September 21, 2022  
 Plan Commission Date: May 16, 2024

Site Plan



Pappageorge Haymes Partners

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**Private Drive Note:**

The private access drive shown on the site plan shall be accessible to allow traffic to access the public alley from Kingsbury. Any third-party private access from the access drive shall only be permitted if such third party enters into an easement agreement or other agreement with the Applicant pursuant to which such third party agrees to share in maintenance and other costs associated with the private access drive.

SCALE: 1" =100'

**General Notes:**

1. Topsoil is required throughout the fullest dimensions of all tree planters 2'-6" deep with all non-topsoil items from construction spill must be removed from each planter prior to soil installation.
2. All required landscape within public right-of-way to be replaced, if needed, for a minimum of five (5) years by the original applicant and subsequent owners.
3. Securing grates to frames is prohibited. Grate panels may be secured together from bottom side of each panel through the bolt lugs and manufacturers bolting hardware.
4. 4" layer of black lava rock installed throughout the grate opening and the fullest dimensions of the at grade planter is required. Leave no voids between soil and grate.

**Plant Schedule**

Deciduous Trees

	<u>Botanical / Common Name</u>	<u>Cond.</u>	<u>Size</u>
1	Tilia Americana / American Linden	B & B	2.5" Cal.
2	Betula Platyphylla Japonica 'Whitespire' / Japanese Birch	B & B	8" Clump
3	Acer Palmatum 'Bloodgood' / Bloodgood Japanese Maple	B & B	8" Clump
4	Ginkgo Biloba 'Princeton Sentry' / Princeton Sentry Ginkgo	B & B	4" Cal.

Small Evergreen Trees

	<u>Botanical / Common Name</u>	<u>Cond.</u>	<u>Size</u>
5	Thuja Occidentalis 'Smaragd' / Emerald Green Arborvitae	B & B	6' Ht.

Deciduous Shrubs

	<u>Botanical / Common Name</u>	<u>Cond.</u>	<u>Size</u>
6	Rhus Aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 Gal.	24" Ht.
7	Fothergilla Gardenii 'Mt. Airy' / Dwarf Witchalder	B & B	30" Ht.
8	Rhododentron x 'P.J.M.' / P.J.M. Rhododendron	B & B	24" Ht.
9	Ribes Alpinum 'Green Mound' / Green Mound Alpine Currant	B & B	30" Ht.

Ground Covers

	<u>Botanical / Common Name</u>	<u>Cond.</u>
10	Astilbe x Arendsii 'Beauty of Ernst' TM / Color Flash Astilbe	5 Gal.
11	Hemerocallis x 'Stella D'Oro' / Stell D'Oro Daylily	Cont.
12	Heuchera x 'Dolce Cherry Truffles' / Cherry Truffles Coral Bells	Cont.

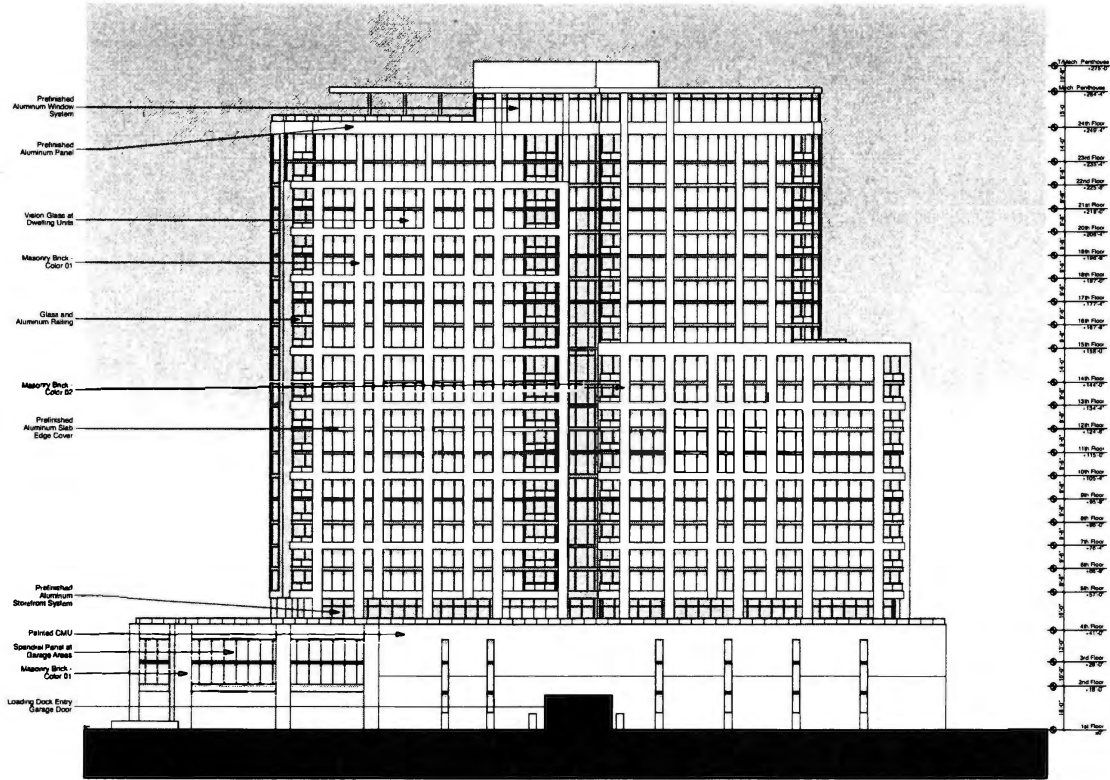
Applicant: Alloy Property Company 2, LLC  
 Address: 2031-2033 North Kingsbury Street  
 Introduction Date: September 21, 2022  
 Plan Commission Date: May 16, 2024

Landscape Plan



Pappageorge Haymes Partners

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SCALE: 1/64" = 1'-0"

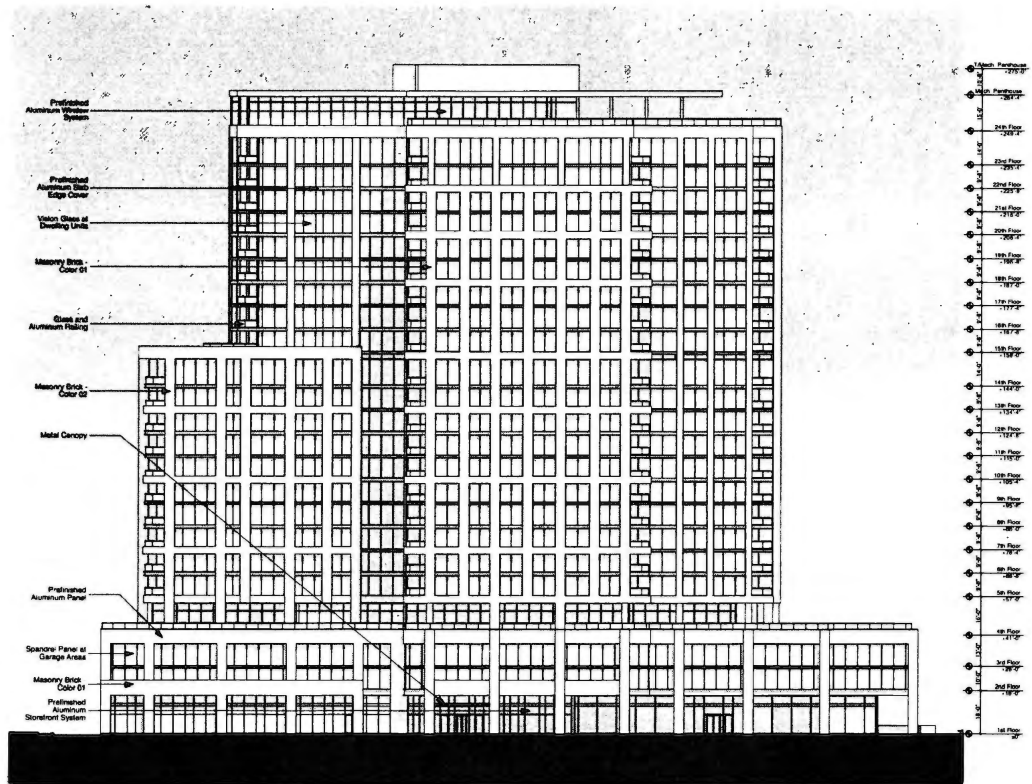


Applicant: Alloy Property Company 2, LLC  
 Address: 2031-2033 North Kingsbury Street  
 Introduction Date: September 21, 2022  
 Plan Commission Date: May 16, 2024

Northeast Elevation

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SCALE: 1/64" = 1'-0"

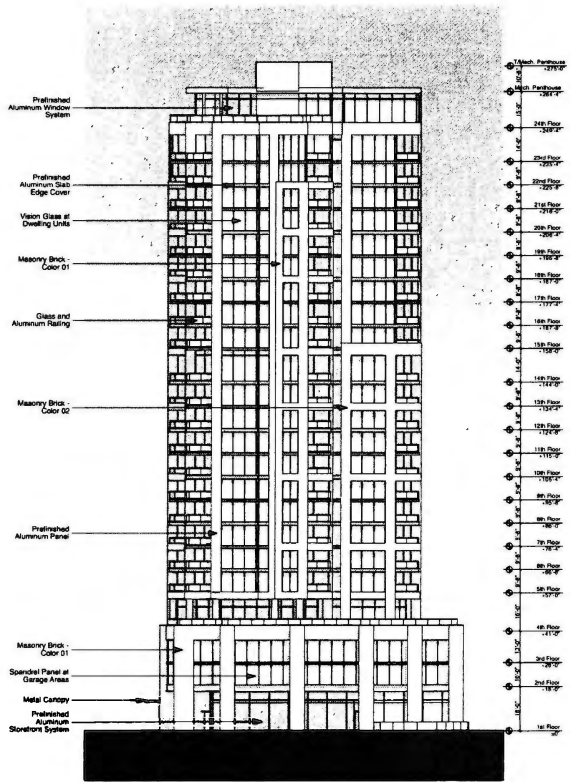


Applicant: Alloy Property Company 2, LLC  
 Address: 2031-2033 North Kingsbury Street  
 Introduction Date: September 21, 2022  
 Plan Commission Date: May 16, 2024

Southwest Elevation

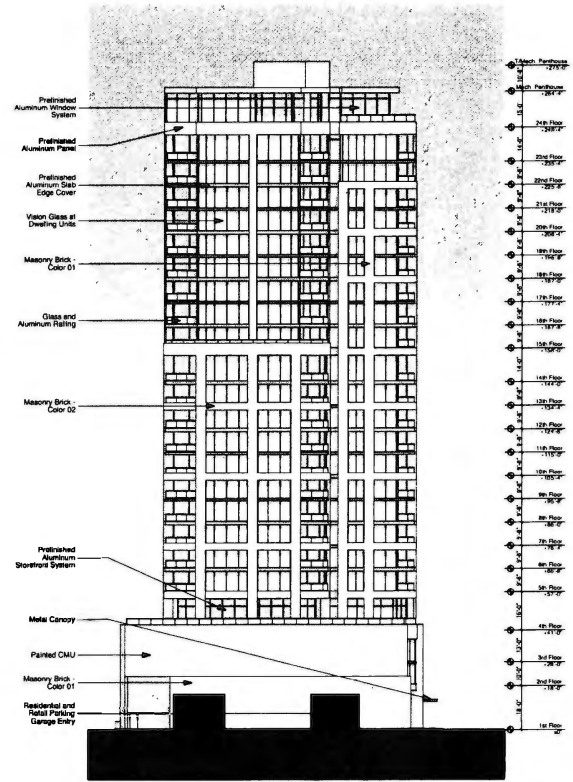
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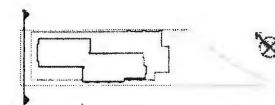
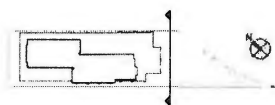
Southeast Elevation

SCALE: 1/64" = 1'-0"



Northwest Elevation

SCALE: 1/64" = 1'-0"

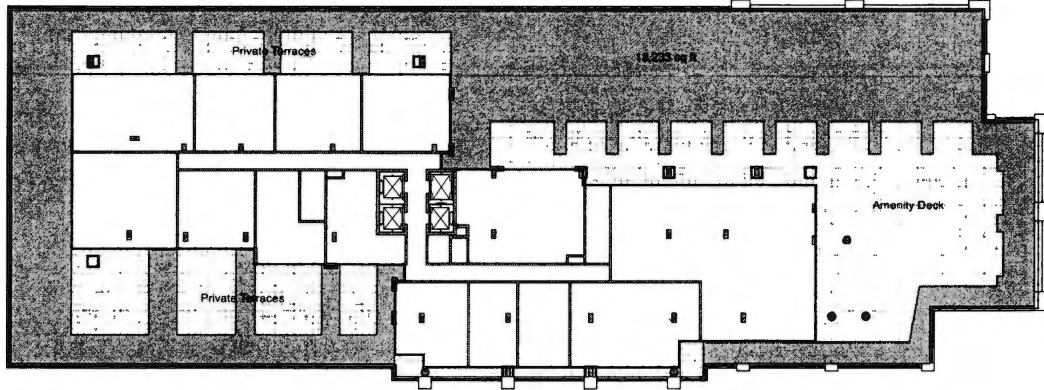


Applicant: Alloy Property Company 2, LLC  
 Address: 2031-2033 North Kingsbury Street  
 Introduction Date: September 21, 2022  
 Plan Commission Date: May 16, 2024

Southeast and Northwest Elevations

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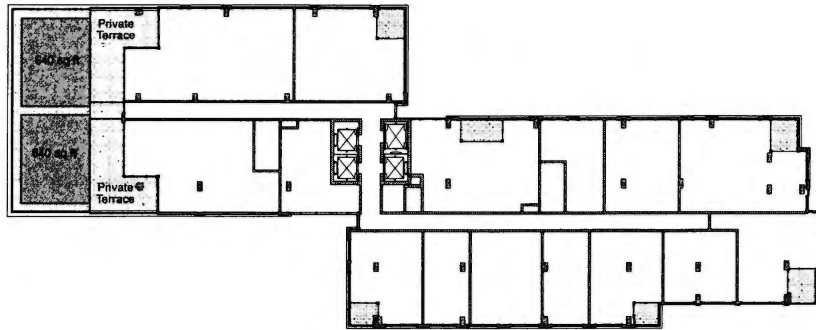
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Green Roof/Landscape Area - 4th Floor

SCALE: 1" = 50'

Gross Roof Area: 22,208 sqft  
 Net Roof Area: 18,702 sqft  
 Green Roof Area: 13,233 sqft



Green Roof/Landscape Area - 4th Floor

SCALE: 1" = 50'

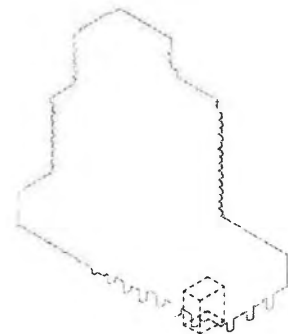
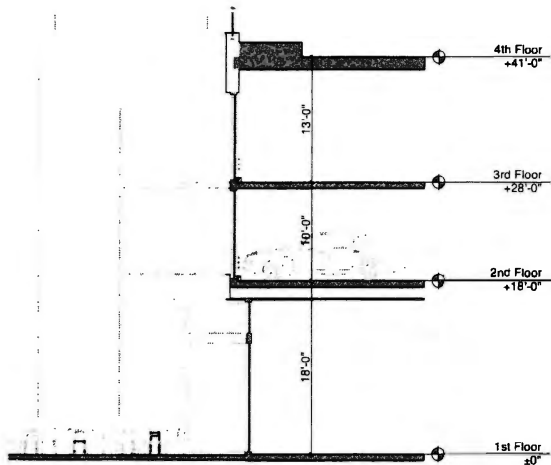
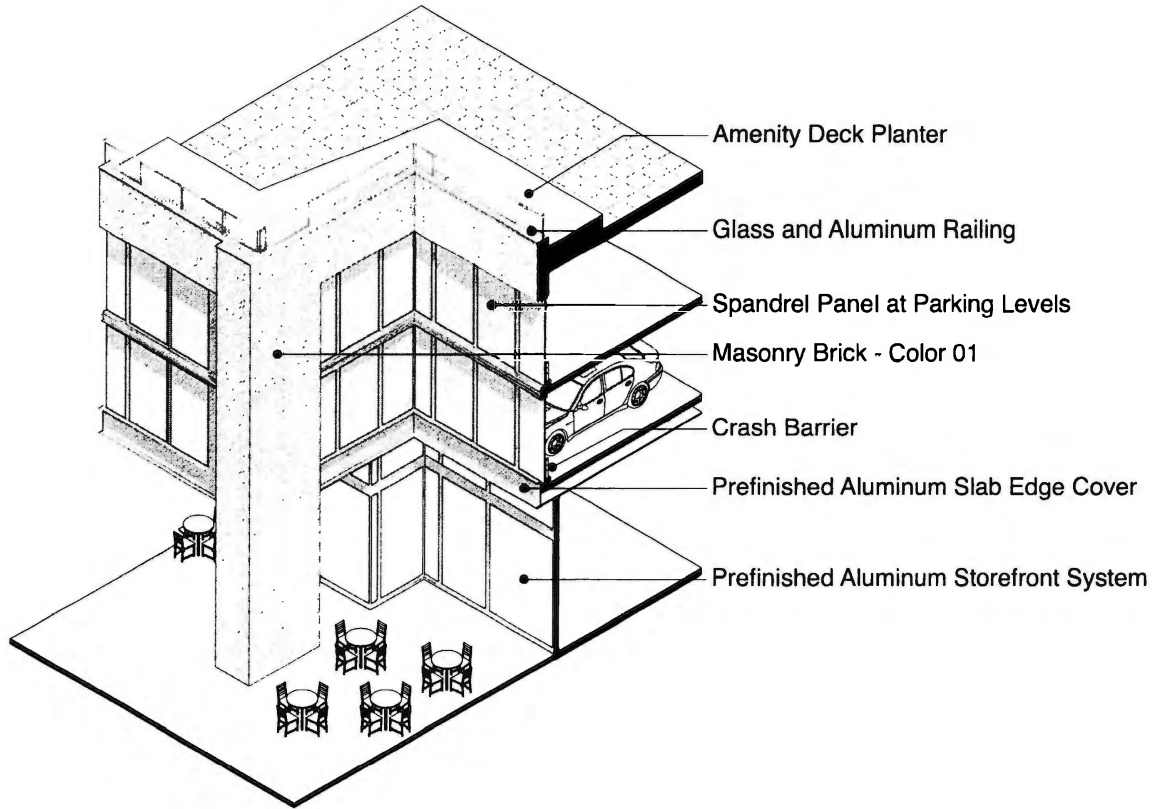
Gross Roof Area: 2,659 sqft  
 Net Roof Area: 1,728 sqft  
 Green Roof Area: 1,280 sqft

Applicant: Alloy Property Company 2, LLC  
 Address: 2031-2033 North Kingsbury Street  
 Introduction Date: September 21, 2022  
 Plan Commission Date: May 16, 2024

**Green Roof Plans**

**Pappageorge Haymes Partners**

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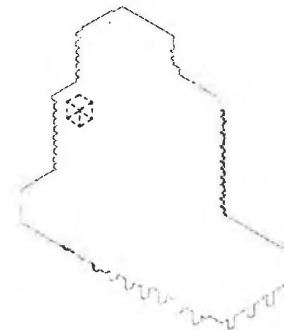
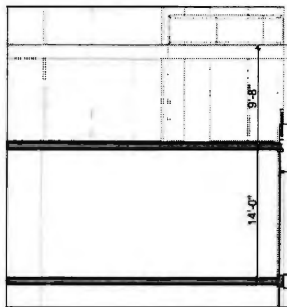
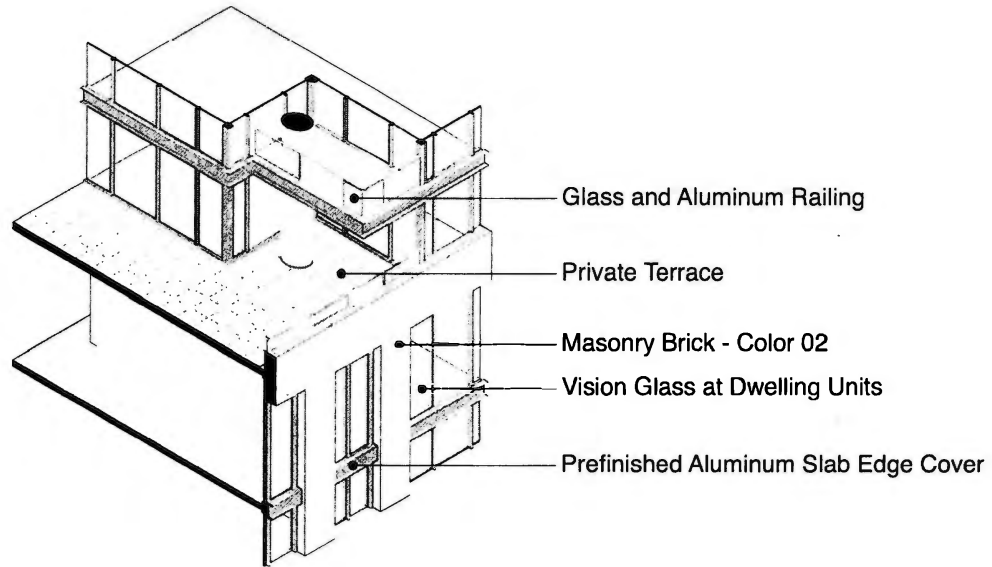


Applicant: Alloy Property Company 2, LLC  
 Address: 2031-2033 North Kingsbury Street  
 Introduction Date: September 21, 2022  
 Plan Commission Date: May 16, 2024

Podium Axonometric View - South Corner

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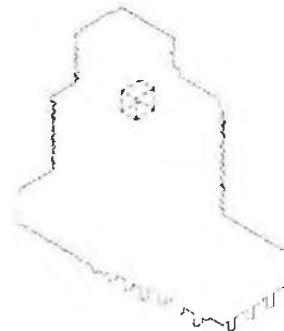
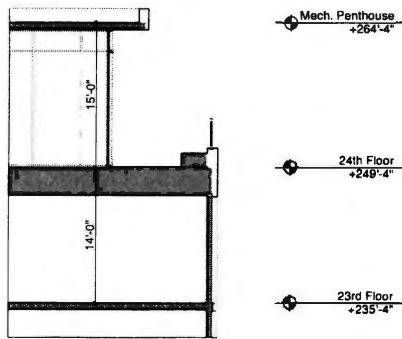
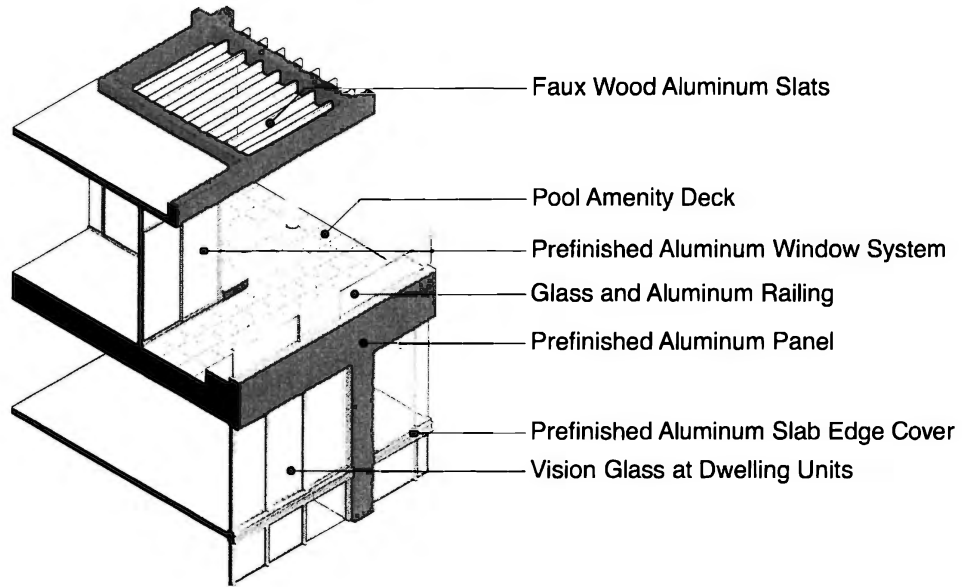
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Applicant: Alloy Property Company 2, LLC  
 Address: 2031-2033 North Kingsbury Street  
 Introduction Date: September 21, 2022  
 Plan Commission Date: May 16, 2024

Tower Axonometric View - 15th Floor Terrace

Final For Publication



Applicant: Alloy Property Company 2, LLC  
 Address: 2031-2033 North Kingsbury Street  
 Introduction Date: September 21, 2022  
 Plan Commission Date: May 16, 2024

Tower Axonometric View - Amenity Deck

*Reclassification Of Area Shown On Map No. 5-H.*  
(Application No. 22449)  
(Common Address: 2200 N. Ashland Ave.)

[O2024-0009478]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the C1-1 Neighborhood Commercial District symbols and indications as shown on Map Number 5-H in the area bounded by:

North Branch of the Chicago River; North Ashland Avenue; West Webster Avenue; Chicago and Northwestern Railroad right-of-way; and a line 180.84 feet running perpendicular to West Webster Avenue to the North Branch of the Chicago River,

to those of a C2-1 Motor Vehicle-Related Commercial District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

---

*Reclassification Of Area Shown On Map No. 5-H.*  
(As Amended)  
(Application No. 22416T1)  
(Common Address: 1934 -- 1936 W. North Ave.)

[SO2024-0008903]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That Title 17 of the Municipal Code, the Chicago Zoning Ordinance, be amended by changing all the C1-2 Neighborhood Commercial District symbols and indications as shown on Map Number 5-H in the area bounded by:

the alley next north of and parallel to West North Avenue; North Winchester Avenue; West North Avenue; and a line 48.4 feet west of and parallel to North Winchester Avenue,

to those of a B3-3 Community Shopping District which is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

[Site Plan; Basement Level, Ground, Second and Third Floor Plans; and North,  
South and East Building Elevations attached to this ordinance printed  
on pages 15011 through 15014 of this *Journal*.]

Type 1 Narrative Rezoning Analysis attached to this ordinance reads as follows:

## Final for Public

### **17-13-0303-C(1) Substitute Type 1 Narrative & Plans – 1934-36 W. North Ave., Chicago, IL**

Proposed Zoning: B3-3 Community Shopping District

Lot Area: 3,872 square feet (irregular lot shape)

Proposed Land Use: The Applicant is proposing to adapt and reuse the existing three-story masonry building. The plans provide a 2,590 sq. ft. retail unit at grade and a total of eight (8) residential units above. The building will remain 49.07 ft. in height. The subject property is a Transit Served Location. No off-street vehicle parking spaces will be provided. The Applicant will file a type 1 optional Administrative Adjustment and Variation as per Section 17-13-0303-D. Pursuant specifically to Secs. 17-13-1003-EE and 17-13-1101-D of the Chicago Zoning Ordinance, the Applicant is also seeking to reduce the number of off-street parking spaces for a Transit Served Location from four (4) parking spaces to zero and waive the loading berth requirement.

- (A) The Project's Floor Area Ratio: 11,616 square feet (3.0 FAR)
- (B) The Project's Density (Minimum Lot Area Per D.U.): 484 square feet per D.U.  
(8 residential units proposed)
- (C) The amount of off-street parking: 0 parking spaces

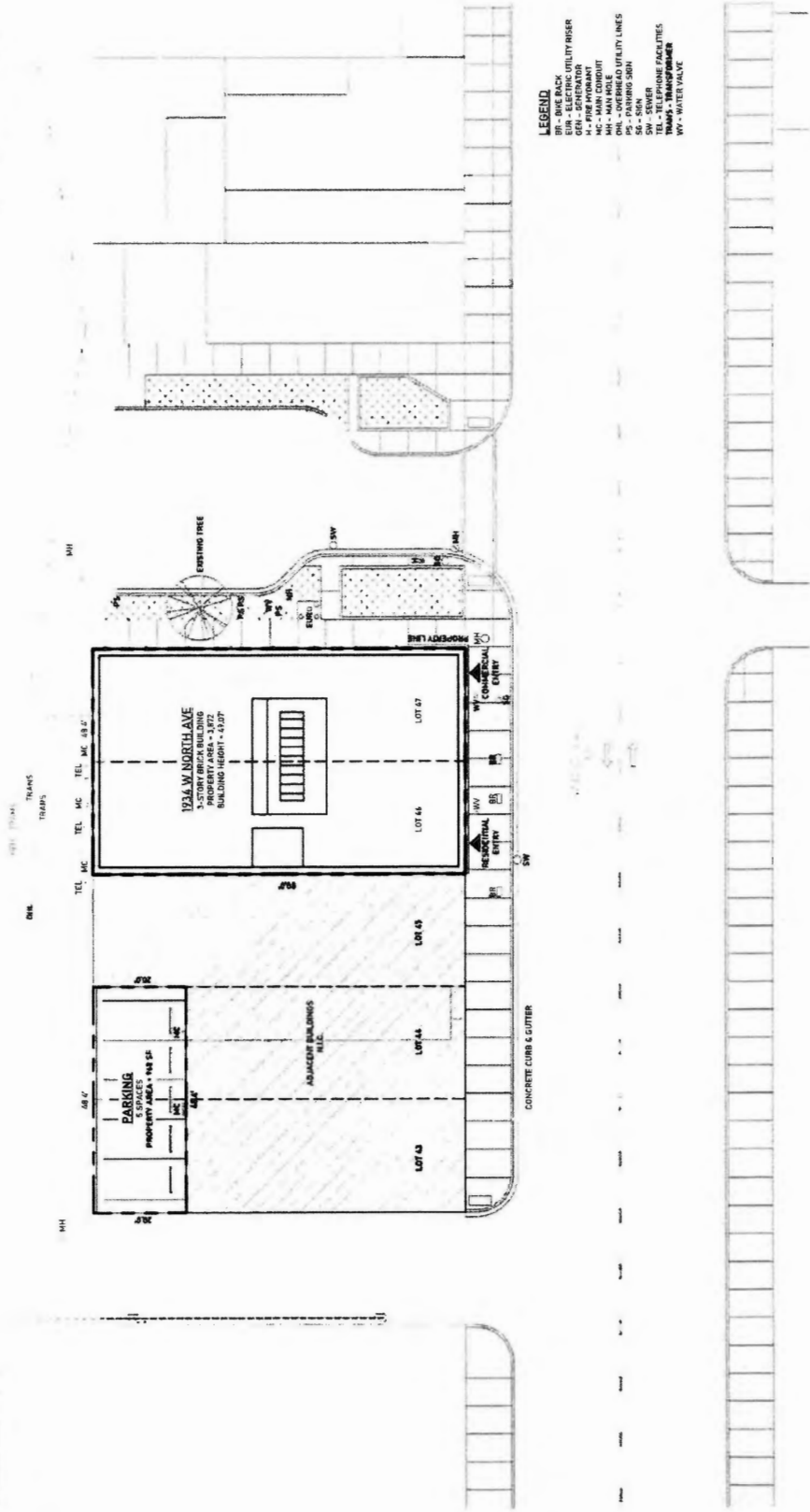
\*The subject property is a designated Transit Served Location. Pursuant to Sec. 17-13-1003-EE, the Applicant is seeking to reduce the allowable parking ratio for the proposed mixed-use building from four (4) parking spaces (50%) to zero (0%) parking spaces.

- (D) Setbacks:
  - a. Front Setback: none
  - b. Side Setbacks:
    - West Side: none
    - East Side: none
  - c. \*Rear Setback: none
- (E) Building Height: 49.07 feet (existing)

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**SITE PLAN**  
SCALE: 1/20" = 1'-0"



- LEGEND**
- BR - BIKE BACK
  - ETR - ELECTRIC UTILITY RISER
  - H - HYDRO-PUMP
  - H-1 - FIRE HYDRANT
  - MC - MANHOLE
  - PS - PARKING SIGN
  - SW - SEWER
  - TEL - TELEPHONE FACILITIES
  - W - WATER MAIN
  - W-1 - WATER VALVE



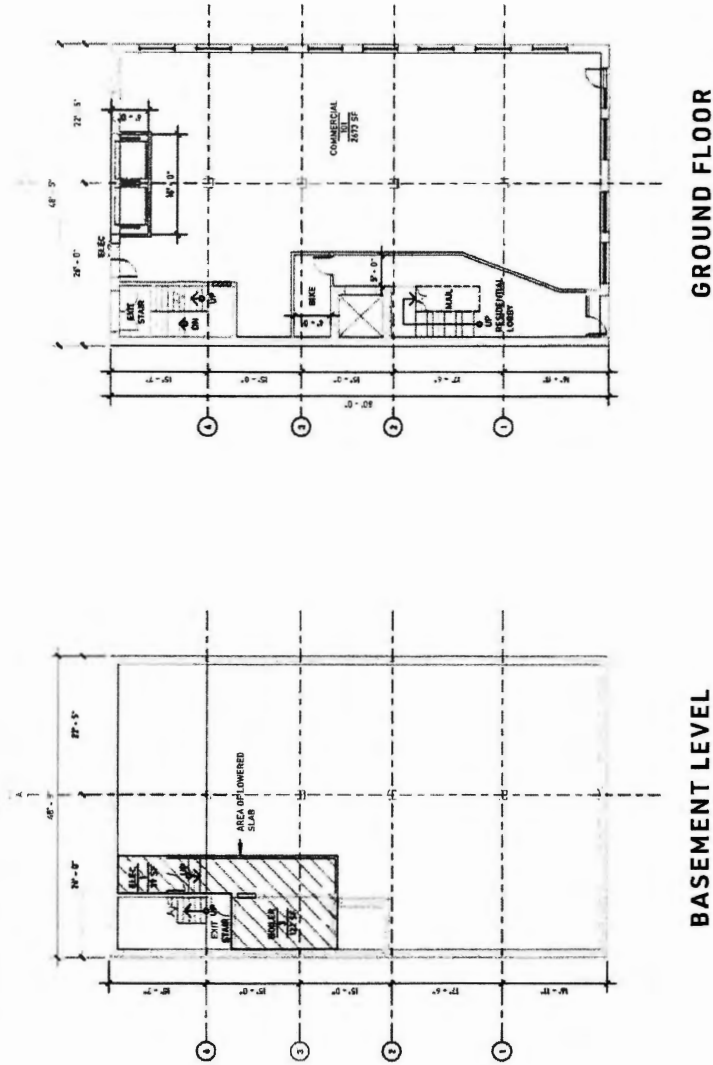
1934 W North Ave | Zoning Amendment | 2024.01.29

FINAL FOR PUBLICATION



**BASEMENT AND GROUND FLOOR PLAN**

SCALE: 1/16" = 1'-0"

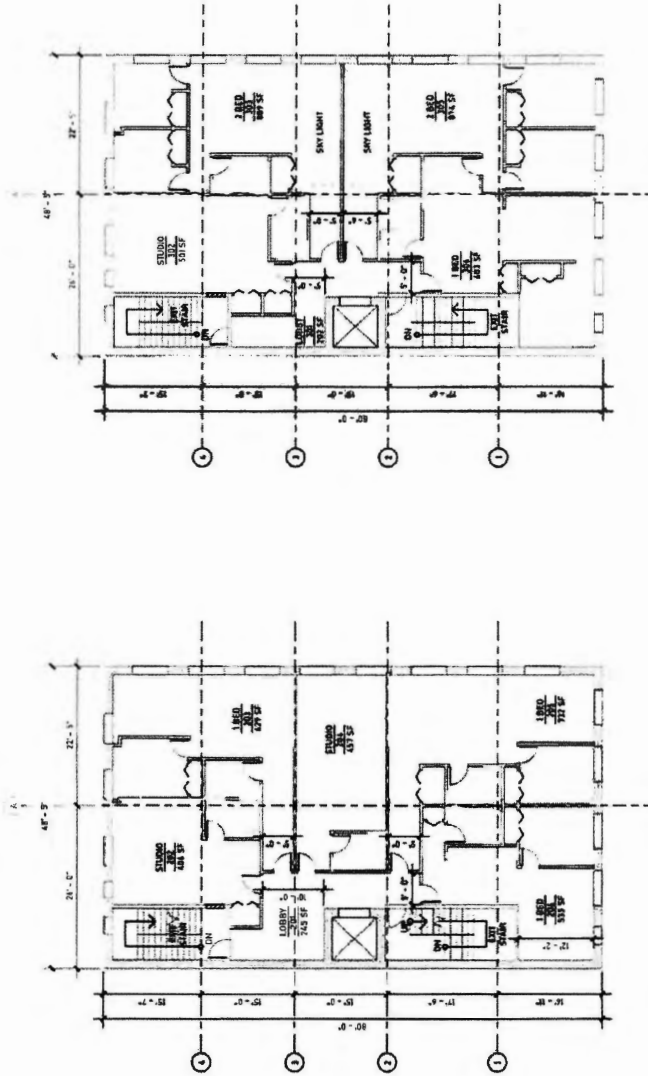


FINAL FOR PUBLICATION



**SECOND AND THIRD FLOOR PLAN**

SCALE: 1/16" = 1'-0"



THIRD FLOOR

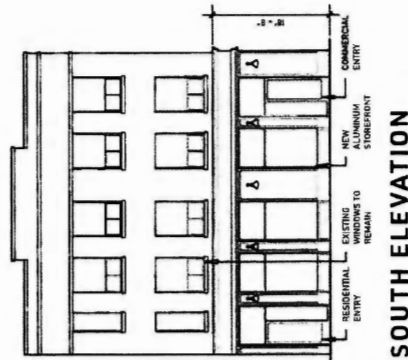
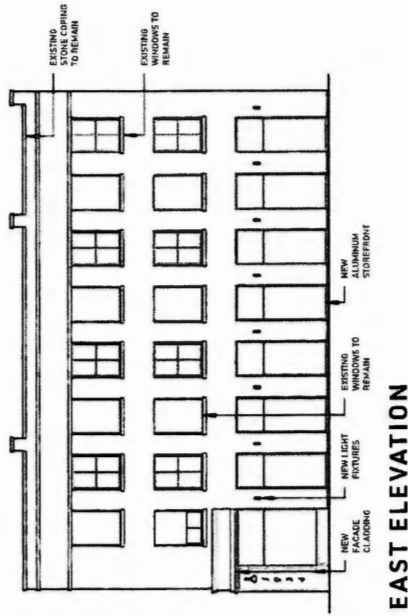
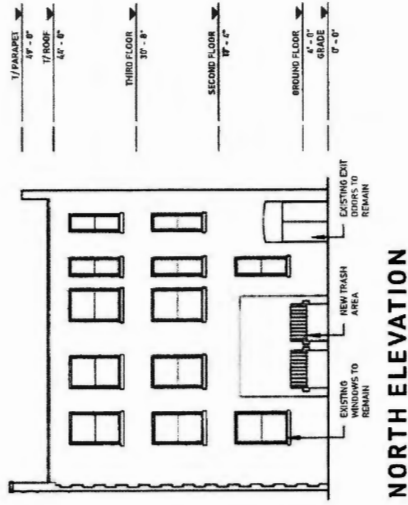
SECOND FLOOR



FINAL FOR PUBLICATION



**BUILDING ELEVATIONS**  
SCALE: 1/16" = 1'-0"



*Reclassification Of Area Shown On Map No. 5-M.*

(Application No. 22467)

(Common Address: 6019 W. Fullerton Ave.)

[O2024-0009609]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That Title 17 of the Municipal Code, the Chicago Zoning Ordinance, be amended by changing all the B3-2 Community Shopping District symbols and indications as shown on Map Number 5-M in the area bounded by:

West Fullerton Avenue; a line 87 feet east of and parallel to North McVicker Avenue; a public alley south of and parallel to West Fullerton Avenue; and a line 57 feet east of and parallel to North McVicker Avenue,

to those of a B2-2 Neighborhood Mixed-Use District which is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

—

*Reclassification Of Area Shown On Map No. 6-E.*

(As Amended)

(Application No. 22414)

(Common Address: 2328 S. Michigan Ave.)

[SO2024-0008888]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all of the DS-5 Downtown Service District symbols and indications as shown on Map Number 6-E in the area bounded by:

South Michigan Avenue; a line 150 feet south of and parallel to East 23<sup>rd</sup> Street; the public alley west of and parallel to South Michigan Avenue; and a line 319.82 feet south of and parallel to East 23<sup>rd</sup> Street,

to those of a DX-5 Downtown Mixed-Use District.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all of the DS-5 Downtown Service District symbols and indications as shown on Map Number 6-E in the area bounded by:

South Michigan Avenue; a line 150 feet south of and parallel to East 23<sup>rd</sup> Street; the public alley west of and parallel to South Michigan Avenue; and a line 319.82 feet south of and parallel to East 23<sup>rd</sup> Street,

to a Residential-Business Planned Development.

SECTION 3. This ordinance shall be in force and effect from and after its passage and publication.

Plan of Development Statements referred to in this ordinance read as follows:

*Residential-Business Planned Development No. \_\_\_\_\_.*

*Plan Of Development Statements.*

1. The area delineated herein as Residential-Business Planned Development Number \_\_\_\_\_ ("Planned Development") consists of approximately 30,415 square feet of property which is depicted on the attached Planned Development Boundary and Property Line Map ("Property"). 2328 South Michigan Owner LLC is the "Applicant" for this Planned Development and owner of the Property.
2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance (the "Zoning Ordinance"), the Property, at the time of application for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400 of the Zoning Ordinance.
3. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustment of the right-of-way shall require a separate submittal to the Chicago Department of Transportation ("CDOT") on behalf of the Applicant or its successors, assigns or grantees.

Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the Plans.

Ingress or egress shall be pursuant to the Plans and may be subject to the review and approval of the Department of Planning and Development ("DPD") and CDOT. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of CDOT.

Pursuant to a negotiated and executed Perimeter Restoration Agreement ("Agreement") by and between the Department of Transportation's Division of Infrastructure Management and the Applicant, the Applicant shall provide improvements and restoration of all public way adjacent to the Property, which may include, but not be limited to, the following as shall be reviewed and determined by the Department of Transportation's Division of Infrastructure Management:

- Full width of streets
- Full width of alleys
- Curb and gutter
- Pavement markings
- Sidewalks
- ADA crosswalk ramps
- Parkway and landscaping

The Perimeter Restoration Agreement must be executed prior to any Department of Transportation and Planned Development Part II review permitting. The Agreement shall reflect that all work must comply with current Rules and Regulations and must be designed and constructed in accordance with the Department of Transportation's Construction Standards for Work in the Public Way and in compliance with the Municipal Code of Chicago Chapter 10-20. Design of said improvements should follow the Department of Transportation's Rules and Regulations for Construction in the Public Way as well as The Street and Site Plan Design Guidelines. Any variation in scope or design of public way improvements and restoration must be approved by the Department of Transportation.

Applicant shall include in the residential tenant leases a disclosure in All Caps and a signed acknowledgment by the tenant that there are only a total of 10 parking spaces on the Property and limited on-street parking.

4. This plan of development consists of these \_\_\_\_\_ Statements: a Bulk Regulations and Data Table and the following exhibits and plans attached hereto prepared by ESA Design Architects and dated June 20, 2024 (the "Plans"): an Existing Zoning Map; a Land-Use Map; a Planned Development Boundary and Property Line Map; a Streetscape Site Plan; and Building Elevations (North, South, East and West). In any

instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Zoning Ordinance, and all requirements thereof, and satisfies the established criteria for approval as a Planned Development. In case of a conflict between the terms of this Planned Development ordinance and the Zoning Ordinance, this Planned Development ordinance shall control.

5. The following uses are permitted in the area delineated herein as a Residential-Business Planned Development Number \_\_\_\_: dwelling units located on and above the ground floor; artist live/work space on and above the ground floor; office; animal services (excluding overnight boarding and kennels); business equipment sales and service; business support services (excluding day labor employment agency); communication service establishments; eating and drinking establishments; financial services (excluding payday loan and pawn shops); food and beverage retail sales; medical service; personal service; general retail sales; participant sports and recreation; co-located wireless communication facilities, accessory and non-accessory parking; and incidental and accessory uses.
6. On-premises signs and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development, subject to the review and approval of DPD. Off-premises signs are prohibited within the boundary of the Planned Development.
7. For purposes of height measurement, the definitions in the Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by the Federal Aviation Administration.
8. The maximum permitted floor area ratio ("FAR") for the Property shall be in accordance with the attached Bulk Regulations and Data Table. For the purposes of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply. The permitted FAR identified in the Bulk Regulations and Data Table has been determined using a net site area of 30,414 square feet and a base FAR of 5.0.

The Applicant acknowledges that the project has received a bonus FAR of 3.1, pursuant to Section 17-4-1000 of the Zoning Ordinance and an additional .31 FAR of floor area pursuant to Section 17-10-0102-B(4). With this bonus FAR, the total FAR for the Planned Development is 8.41. In exchange for the bonus FAR, the Applicant is required to make a corresponding payment, pursuant to Sections 17-4-1003-B and C, prior to the issuance of the first building permit for any building in the Planned Development; provided, however, if the Planned Development is constructed in phases, the bonus payment may be paid on a pro rata basis as the first building permit for each subsequent new building or phase of construction is issued. The bonus payment will be recalculated at the time of payment (including partial payments for phased developments) and may be adjusted based on changes in median land values in accordance with Section 17-4-1003-C.3.

The bonus payment will be split between three separate funds, as follows: 80 percent to the Neighborhoods Opportunity Fund, 10 percent to the Citywide Adopt-a-Landmark Fund and 10 percent to the Local Impact Fund. In lieu of paying the City directly, the Department may: (a) direct developers to deposit a portion of the funds with a sister agency to finance specific local improvement projects; (b) direct developers to deposit a portion of the funds with a landmark property owner to finance specific landmark restoration projects; or (c) approve proposals for in-kind improvements to satisfy the Local Impact portion of the payment.

9. Upon review and determination, "Part II review", pursuant to Section 17-13-0610 of the Zoning Ordinance, a Part II review fee shall be assessed by DPD. The fee, as determined by staff at the time, is final and binding on the Applicant and must be paid to the Department of Revenue prior to the issuance of any Part II approval.

The Plans are hereby approved in their entirety and no further approvals shall be required under this Planned Development or the Zoning Ordinance for the improvements to be undertaken in accordance with the Plans, other than Part II Approval (per Section 17-13-0610 of the Zoning Ordinance). Further, the Applicant shall be permitted to construct a surface non-accessory parking lot on the Property prior to commencement of construction of the project shown in the Plans.

10. The Site and Landscape Plans shall be in substantial conformance with the Landscape Ordinance and any other corresponding regulations and guidelines, including Section 17-13-0800. Final landscape plan review and approval will be by DPD. Any interim reviews associated with site plan review or Part II reviews are conditional until final Part II approval.
11. The Applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Fleet and Facility Management and Buildings, under Section 13-32-125 of the Municipal Code, or any other provision of that code.
12. The terms and conditions of development under this Planned Development ordinance may be modified administratively, pursuant to Section 17-13-0611-A of the Zoning Ordinance by the Zoning Administrator upon the application for such a modification by the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors.
13. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.

14. The Applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources. The Applicant shall obtain the number of points necessary to meet the requirements of the Chicago Sustainable Development Policy, in effect at the time the Part II review process is initiated for each improvement that is subject to the aforementioned policy and must provide documentation verifying compliance.
15. The Applicant acknowledges that it is the policy of the City to maximize opportunities for Minority- and Women-owned Business Enterprises (“M/WBEs”) and city residents to compete for contracts and jobs on construction projects approved through the planned development process. To assist the City in promoting and tracking such M/WBE and city resident participation, an applicant for planned development approval shall provide information at three points in the city approval process. First, the applicant must submit to DPD, as part of its application for planned development approval, an M/WBE Participation Proposal. The M/WBE Participation Proposal must identify the applicant’s goals for participation of certified M/WBE firms in the design, engineering and construction of the project, and of city residents in the construction work. The City encourages goals of (i) 26 percent MBE and 6 percent WBE participation (measured against the total construction budget for the project or any phase thereof), and (ii) 50 percent city resident hiring (measured against the total construction work hours for the project or any phase thereof). The M/WBE Participation Proposal must include a description of the applicant’s proposed outreach plan designed to inform M/WBEs and city residents of job and contracting opportunities. Second, at the time of the applicant’s submission for Part II permit review for the project or any phase thereof, the applicant must submit to DPD: (a) updates (if any) to the applicant’s preliminary outreach plan; (b) a description of the applicant’s outreach efforts and evidence of such outreach, including, without limitation, copies of certified letters to M/WBE contractor associations and the ward office of the alderman in which the project is located and receipts thereof; (c) responses to the applicant’s outreach efforts; and (d) updates (if any) to the applicant’s M/WBE and city resident participation goals. Third, prior to issuance of a Certificate of Occupancy for the project or any phase thereof, the applicant must provide DPD with the actual level of M/WBE and city resident participation in the project or any phase thereof, and evidence of such participation. In addition to the foregoing, DPD may request such additional information as the department determines may be necessary or useful in evaluating the extent to which M/WBEs and city residents are informed of and utilized in planned development projects. All such information will be provided in a form acceptable to the Zoning Administrator. DPD will report the data it collects regarding projected and actual employment of M/WBEs and city residents in planned development projects twice yearly to the Chicago Plan Commission and annually to the Chicago City Council and the Mayor.
16. The Applicant acknowledges and agrees that the rezoning of the Property from the DS-5 Downtown Service District to the DX-5 Downtown Mixed-Use District then to this Residential-Business Planned Development, is an “entitlement” that triggers the requirements of Section 2-44-085 of the Municipal Code of Chicago (the “ARO”). The

P.D. is located in a "downtown district" within the meaning of the ARO and permits the construction of 256 dwelling units, which include 16 additional units (the "TSL Affordable Units") permitted pursuant to Section 17-10-0102-B of the Municipal Code of Chicago (Transit-Served Locations), which allows affordable housing units to replace parking. The TSL Affordable Units are subject to all of the terms and provisions of the ARO. The Applicant intends to construct a 256-unit rental building (the "Project").

Developers of rental projects in downtown districts with 30 or more units must provide between 10 percent and 20 percent of the units in the residential development as affordable units, depending on the average depth of affordability provided, as described in subsection (F)(2) of the ARO. Regardless of the applicable percentage of affordable units in the rental project, developers must construct at least 25 percent of the affordable units on-site and another 25 percent on-site or off-site (collectively, the "Required Units"), and may satisfy the balance of their affordable housing obligation through: (a) the establishment of additional on-site or off-site affordable units; (b) payment of a fee in lieu of the establishment of on-site or off-site affordable units; or (c) any combination thereof. All on-site affordable units must be accessible dwelling units, as required under subsection (W)(10) of the ARO, and developers must give preference in leasing accessible units to people with disabilities, as specified in the ARO rules. All off-site affordable units must have at least two bedrooms and must be located in a downtown district, inclusionary housing area, or community preservation area. Whether on-site or off-site, developers must give preference in leasing affordable units of two bedrooms or more to multi-person households, as specified in the ARO rules. If a residential project is located in a transit-served location, off-site units must be located in a substantially comparable transit-served location.

The Applicant has elected the 20 percent option as set forth in the chart in subsection (F)(2) of the ARO. The ARO obligation is based on the total number of units in the Project excluding the TSL Affordable Units. As a result, the Applicant's affordable housing obligation is 48 affordable units (20 percent of 240), half of which (50 percent of 48 or 24) are Required Units. The Applicant has agreed to satisfy its affordable housing obligation by providing a total of 64 affordable units in the Project, consisting of the 48 affordable units required by the ARO plus the 16 TSL Affordable Units, as set forth in the Affordable Housing Profile (AHP) attached hereto. The Applicant agrees that the affordable rental units must be affordable to households with a range of incomes averaging 60 percent of the Chicago Primary Metropolitan Statistical Area Median Income (AMI), as updated annually, provided that: (x) the maximum income level for any affordable unit may not exceed 80 percent of the AMI; (y) at least one-third (or 21 units) must be affordable to households at or below 50 percent of the AMI, one-sixth of which (or 4 of the 21 units) must be affordable to households at or below 40 percent of the AMI; and (z) all income levels must be multiples of 10 percent of the AMI.

If the Applicant requests any material change to its method of compliance with the ARO, such as locating affordable units off-site instead of on-site or changing the target affordability level after the passage of this P.D., DOH may adjust the AHP as requested, in accordance with the ARO, without amending the P.D., provided

however, the Applicant must update and resubmit the revised AHP to DOH for review and approval and, at DOH's request, provide an informational presentation to Plan Commission on such change. Prior to the issuance of any building permits for any residential building in the P.D., including, without limitation, excavation or foundation permits, the Applicant must execute and record an Inclusionary Housing Agreement ("IHA") in accordance with subsection (N) of the ARO. The terms of the IHA and any amendments thereto are incorporated herein by this reference. The Applicant acknowledges and agrees that the IHA will be recorded against the P.D. and will constitute a lien against such property. The Commissioner of DOH may enforce remedies for any breach of this Statement 16, including any breach of any IHA, and enter into settlement agreements with respect to any such breach, subject to the approval of the Corporation Counsel, without amending the P.D.

This statement does not include all ARO requirements and options. It is intended to provide an overview of the application of the ARO to this P.D. In the event of any conflict between this statement and the terms and conditions of the ARO, the ARO shall govern.

Developers of rental projects in downtown districts with 30 or more units must provide between 10 percent and 20 percent of the units in the residential development as affordable units, depending on the average depth of affordability provided, as described in subsection (F)(2) of the ARO. Regardless of the applicable percentage of affordable units in the rental project, developers must construct at least 25 percent of the affordable units on-site and another 25 percent on-site or off-site (collectively, the "Required Units"), and may satisfy the balance of their affordable housing obligation through: (a) the establishment of additional on-site or off-site affordable units; (b) payment of a fee in lieu of the establishment of on-site or off-site affordable units; or (c) any combination thereof. All on-site affordable units must be accessible dwelling units, as required under subsection (W)(10) of the ARO, and developers must give preference in leasing accessible units to people with disabilities, as specified in the ARO rules. All off-site affordable units must have at least two bedrooms and must be located in a downtown district, inclusionary housing area, or community preservation area. Whether on-site or off-site, developers must give preference in leasing affordable units of two bedrooms or more to multi-person households, as specified in the ARO rules. If a residential project is located in a transit-served location, off-site units must be located in a substantially comparable transit-served location.

The Applicant has elected the 20 percent option as set forth in the chart in subsection (F)(2) of the ARO. Additionally, the Applicant has achieved additional floor area pursuant to Section 17-10-0102-B(4) of the Municipal Code of Chicago (the "Parking Bonus"), which allows for affordable housing units to replace parking. As a result, the Applicant's affordable housing obligation is 64 affordable units (20 percent of 240 pursuant to the ARO and 16 additional units pursuant to the Parking Bonus) and half of those affordable units are Required Units. Pursuant to subsection (T) of the ARO, the Applicant must provide an additional unit on-site or off-site to satisfy the fractional obligation. The Applicant has agreed to satisfy its affordable housing obligation by providing all 64 affordable units in the rental building in the P.D., as set

forth in the Affordable Housing Profile (AHP) attached hereto. The Applicant agrees that the affordable rental units must be affordable to households with a range of incomes averaging 60 percent of the Chicago Primary Metropolitan Statistical Area Median Income (AMI), as updated annually, provided that: (x) the maximum income level for any affordable unit may not exceed 80 percent of the AMI; (y) at least one-third (or 21 units) must be affordable to households at or below 50 percent of the AMI; of which one-sixth (or 4 of the 21 units) must be affordable to households at or below 40 percent of the AMI; and (z) all income levels must be multiples of 10 percent of the AMI.

If the Applicant requests any material change to its method of compliance with the ARO, such as locating affordable units off-site instead of on-site or changing the target affordability level after the passage of this P.D., DOH may adjust the AHP as requested, in accordance with the ARO, without amending the P.D., provided however, the Applicant must update and resubmit the revised AHP to DOH for review and approval and, at DOH's request, provide an informational presentation to Plan Commission on such change. Prior to the issuance of any building permits for any residential building in the P.D., including, without limitation, excavation or foundation permits, the Applicant must execute and record an Inclusionary Housing Agreement ("IHA") in accordance with subsection (N) of the ARO. The terms of the IHA and any amendments thereto are incorporated herein by this reference. The Applicant acknowledges and agrees that the IHA will be recorded against the P.D. and will constitute a lien against such property. The Commissioner of DOH may enforce remedies for any breach of this Statement 16, including any breach of any IHA, and enter into settlement agreements with respect to any such breach, subject to the approval of the Corporation Counsel, without amending the P.D.

This statement does not include all ARO requirements and options. It is intended to provide an overview of the application of the ARO to this P.D. In the event of any conflict between this statement and the terms and conditions of the ARO, the ARO shall govern.

17. This Planned Development shall be governed by Section 17-13-0612 of the Zoning Ordinance. Should this Planned Development ordinance lapse, the Zoning Administrator of DPD shall initiate a zoning map amendment to rezone the Property to the DX-5 Downtown Mixed-Use District.

[Levels 1 through 17 floor Plans; Existing Zoning Map; Existing Land-Use Map; Boundary and Property Line Map; Site Plan; Landscape Plan; Ground Floor Plan; Typical Lower-Level Floor Plan; Level 7 and 18 Floor Plans; Roof Plan; and North, South, East and West Building Elevations referred to in these Plan of Development Statements printed on pages 15029 through 15043 of this *Journal*.]

Bulk Regulations and Data Table and ARO Intake Form referred to in these Plan of Development Statements read as follows:

*Residential-Business Planned Development No. \_\_\_\_\_.*

*Bulk Regulations And Data Table.*

Gross Site Area (square feet):	38,853
Area of Public Rights-of-Way (square feet):	8,439
Net Site Area (square feet):	30,414
Maximum Floor Area Ratio (FAR):	8.41
Base FAR:	5.0
Neighborhoods Opportunity Bonus FAR:	3.1
FAR per Section 17-10-0102-B(4):	0.31
Maximum Number of Dwelling Units:	256*
Minimum Off-Street Parking Spaces:	10
Minimum Bicycle Parking Spaces:	256
Minimum Off-Street Loading:	(2) 10 feet by 25 feet
Maximum Building Height:	170 feet, 0 inches
Minimum Setbacks:	In conformance with the Plans

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\* Includes 16 units permitted pursuant to Section 17-10-0102-B(4).

\* An official website of the City of Chicago Here's how you know

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# ARO Intake Application



Submission ID: 884652

## Applicant Contact Information

Section 2-44-085 of the Municipal Code of the City of Chicago (the "ARO") is effective as of October 1, 2021, and is available to read in its entirety online at: [https://codelibrary.amlegal.com/codes/chicago/latest/chicago\\_il/0-0-0-2598874](https://codelibrary.amlegal.com/codes/chicago/latest/chicago_il/0-0-0-2598874).

The Pilsen-Little Village ARO Pilot shall expire without further action by the City Council on 12/31/2023 and its requirements have been incorporated into this web form. More information is available in [Section 2-44-105 of the City's Municipal Code](#).

**PLEASE READ CAREFULLY.** This form requires several steps and does NOT support an automatic save or save for later function. Before starting the submission process, please gather and complete all the necessary documentation outlined in [Article 5.1.2 of the ARO Rules](#), and listed below. Please start by first completing the Affordable Unit Details Worksheet, available for [download here](#). The Affordable Unit Details Worksheet is required to be submitted as an attachment under Step 4 of this submission.

If affordable units are proposed, please ensure that you have the following documents ready to submit when prompted:

- Affordable Unit Mix Details and Square Footage Spreadsheet
- Dimensional Floor Plans with affordable units highlighted
- If affordable units are proposed off-site, off-site unit application as detailed in Article 6.2.5 of the ARO Rules.
- If affordable units are proposed as authorized agency units, a signed acceptance letter from the authorized agency.

Your application will be reviewed when all required documentation has been received. Additional documents may be requested during the review period by DOH staff.

The ARO Rules are available online at [www.chicago.gov/ARO](http://www.chicago.gov/ARO). If you have any questions about completing this application, please contact [ARO@cityofchicago.org](mailto:ARO@cityofchicago.org).

Please help us improve the form by reporting any errors, inconsistencies or sharing any suggestions to [ARO@cityofchicago.org](mailto:ARO@cityofchicago.org).

<b>Applicant Name *</b>	<b>Applicant Contact Person *</b>
<input type="text" value="2328 S Michigan Owner LLC"/>	<input type="text" value="Nick Anderson"/>
<b>Applicant Email *</b>	<b>Applicant Phone *</b>
<input type="text" value="nickanderson@fernhillcompany.com"/>	<input type="text" value="(312) 550-9388"/>
<b>Applicant Address *</b>	
<input type="text" value="360 N State Street"/>	
<b>Attorney Name *</b>	<b>Attorney Email *</b>
<input type="text" value="Katie Jahnke Dale"/>	<input type="text" value="katie.dale@dlapiper.com"/>

## Development Information

Development Address:

<b>From *</b>	<b>To</b>	<b>Direction *</b>	<b>Street Name *</b>
<input type="text" value="2328"/>	<input type="text"/>	<input type="text" value="S"/>	<input type="text" value="MICHIGAN AVENUE"/>
<b>Zip Code *</b>	<b>Ward *</b>	<b>ARO Zone *</b>	
<input type="text" value="606162105"/>	<input type="text" value="3"/>	<input type="text" value="Downtown"/>	

<b>Development Name *</b>	<b>If you are working with a Planner at the City, what is his/her/their name?</b>
<input type="text" value="2328 S Michigan"/>	<input type="text" value="Fernando Espinoza"/>

<b>Zoning Application Number (if applicable)</b>	<b>Council Introduction Date *</b>
<input type="text" value="22414"/>	<input type="text" value="4/17/2024"/>

Is your project currently in, or do you plan to rezone to, a downtown zoning district? \*  
 Yes  No

<b>ARO Trigger *</b>	<b>Development Type *</b>
<input type="text" value="Zoning Entitlement"/>	<input type="text" value="Rental"/>

Total Units \*

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Is your Project in a Transit Served Location? \*

Estimated date marketing will begin \*

Estimated date of building permit (in-lieu fee, \$5,000 per off-site unit administration fee, and recorded covenant are required prior to issuance of any building permits) \*

### ARO Requirements

ARO Option

- 20% at 60% average AMI
- 16% at 50% average AMI
- 13% at 40% AMI
- 10% at 30% AMI

ARO Option

- 20% at 100% AMI
- 16% at 80% AMI

ARO Option \*

10% SET-ASIDE AT A WEIGHTED AVERAGE OF 60% OF THE AMI

ARO Option \*

- 10% AT A WEIGHTED AVERAGE OF 100% AMI
- 8% AT A WEIGHTED AVERAGE OF 80% AMI

Affordable Units Required \*

Minimum On-Site Units \*

Maximum Units Paid For In-Lieu \*

Proposed On-Site Units \*

Proposed Off-Site Units \*

Proposed In-Lieu Units \*

In-Lieu Amount Owed \*

On-Site Units To CLIHTF or CHA \*

If the In-Lieu Amount Owed calculation results in a fractional unit that is less than 0.5, the developer shall either pay an in lieu fee or provide an additional unit to satisfy the fractional obligation. The in lieu fee for any fractional unit will be calculated as follows: [fractional unit] x [applicable in lieu fee].

Off Site Address:

From	To	Direction	Street Name
<input type="text"/>	<input type="text"/>	Select One	Select One

Zip Code	Ward	ARO Zone
<input type="text"/>	<input type="text"/>	<input type="text"/>

Off-Site Type

Off-Site Admin Fee

### Forms

Unit Mix and Square Footage Spreadsheet \*

[ARO\\_Affordable\\_Unit\\_Details\\_and\\_Square\\_Footage\(1\).xlsx](#)

Dimensioned Floor Plans with affordable units highlighted

[2328 S Michigan - PD Drawing Set.pdf](#)

If ARO units are CLHIF or CHA, attach signed acceptance letter  
If off-site units are new construction, attach:

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- A. Schematic and design development drawings for on-site units
- B. Schematic and design development drawings for off-site units  
If off-site units are rehab, please attach the following documents:
  - A. Schematic and design development drawings for on-site units
  - B. Schematic and design development drawings for off-site units
  - C. A Physical Needs Assessment (PNA)
  - D. Surveys
  - E. Outstanding code violations
  - F. Scope of work and estimated cost of renovations

### Off-Site Units Only: Documents Required for Architectural Approval Letter

- A. Owner Sworn Statement
- B. GC Sworn Statement
- C. Boundary Survey
- D. Draft permit application prior to submission to the Department of Buildings (DOB)
- E. Final construction drawings stamped by the architect of record prior to submission to DOB

### OFF-SITE UNITS ONLY: Documents required for Architectural Construction a Approval Letter and Notice to Proceed

- A. A letter from the Developer on company letterhead stating the project is complete and requesting a final site inspection from DOH
- B. A copy of the front and back of each building permit for each property with all DOB signoffs
- C. A copy of the Certificate of Occupancy for each property (if applicable)
- D. Final GC and Owner Sworn Statements
- E. All final waivers of lien or a title report showing no liens for each property
- F. As built Survey (new construction)
- G. Final Issued for Construction Permitted Construction Drawings
- H. List of any Buyer changes (if applicable, for-sale units only)

### Signature

Developer or their Agent \*

Katie Jahnke Dale

### Summary Work Log

Submission Date: 05/22/2024 11:59:44 AM  
Amended Date:  
Admin Amended Date:  
Admin Amended By:  
Admin Amended Justification:

- |                            |                           |
|----------------------------|---------------------------|
| <b>Options</b>             | <b>Action</b>             |
| <a href="#">Show Notes</a> | <a href="#">Accept</a>    |
| <a href="#">Email User</a> | <a href="#">Deny</a>      |
|                            | <a href="#">Follow Up</a> |

Close

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Project Name	2328 S Michigan
Zoning Application number, if applicable	22414
Address	2328 South Michigan Avenue, Chicago, IL 60616
Is this a For Sale or Rental Project?	Rental
Anticipated average psf rent/price?	
Total Units in Project	256
Total Affordable units	64

unit type	Market Rate			ARO			
	how many?	% of total	avg. square footage	how many?*	% of total	avg. square footage	affordable v. market square footage**
studio	66	34%	518	22	34%	534	103%
one-bed	102	53%	838	34	53%	641	100%
two-bed	24	13%	1,334	8	13%	1,243	94%
three-bed	0	0%	0	0	0%	0	0%

\*ARO unit percentages, by unit type, should reflect corresponding market rate percentages (for example, if 10% of market rate units are studios, roughly 10% of ARO units can be studios).  
 \*\*the average affordable square footage should be 85% or greater of market-rate square footage for comparable unit type. Off-site units must meet minimum unit sizes specified in the Design Guidelines.

Features and Amenities

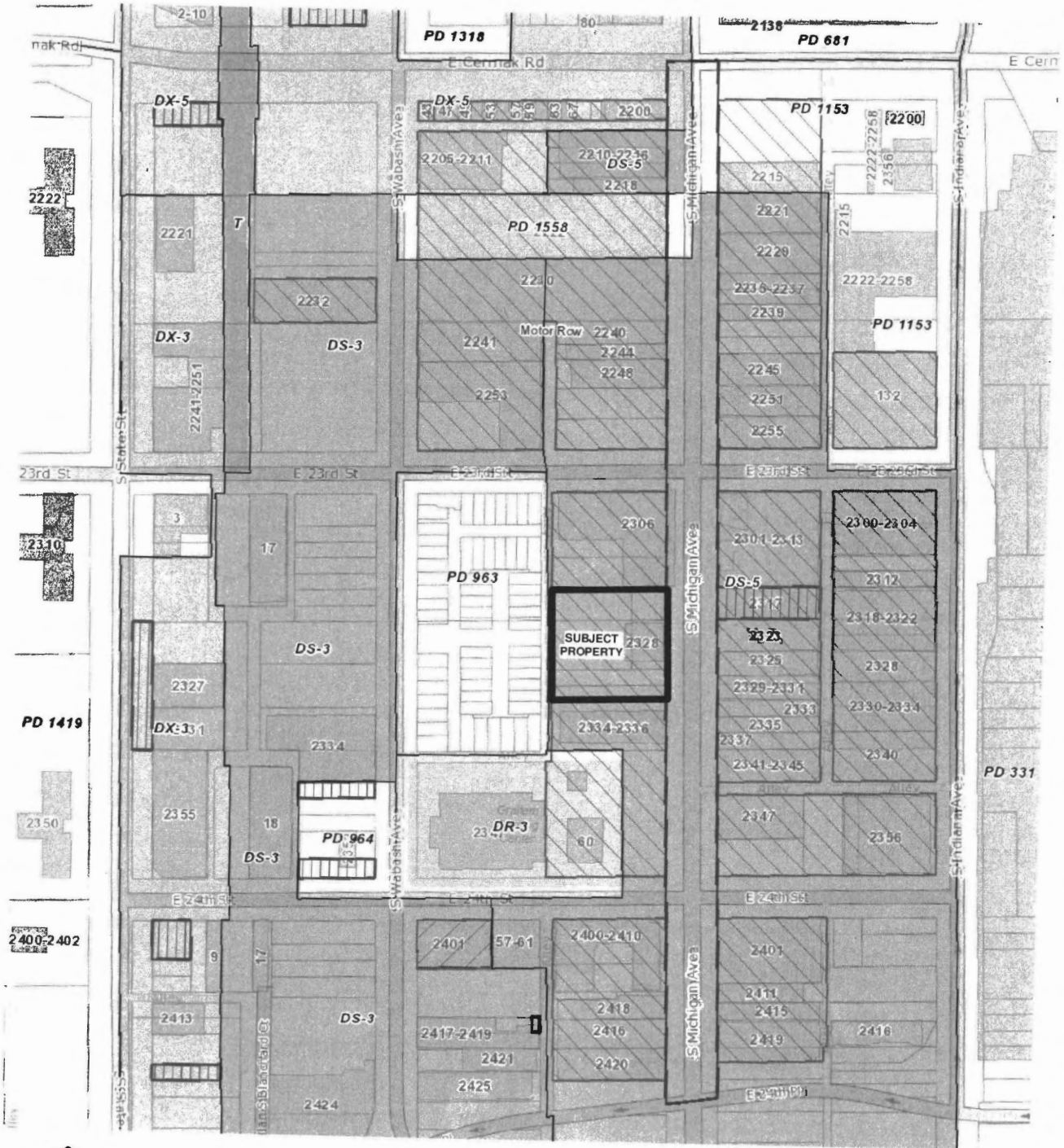
	Market Rate Units	Affordable Units
Parking	6	2
Laundry	In-Unit	In-Unit
<b>Appliances</b>		
Refrigerator age/EnergyStar/make/model/color	0/Y/Samsung/RF18A5101/SS	0/Y/Samsung/RF18A5101/SS
Dishwasher age/EnergyStar/make/model/color	0/Y/Samsung/300Series/SS	0/Y/Samsung/300Series/SS
Stove/Oven age/EnergyStar/make/model/color	0/Y/Samsung/NX6078111/SS	0/Y/Samsung/NX6078111/SS
Microwave age/EnergyStar/make/model/color	0/Y/Samsung/HS14K9000AS/SS	0/Y/Samsung/HS14K9000AS/SS
Bathroom(s) how many? Half bath? Full bath?	1 full bath per bedroom	1 full bath per bedroom
Kitchen countertops material	Solid Surface	Solid Surface
Flooring material	Vinyl Wood Flooring	Vinyl Wood Flooring
HVAC	Heat Pumps	Heat Pumps
Other		

NOTE: DOH will review specific details for features and amenities for approval when they become available. The Applicant shall provide comparable unit finishes and amenities in affordable units as in market-rate units as required by the ARO Rules.

AMI Mix for ARO Units

Affordable Units	30% AMI	40% AMI	50% AMI	60% AMI	70% AMI	80% AMI	Total Units	Average
Studio	-	1	6	10	-	5	22	60.9%
1 bed	-	2	10	16	-	6	34	59.4%
2 bed	-	1	2	4	-	1	8	57.5%
3 bed	-	-	-	-	-	-	-	-
	-	4	18	30	-	12	64	58.7%





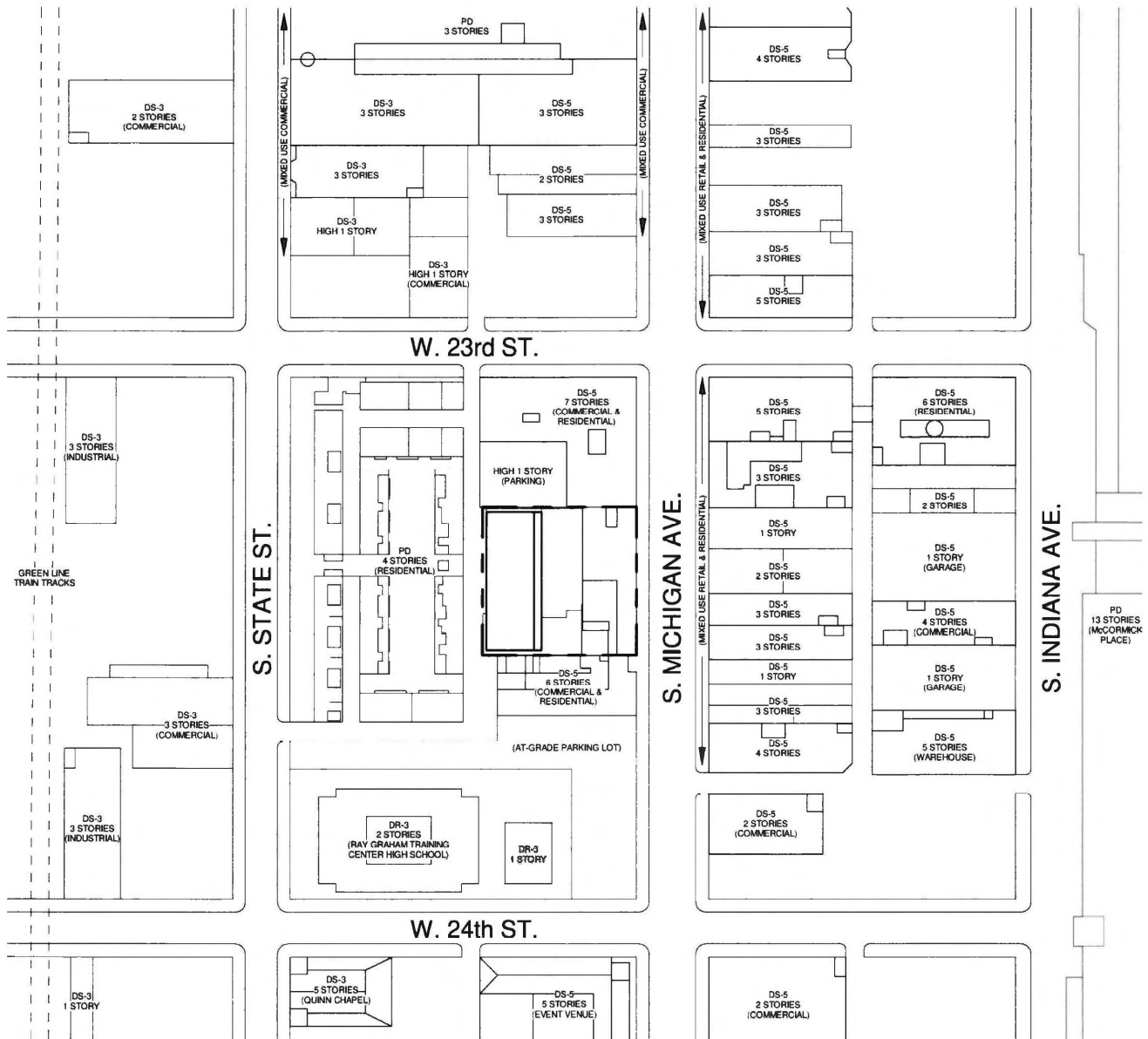
**EXISTING ZONING MAP**

**ECKENHOFF SAUNDERS**

**FINAL FOR PUBLICATION**

Applicant: 2328 S Michigan Owner LLC  
 Address: 2328 South Michigan  
 Introduction: April 17, 2024  
 Plan Commission: June 20th, 2024

FINAL FOR PUBLICATION



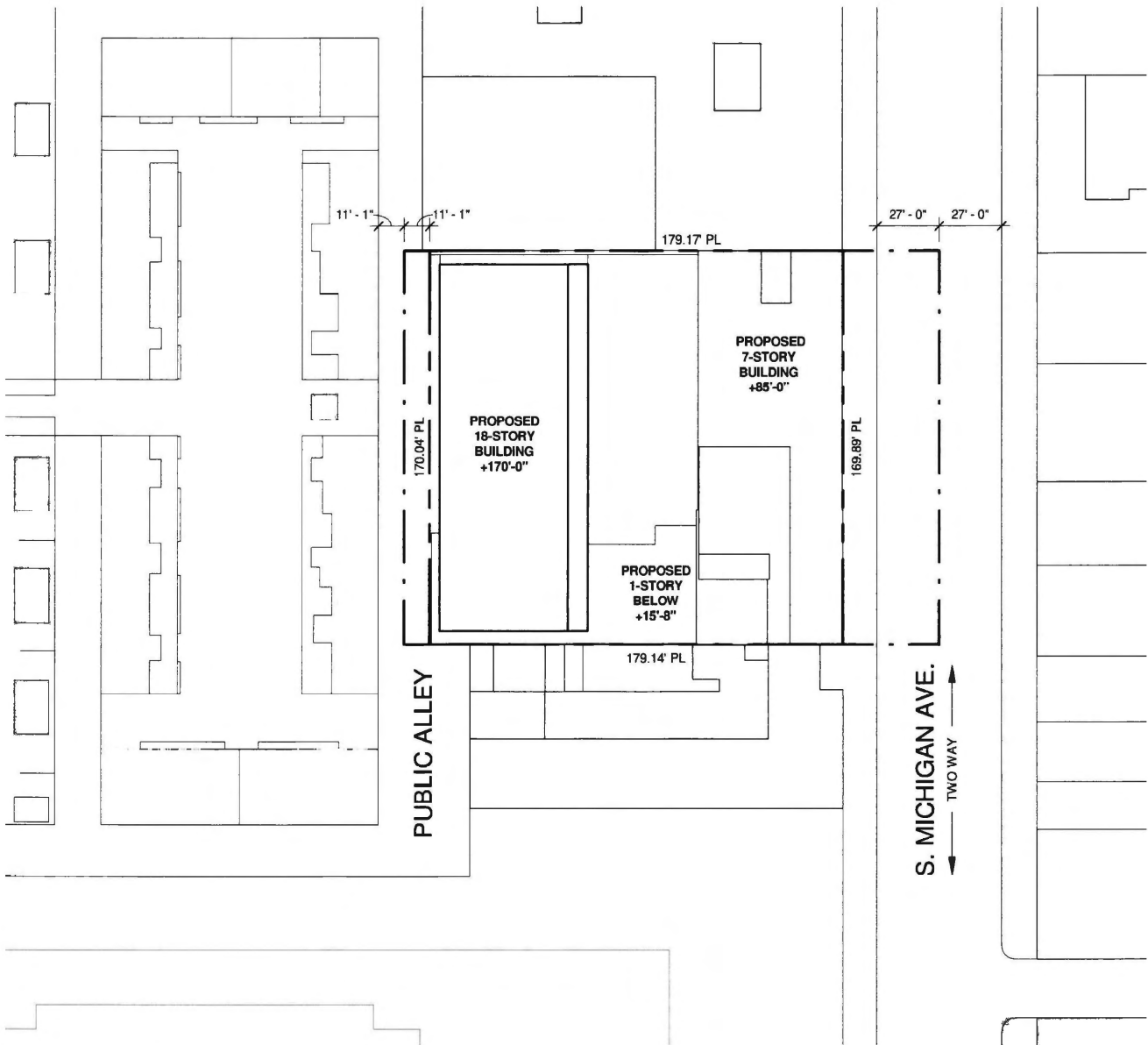
EXISTING LAND USE MAP

ECKENHOFF SAUNDERS

Applicant:  
Address:  
Introduction:  
Plan Commission:

2328 S Michigan Owner LLC  
2328 South Michigan  
April 17, 2024  
June 20th, 2024

FINAL FOR PUBLICATION

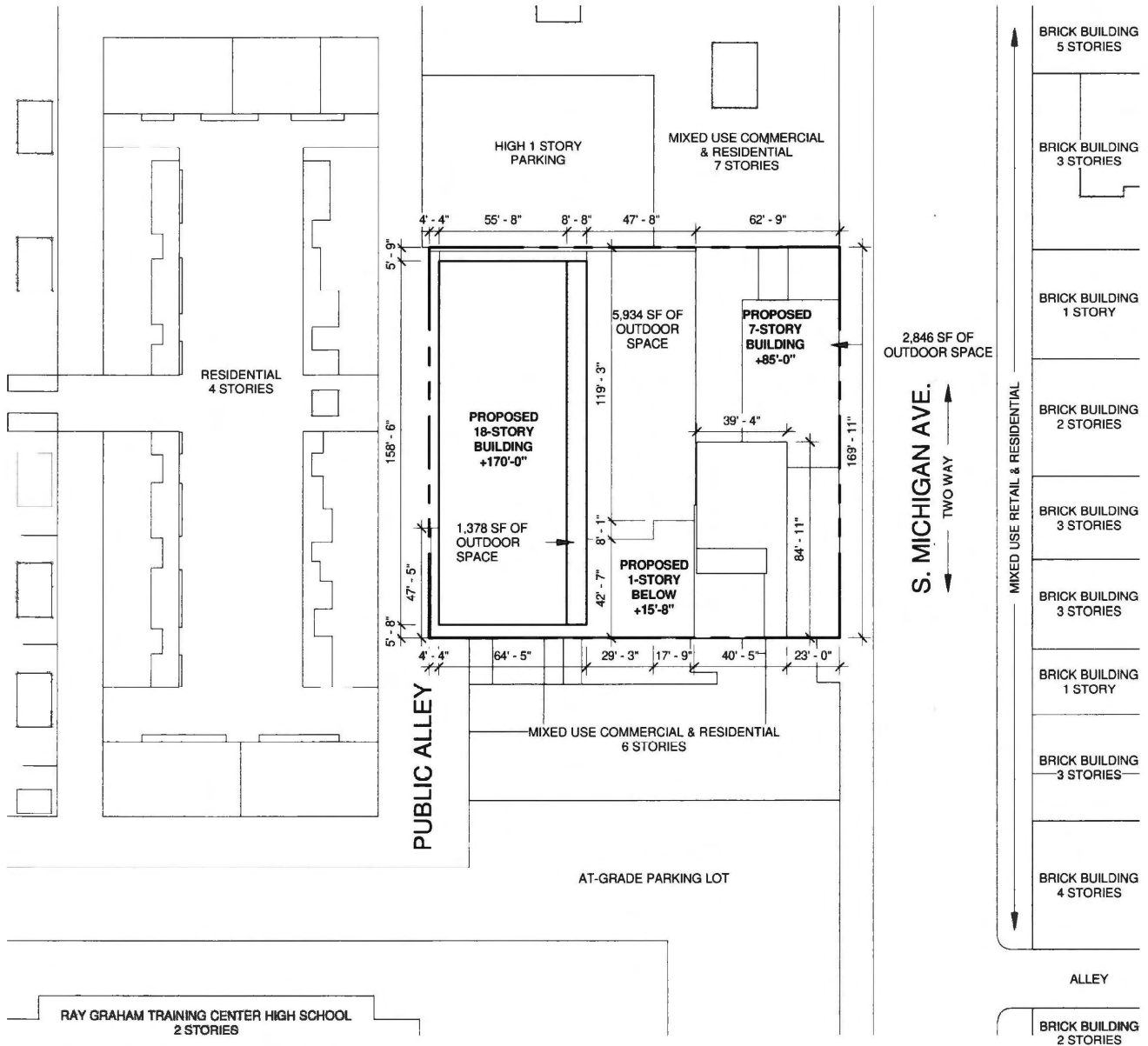


PD BOUNDARY & PROPERTY LINE

ECKENHOFF SAUNDERS

Applicant:	2328 S Michigan Owner LLC
Address:	2328 South Michigan
Introduction:	April 17, 2024
Plan Commission:	June 20th, 2024

FINAL FOR PUBLICATION



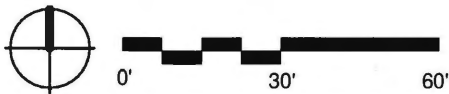
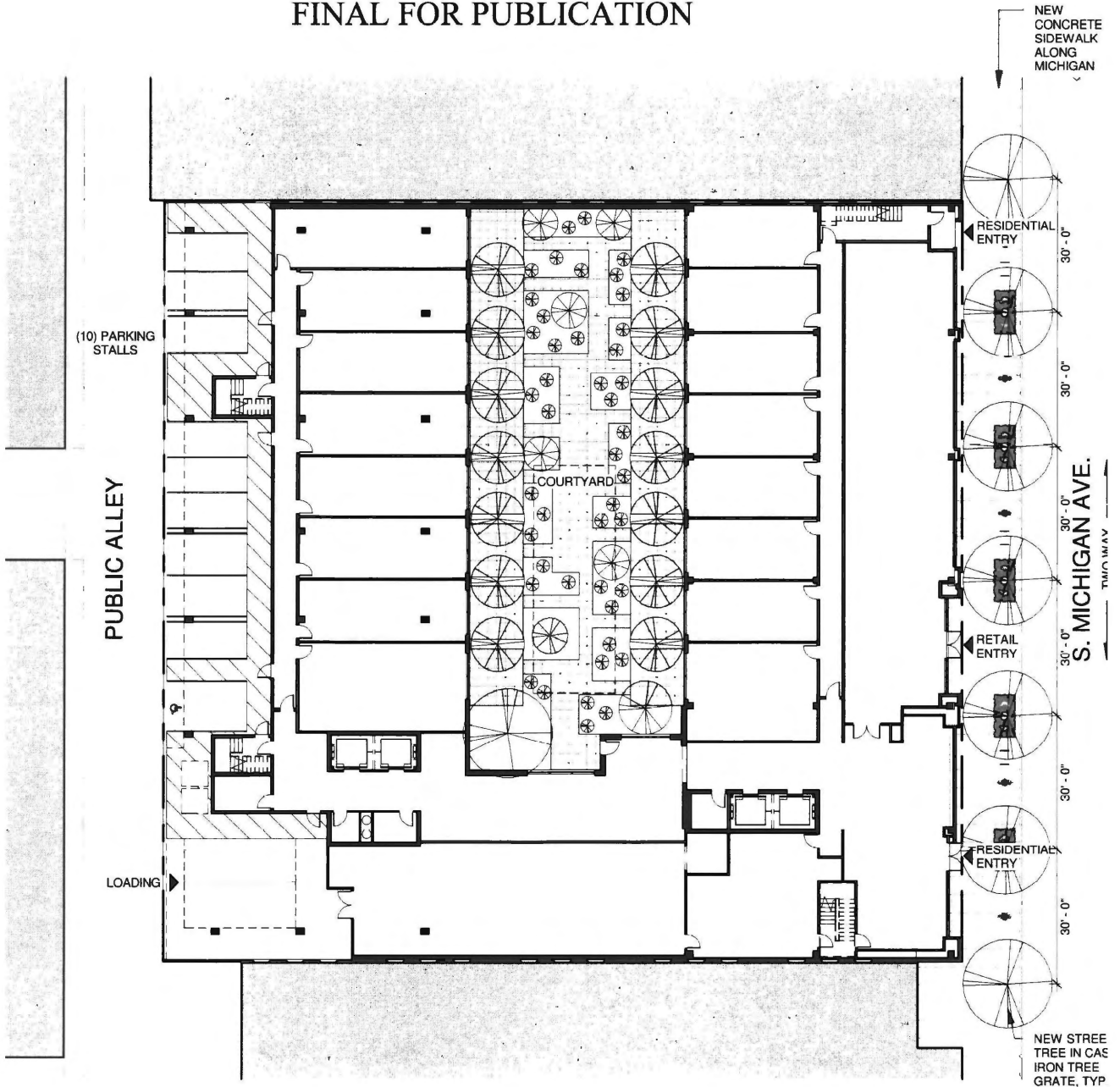
SITE PLAN

VECKENHOFF SAUNDERS

Applicant:  
 Address:  
 Introduction:  
 Plan Commission:

2328 S Michigan Owner LLC  
 2328 South Michigan  
 April 17, 2024  
 June 20th, 2024

FINAL FOR PUBLICATION



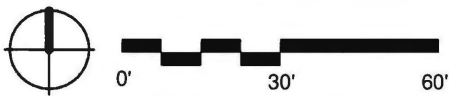
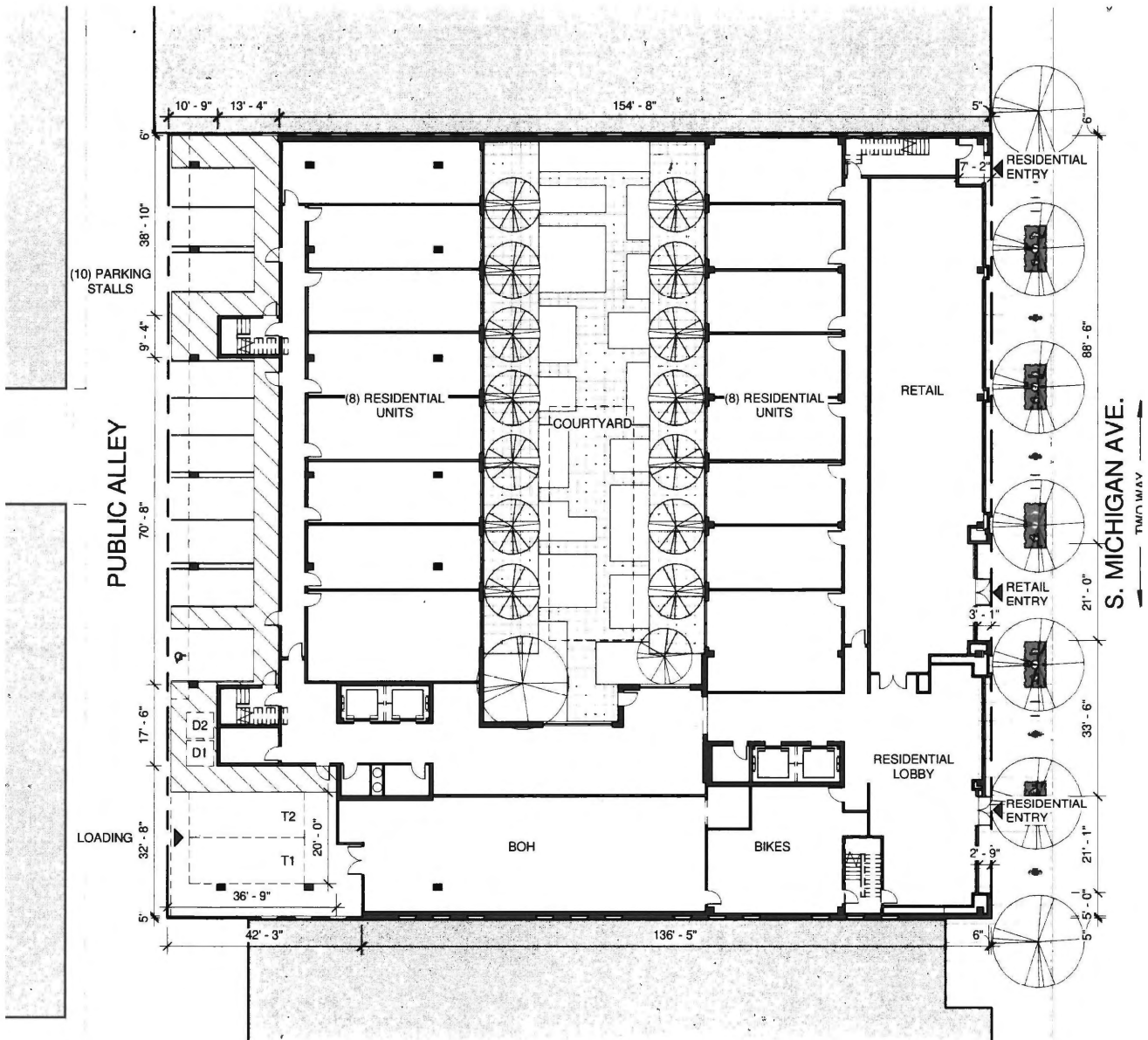
LANDSCAPE PLAN

ECKENHOFF SAUNDERS

Applicant:  
 Address:  
 Introduction:  
 Plan Commission:

2328 S Michigan Owner LLC  
 2328 South Michigan  
 April 17, 2024  
 June 20th, 2024

FINAL FOR PUBLICATION



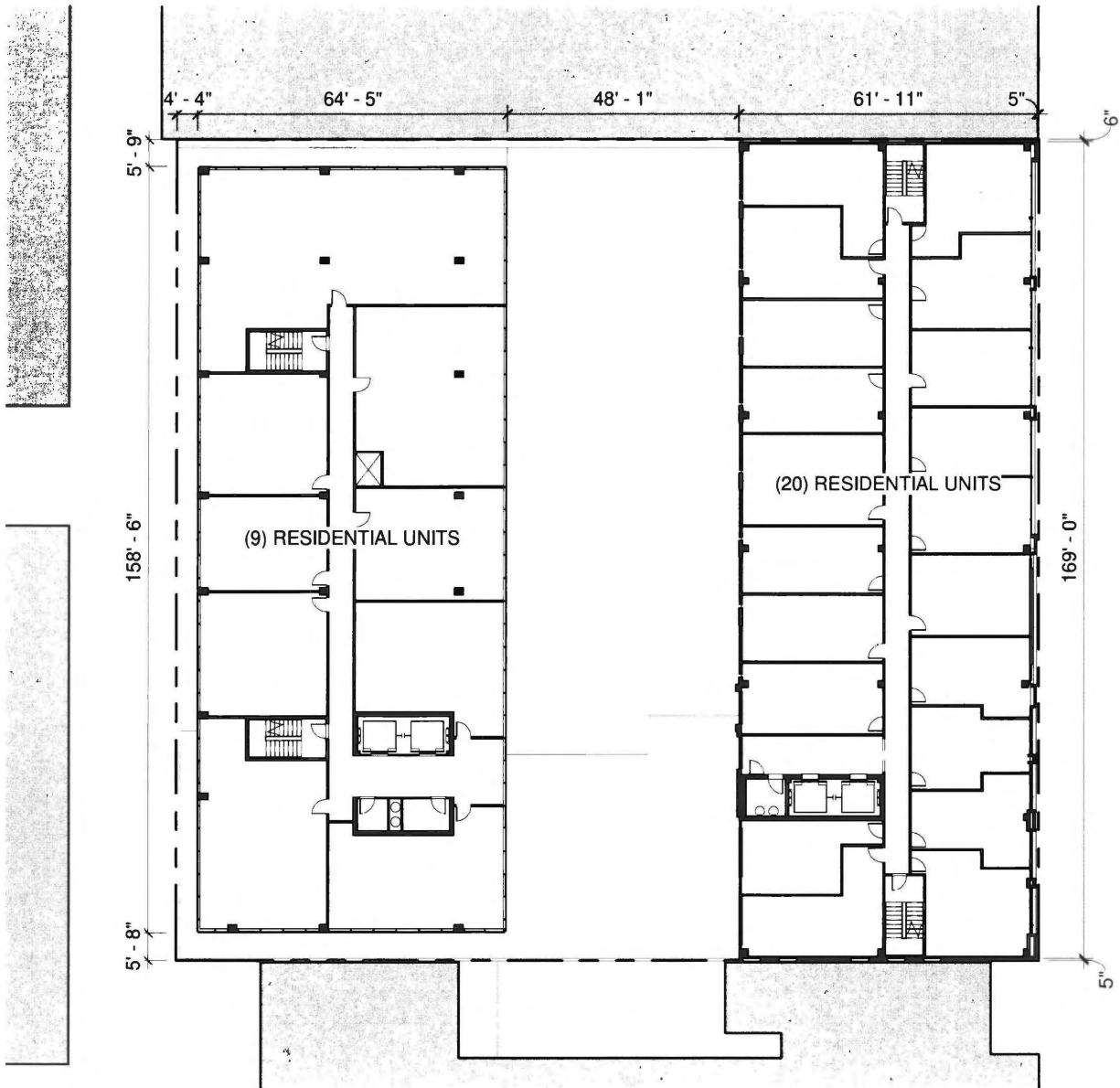
GROUND FLOOR PLAN

ECKENHOFF SAUNDERS

Applicant:  
 Address:  
 Introduction:  
 Plan Commission:

2328 S Michigan Owner LLC  
 2328 South Michigan  
 April 17, 2024  
 June 20th, 2024

FINAL FOR PUBLICATION

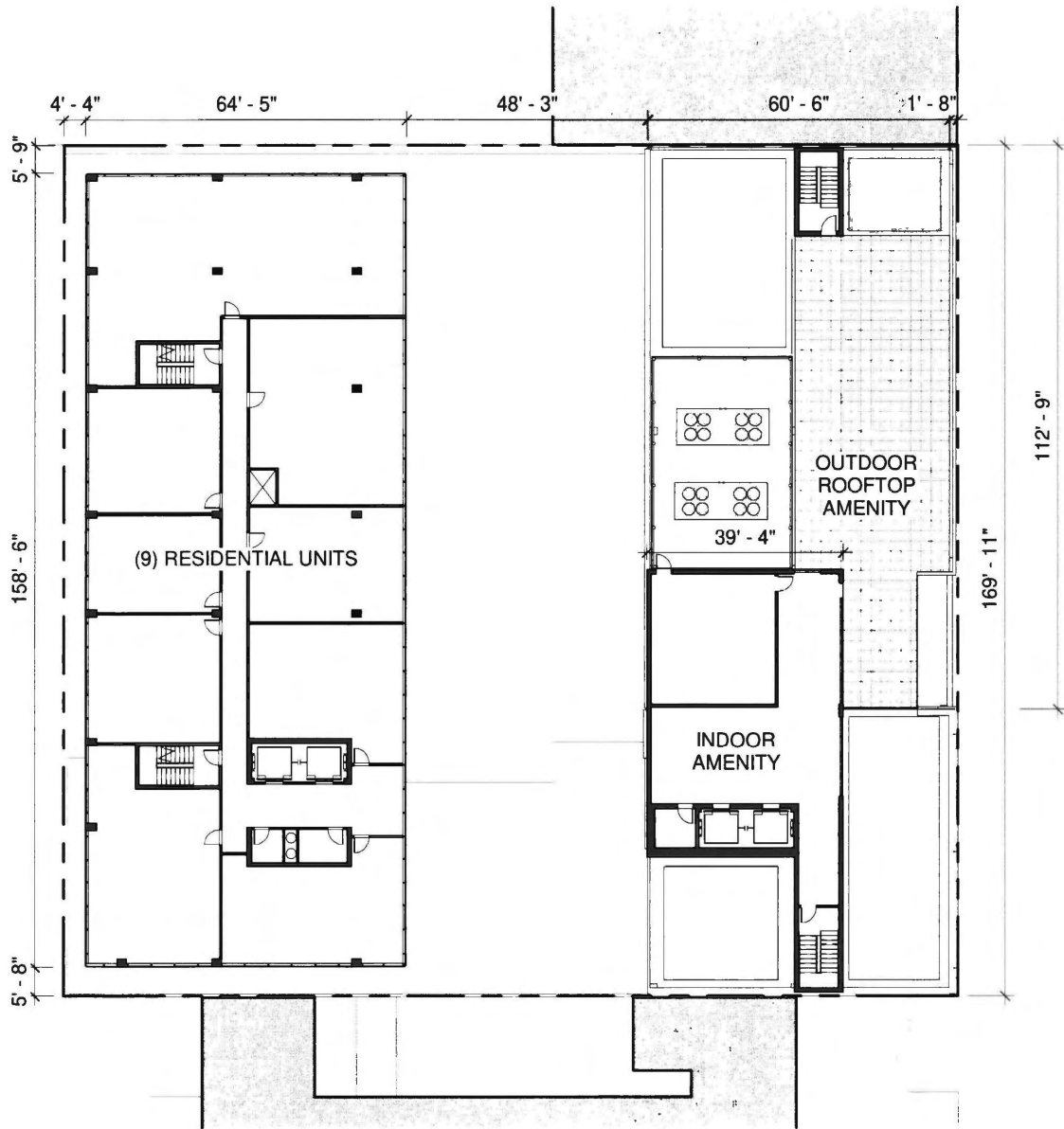


TYP. LOWER LEVEL FLOOR PLAN

ECKENHOFF SAUNDERS

Applicant: 2328 S Michigan Owner LLC  
Address: 2328 South Michigan  
Introduction: April 17, 2024  
Plan Commission: June 20th, 2024

FINAL FOR PUBLICATION

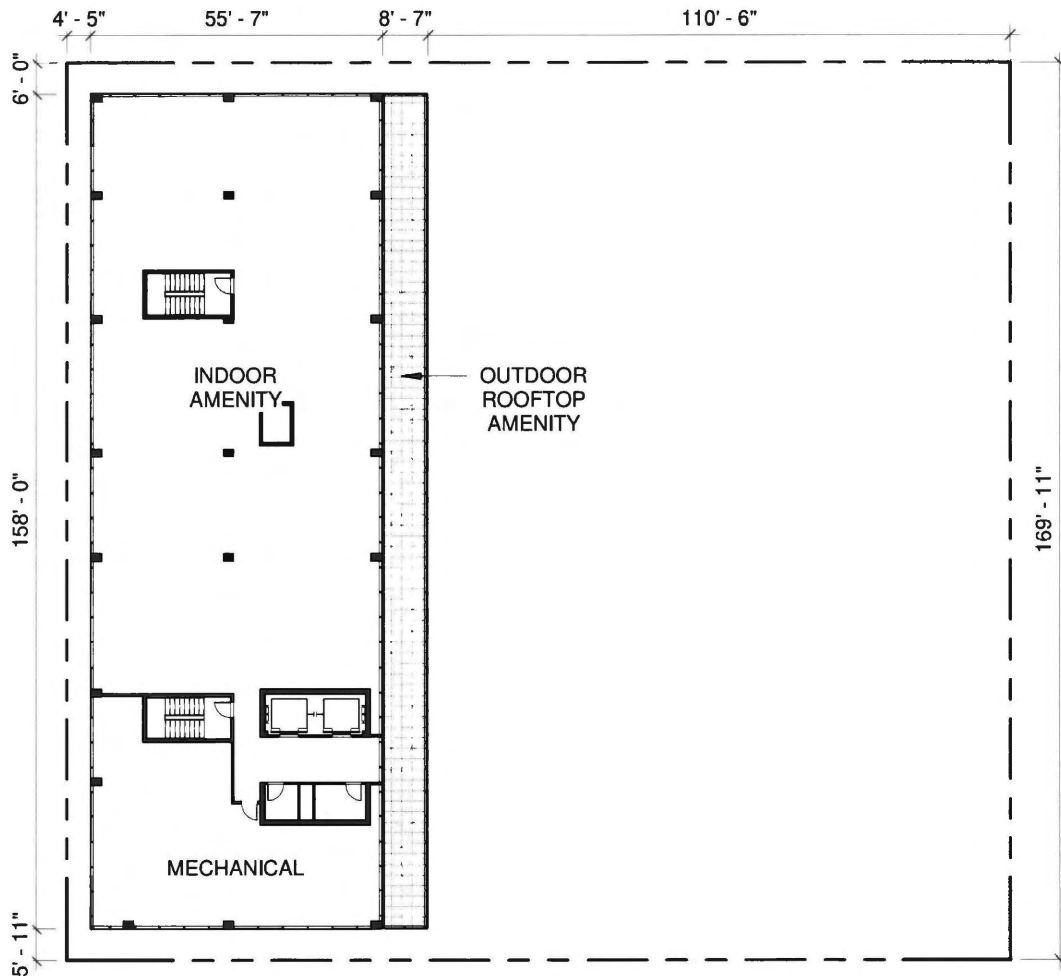


LEVEL 7 FLOOR PLAN

ECKENHOFF SAUNDERS

Applicant:	2328 S Michigan Owner LLC
Address:	2328 South Michigan
Introduction:	April 17, 2024
Plan Commission:	June 20th, 2024

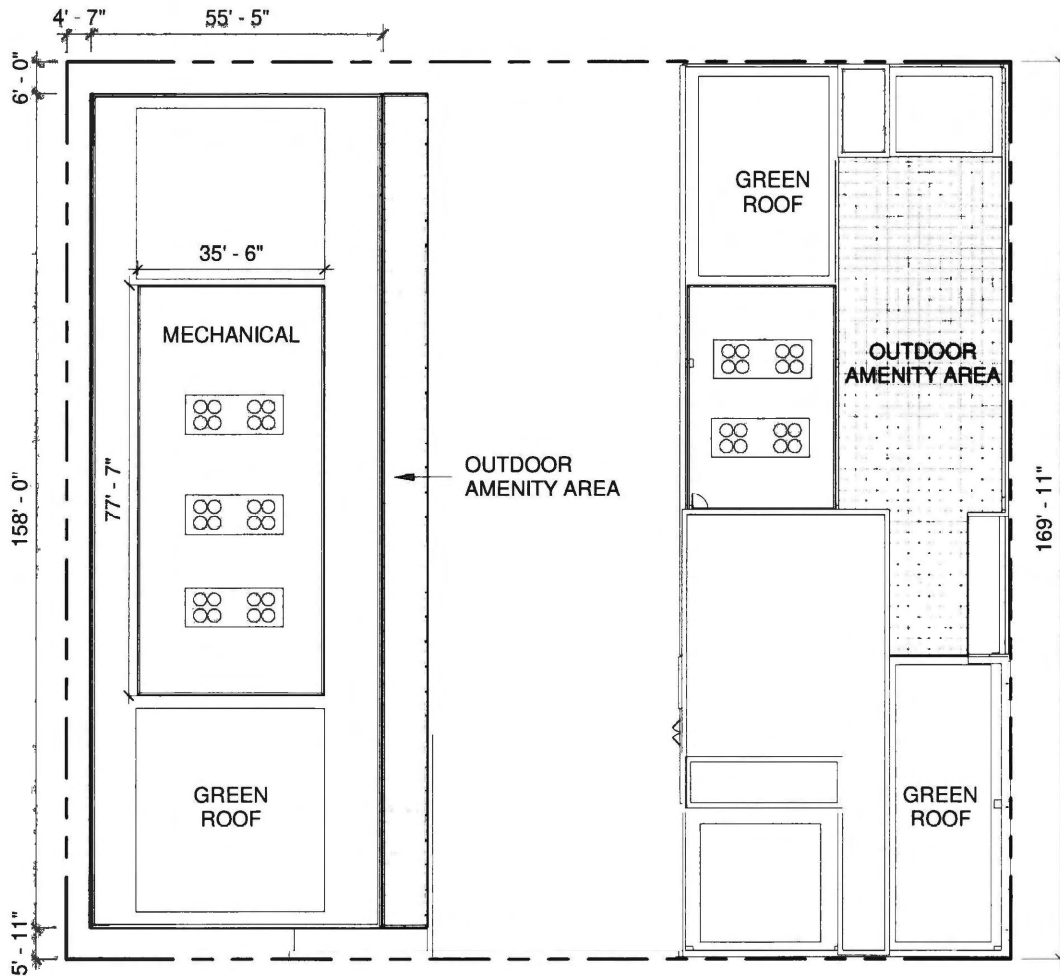
FINAL FOR PUBLICATION



LEVEL 18 FLOOR PLAN

ECKENHOFF SAUNDERS

Applicant: 2328 S Michigan Owner LLC  
Address: 2328 South Michigan  
Introduction: April 17, 2024  
Plan Commission: June 20th, 2024

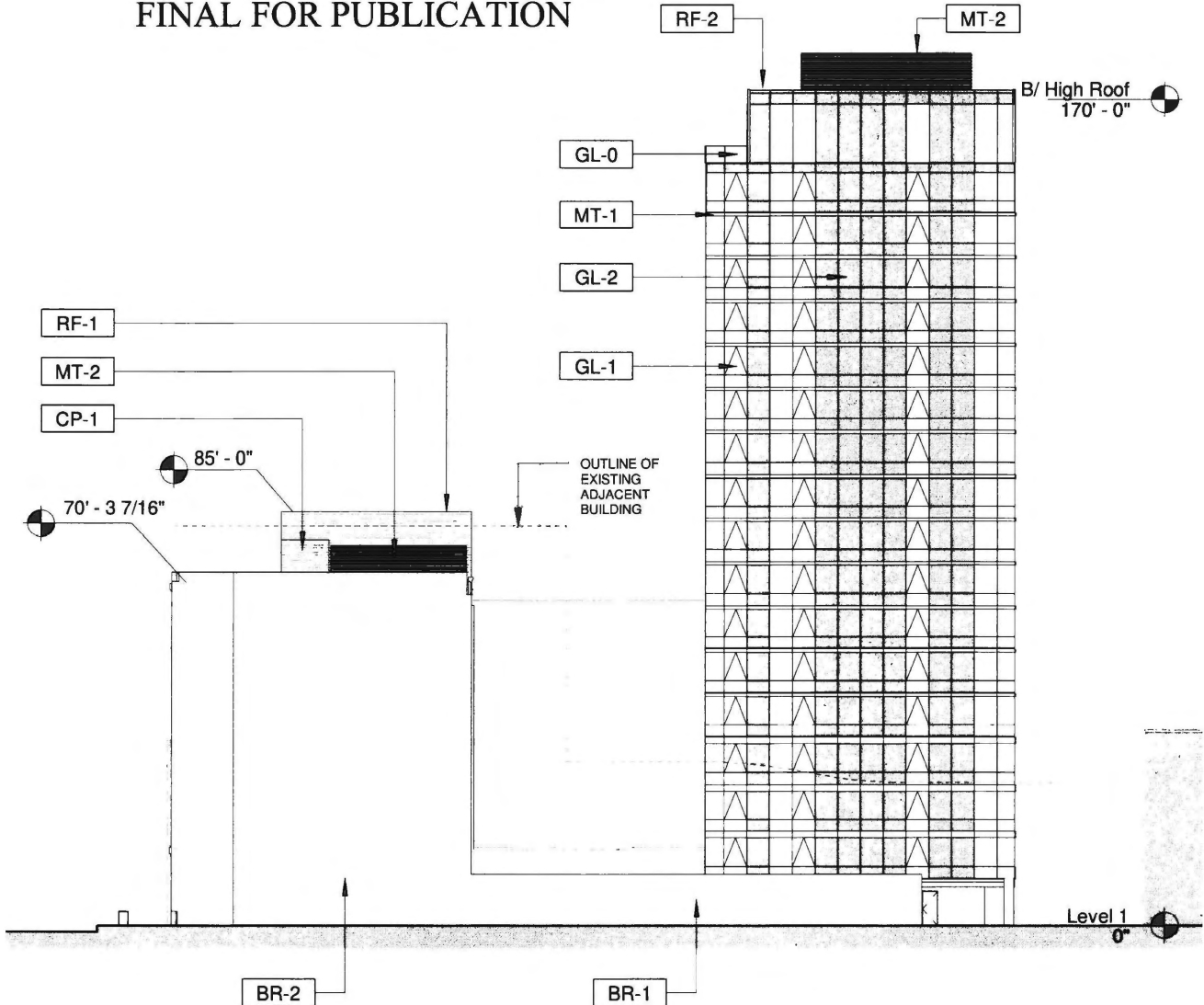


**ROOF PLAN**

**VECKENHOFF SAUNDERS**

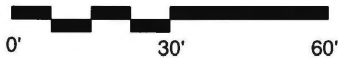
Applicant: 2328 S Michigan Owner LLC  
Address: 2328 South Michigan  
Introduction: April 17, 2024  
Plan Commission: June 20th, 2024

FINAL FOR PUBLICATION



BR-1	BRICK VENEER TYPE 1
BR-2	BRICK VENEER TYPE 2
BR-3	BRICK VENEER TYPE 3
CMU-1	CONCRETE MASONRY UNIT
CN-1	EXPOSED CONCRETE
CP-1	CEMENT PANEL
GL-0	GLASS RAILING SYSTEM
GL-1	GLASS CURTAIN WALL

GL-2	SPANDREL GLASS CURTAIN WALL
GL-3	STOREFRONT GLASS
LV-1	METAL LOUVER
MP-1	METAL PANEL TYPE 1
MT-1	PAINTED METAL
MT-2	METAL SCREEN WALL
RF-1	FLAT ROOF
RF-2	GREEN ROOF

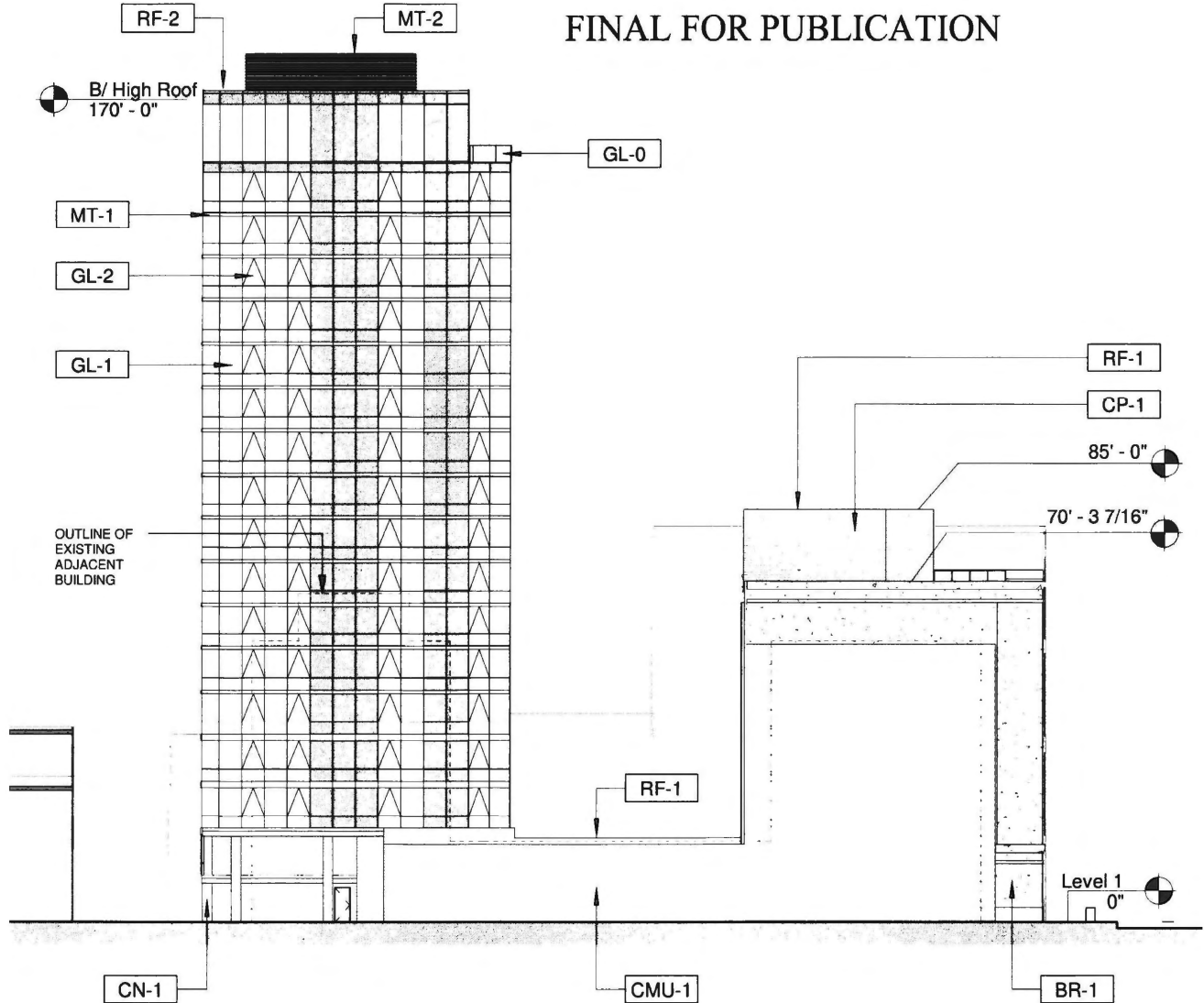


NORTH ELEVATION

VECKENHOFF SAUNDERS

Applicant: 2328 S Michigan Owner LLC  
 Address: 2328 South Michigan  
 Introduction: April 17, 2024  
 Plan Commission: June 20th, 2024

FINAL FOR PUBLICATION



BR-1	BRICK VENEER TYPE 1
BR-2	BRICK VENEER TYPE 2
BR-3	BRICK VENEER TYPE 3
CMU-1	CONCRETE MASONRY UNIT
CN-1	EXPOSED CONCRETE
CP-1	CEMENT PANEL
GL-0	GLASS RAILING SYSTEM
GL-1	GLASS CURTAIN WALL

GL-2	SPANDREL GLASS CURTAIN WALL
GL-3	STOREFRONT GLASS
LV-1	METAL LOUVER
MP-1	METAL PANEL TYPE 1
MT-1	PAINTED METAL
MT-2	METAL SCREEN WALL
RF-1	FLAT ROOF
RF-2	GREEN ROOF

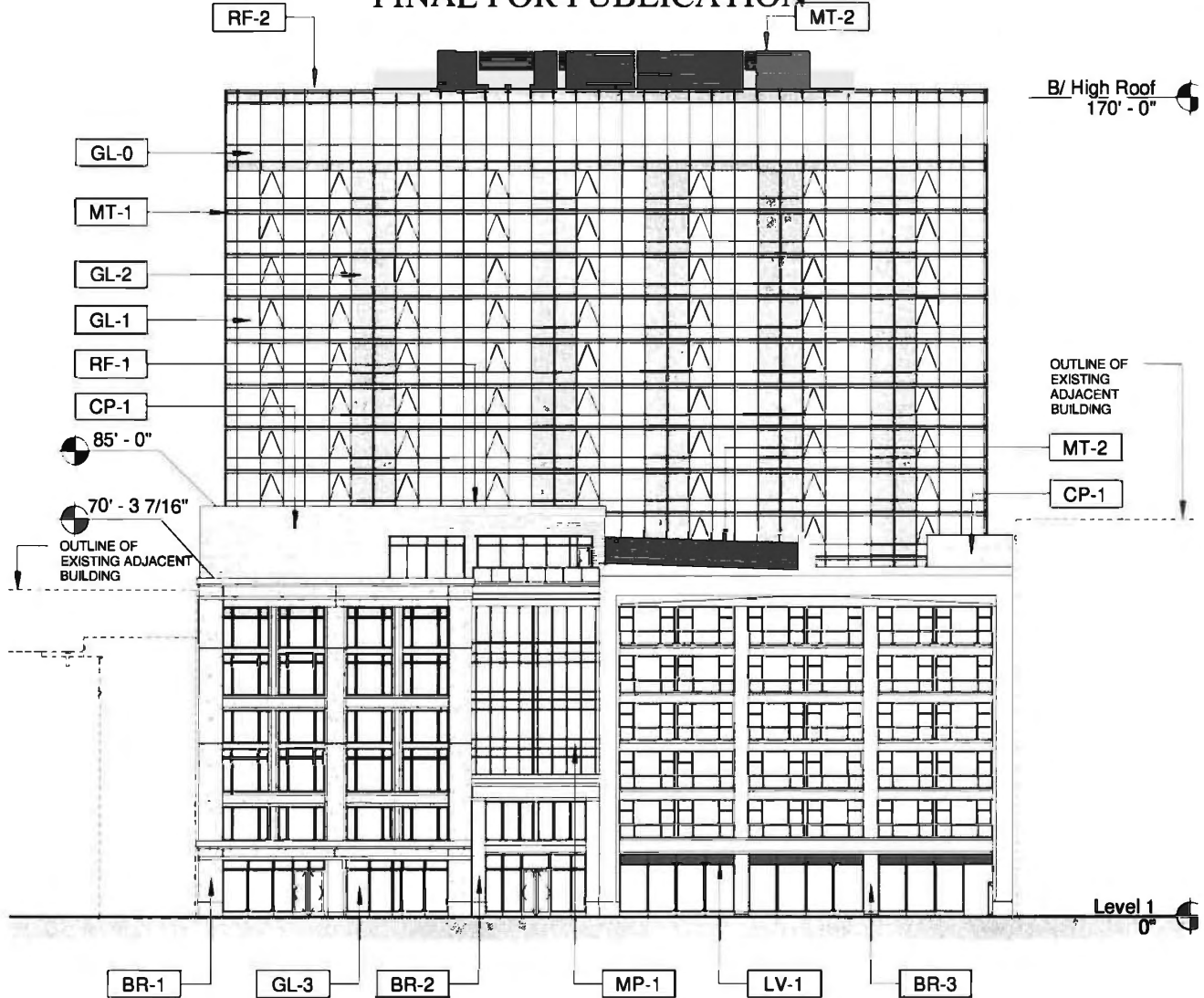


SOUTH ELEVATION

ECKENHOFF SAUNDERS

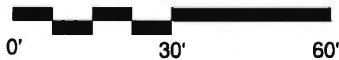
Applicant: 2328 S Michigan Owner LLC  
 Address: 2328 South Michigan  
 Introduction: April 17, 2024  
 Plan Commission: June 20th, 2024

FINAL FOR PUBLICATION



BR-1	BRICK VENEER TYPE 1
BR-2	BRICK VENEER TYPE 2
BR-3	BRICK VENEER TYPE 3
CMU-1	CONCRETE MASONRY UNIT
CN-1	EXPOSED CONCRETE
CP-1	CEMENT PANEL
GL-0	GLASS RAILING SYSTEM
GL-1	GLASS CURTAIN WALL

GL-2	SPANDREL GLASS CURTAIN WALL
GL-3	STOREFRONT GLASS
LV-1	METAL LOUVER
MP-1	METAL PANEL TYPE 1
MT-1	PAINTED METAL
MT-2	METAL SCREEN WALL
RF-1	FLAT ROOF
RF-2	GREEN ROOF

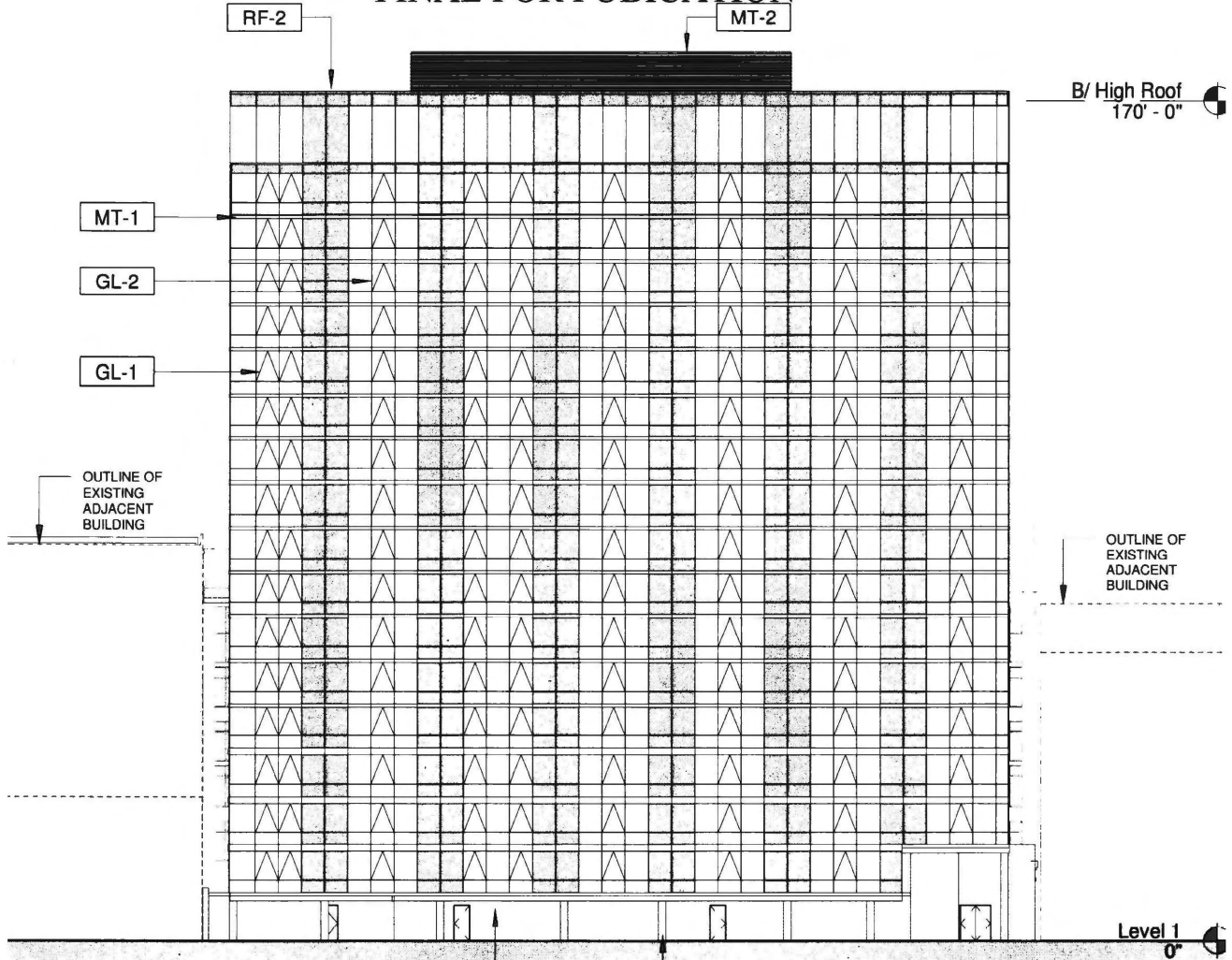


EAST ELEVATION

ECKENHOFF SAUNDERS

Applicant: 2328 S Michigan Owner LLC  
 Address: 2328 South Michigan  
 Introduction: April 17, 2024  
 Plan Commission: June 20th, 2024

FINAL FOR PUBICATION



BR-1	BRICK VENEER TYPE 1
BR-2	BRICK VENEER TYPE 2
BR-3	BRICK VENEER TYPE 3
CMU-1	CONCRETE MASONRY UNIT
CN-1	EXPOSED CONCRETE
CP-1	CEMENT PANEL
GL-0	GLASS RAILING SYSTEM
GL-1	GLASS CURTAIN WALL

GL-2	SPANDREL GLASS CURTAIN WALL
GL-3	STOREFRONT GLASS
LV-1	METAL LOUVER
MP-1	METAL PANEL TYPE 1
MT-1	PAINTED METAL
MT-2	METAL SCREEN WALL
RF-1	FLAT ROOF
RF-2	GREEN ROOF



WEST ELEVATION

*Reclassification Of Area Shown On Map No. 6-G.*

(As Amended)

(Application No. 22050)

(Common Address: 2819 S. Throop St.)

[O2022-3914/SO2023-0004768]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the RS3 Residential Single-Unit (Detached House) District symbols as shown on Map Number 6-G in the area bounded by:

a line 164.00 feet south of and parallel to South Archer Avenue; the alley next east of and parallel to South Throop Street; a line 188.00 feet south of South Archer Avenue; and South Throop Street,

to those of an RT4 Residential Two-Flat, Townhouse and Multi-Unit District.

SECTION 2. This ordinance takes effect after its passage and due publication.

[Site Plan; Front View West Elevation; and North and South Building Elevations attached to this ordinance printed on pages 15046 through 15048 of this *Journal*.]

Type 1 Narrative Rezoning Analysis attached to this ordinance reads as follows:

FINAL FOR PUBLICATION

Amended to be a Type-1  
Zoning Map Amendment  
Narrative and Plans  
For 2819 S. Throop Street  
From an RS-3 to a RT-4 District

The subject property is improved with a 3-story multi-unit residential building. The applicant is seeking a Substitute Ordinance to RT4, which is needed to comply with the bulk and density standards of the ordinance in order to use the existing building and legalize the conversion from 2 to 3 dwelling units within the existing 3 story building as three (3) dwelling units.

- A. Proposed land use: Rezone from RS-3 District to an RT-4 District to use the existing 135 year old 3-story building as 3 dwelling units.
- B. The Project Floor Area Ratio (FAR) will be – 1.46
- C. The Project's lot size is 2,760 SF and its density is 920 SF per dwelling unit.
- D. Existing off-street parking is 2 spaces which will be retained. Property is near to a TSL bus route.
- E. Setbacks: Existing
  - Front – 1.6 feet
  - North – 0.3 feet
  - South – 2.5 feet
  - Rear – 30.0 feet
- F. Existing building height is four floors and 45 feet. No Change.

The applicant is seeking a type 1 map amendment per section 17-13-0303-D optional variation specifically section 17.13.1101-R, to reduce the required MLA from 3,000 SF to 2,760 SF (92%) for this existing 3-unit building.

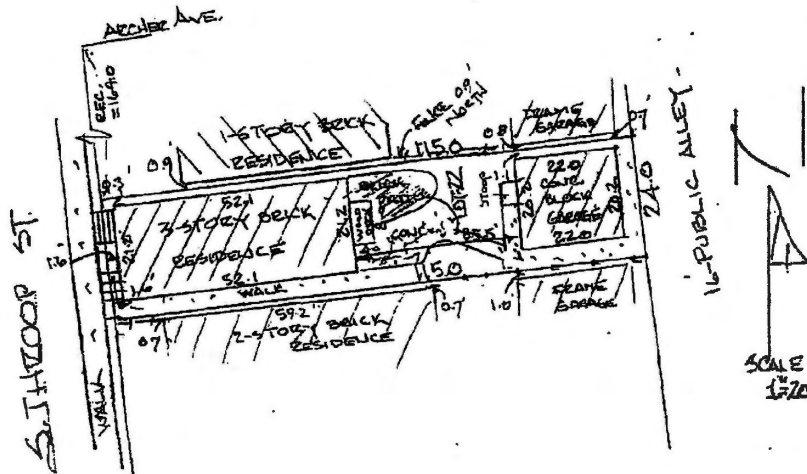
FINAL FOR PUBLICATION

# Site PLAN

PLAT OF SURVEY

LOT 23 IN THE SUBDIVISION BY THE EXECUTOR OF THE ESTATE OF PETER QUINN DECEASED OF LOTS 6 AND 7 IN BLOCK 24 (EXCEPT CASSIDY'S ONE ACRE OF LOT 6) IN CANAL TRUSTEES SUBDIVISION OF THE SOUTH FRACTIONAL 1/4 OF SECTION 23, TOWNSHIP 39 NORTH, RANGE 14 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

Commonly known as: 2819 S. Throop Street, Chicago, Illinois.



I, PATRICK MCKIERNAN, A REGISTERED ILLINOIS LAND SURVEYOR HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE MENTIONED PARCEL OF LAND AND THAT THIS PLAT IS A CORRECT REPRESENTATION OF SAID SURVEY, DATED THIS 28<sup>th</sup> DAY OF NOVEMBER, 2022.

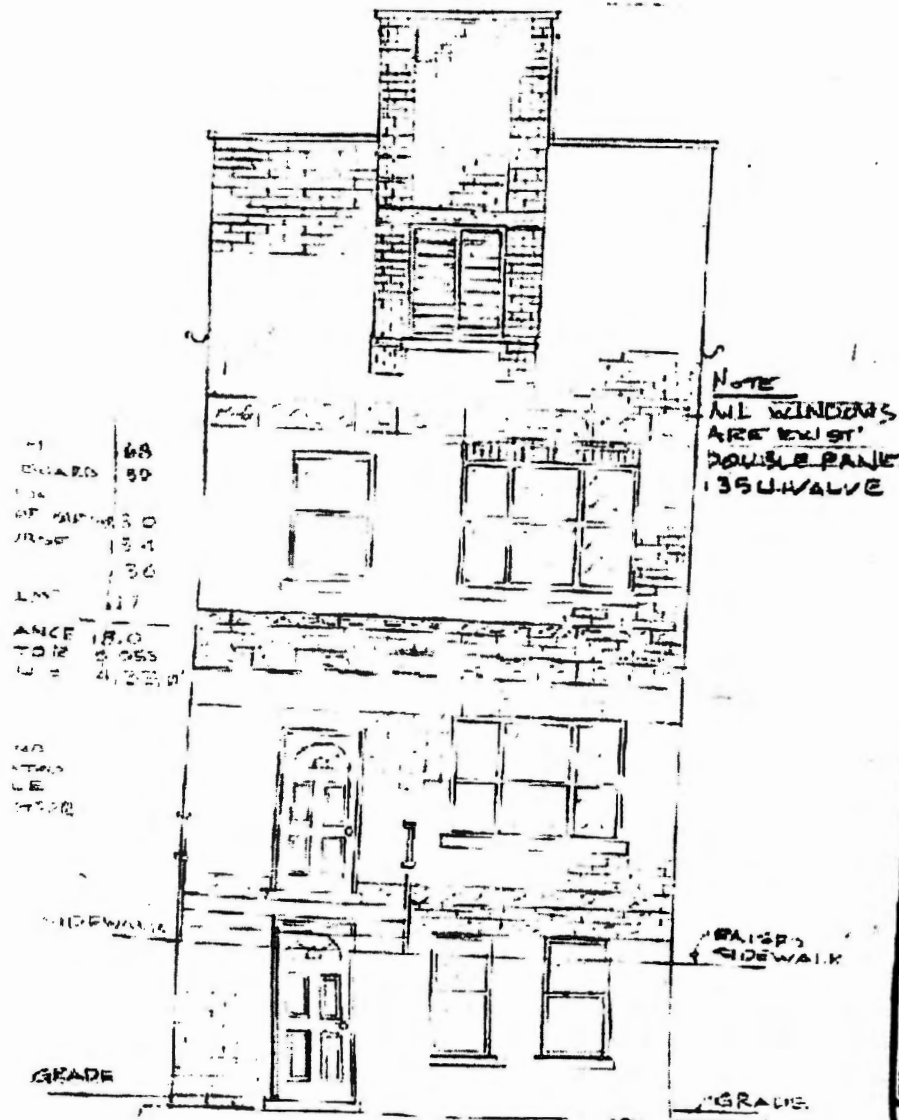
THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

PATRICK MCKIERNAN #1131  
690 SADDLE RIDGE  
CRYSTAL LAKE, IL 60012  
815-477-8255



LICENSE EXPIRES: November 30, 2022  
ORDERED BY: Linda Muller  
FIELD WORK DONE: 11/28/2022

FINAL FOR PUBLICATION



NOTE  
 ALL WINDOWS  
 ARE 6' x 9'  
 DOUBLE PANE  
 135W VALVE

68  
 BOARD 59  
 134  
 OF 511-330  
 134  
 36  
 117  
 ANCE 18.0  
 TO 12 5.055  
 4.222

NO  
 STRA  
 LE  
 1122

SIDEWALK

RAISED SIDEWALK

GRADE

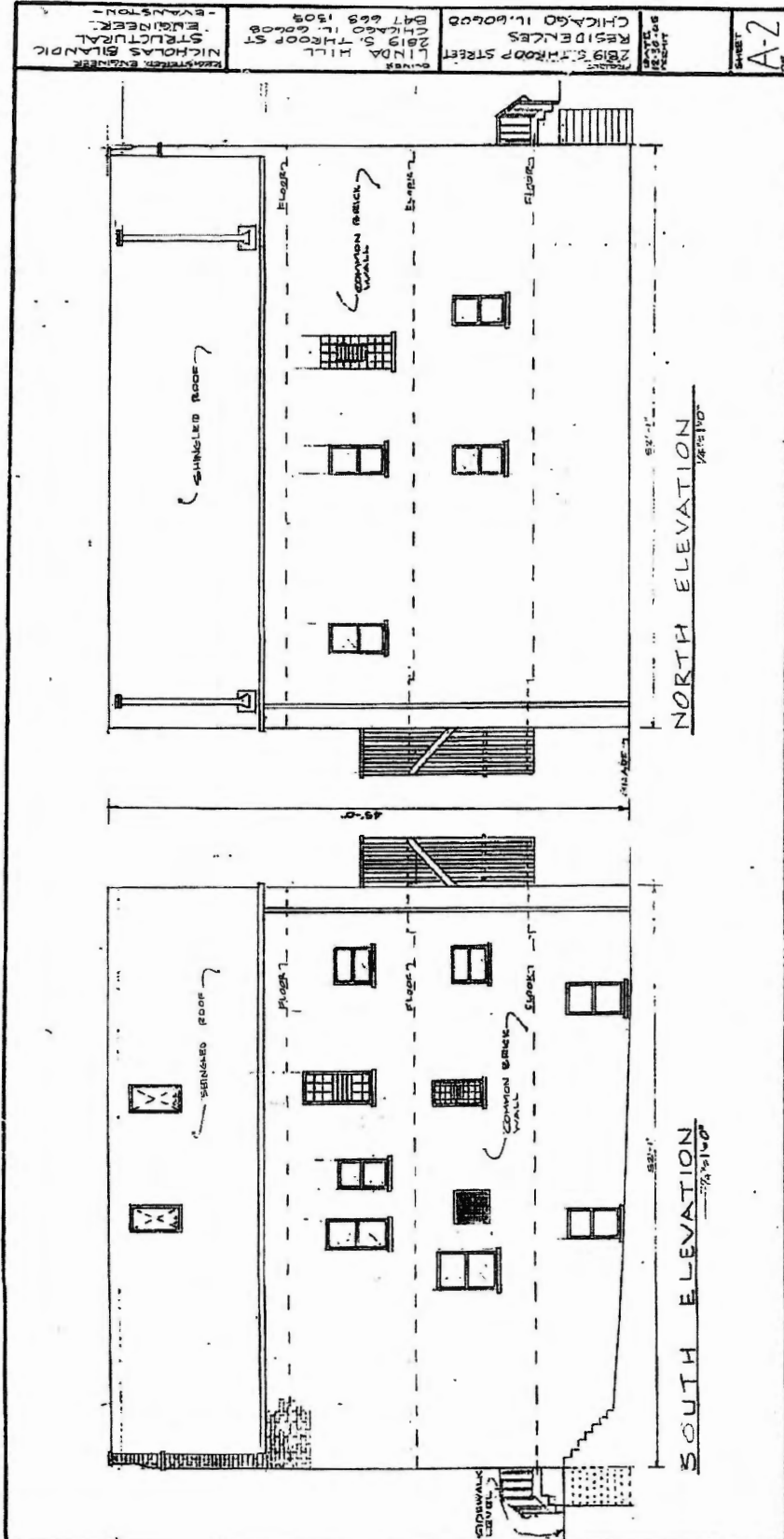
GRADE

FRONT VIEW WEST ELEVATION

1/4"=1'-0"

REGISTERED ARCHITECT  
 OWNER LINDA HILL  
 PROJECT 2819 S THROOP STREET  
 RESIDENCE  
 DATE  
 PERM  
 SHEET  
 A  
 OF 2

FINAL FOR PUBLICATION



DRN LAWRENCE PRAZAKA 773 552 3256

*Reclassification Of Area Shown On Map No. 6-J.*

(Application No. 22461T1)

(Common Address: 2759 S. Lawndale Ave.)

[O2024-0009582]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the RS3 Residential Single-Unit (Detached House) District symbols and indications as shown on Map Number 6-J in the area bounded by:

a line 255 feet north of and parallel to West 28<sup>th</sup> Street; the alley next east of and parallel to South Lawndale Avenue; West 28<sup>th</sup> Street; and South Lawndale Avenue,

to those of a B1-2 Neighborhood Shopping District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

[Site Plan; Basement, First and Second Floor Plans; and  
North, South, East and West Building Elevations  
attached to this ordinance printed on pages  
15051 through 15056 of this *Journal*.]

Type 1 Narrative Rezoning Analysis attached to this ordinance reads as follows:

FINAL FOR PUBLICATION

**TYPE 1 ZONING MAP AMENDMENT – NARRATIVE AND PLANS  
LOCATED AT 2759 S. LAWDALE AVE. FROM RS3 TO B1-2**

1. Narrative: The Proposed Land Use is a two-story office building with mechanical and storage space in the basement; entry, bathroom and office spaces on the first floor, and bathroom, offices and community space and conference room (and balcony) on the second floor. There will be an attached 1 story greenhouse, and the existing two-car garage will remain. The building will 3,239 square feet and 26 feet tall (approximately 1,700 sf per floor). The green house will be 203 square feet and 12 feet tall. To the east is a public alley, to the south is W. 28th St, to the west is S. Lawndale Ave., to the north is a residential building zoned RS3. The Proposed FAR is 1.08 (3,442sf / 3,184.95sf). For off-street parking there are 2 existing parking spaces in the garage on site that will remain. The setbacks are as follow, front setback is 5'-6", the rear setback is no minimum required, but there is an existing garage which is 4.55' from the rear property line at the north corner (4.63' at south corner), plus garage at 32.88', and the side setbacks are Proposed north 1'-0" and Proposed South 2'-0". The building height will be 26' – 0". The green house height will be 12'-0" at its highest point.
2. Floor Area Ratio: 1.08
3. Density: N/A non residential
4. Off-Street Parking: 2
5. Setbacks: Front 5 feet 6 inch  
Rear: 32 feet 10.5 inch  
\*Side: North 1.0 feet  
South 2.0 feet
6. Building Height: 26.0 feet

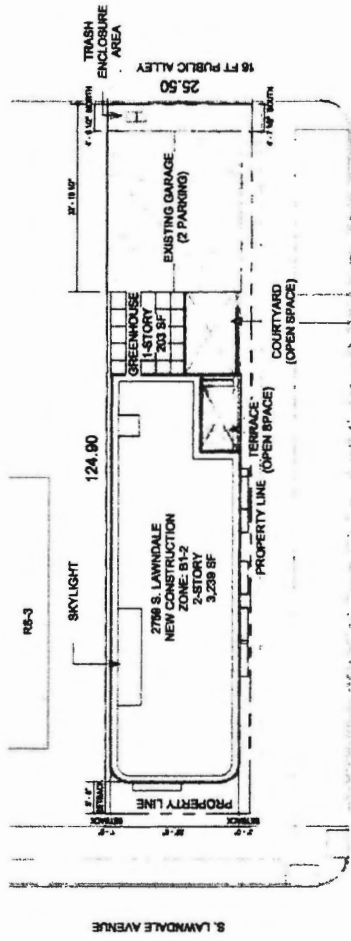
\*Applicant is filing a Type 1 as per section 17-13-0303- D optional administrative adjustment and variation. Specifically seeking a North Side setback relief as per Section 17-13-1003-I-1.

FINAL FOR PUBLICATION



BUILDING YOUTH AND COMMUNITY THROUGH SPORT AND PLAY  
RESPECT PRESEVERANCE TEAMWORK

2759 S. LAWNDALE  
CHICAGO, IL 60623

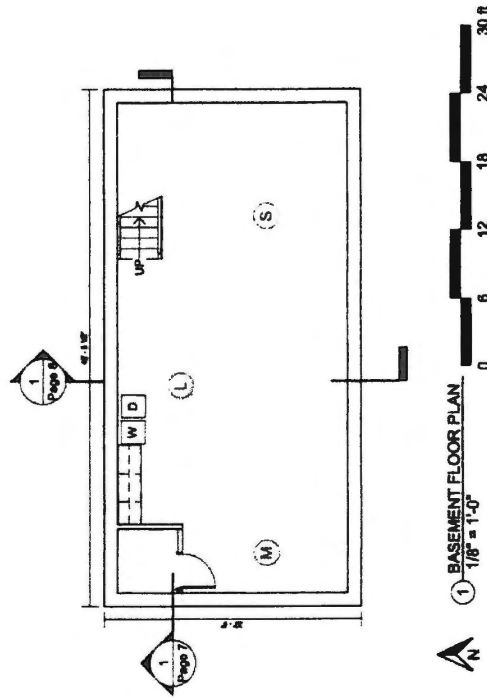


FINAL FOR PUBLICATION



BUILDING YOUTH AND COMMUNITY THROUGH SPORT AND PLAY  
RESPECT PRESEVERANCE TEAMWORK

2758 S. LAWINDALE  
CHICAGO, IL 60623



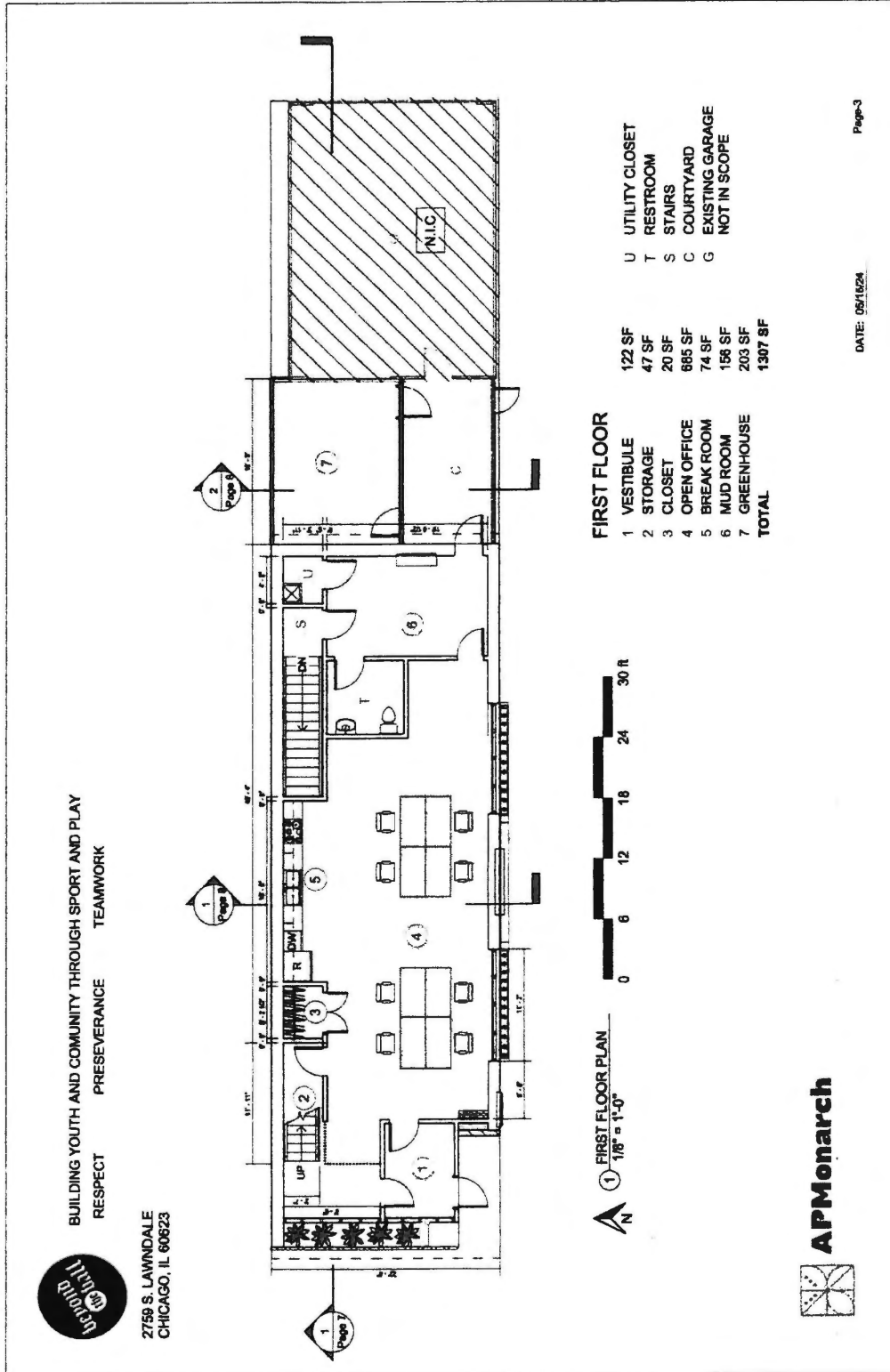
<b>BASEMENT</b>	
L LAUNDRY	118 SF
M MECHANICAL	347 SF
S STORAGE	371 SF
<b>TOTAL</b>	<b>836 SF</b>

DATE: 06/15/24

Page-5



PAGE FOR PUBLICATION

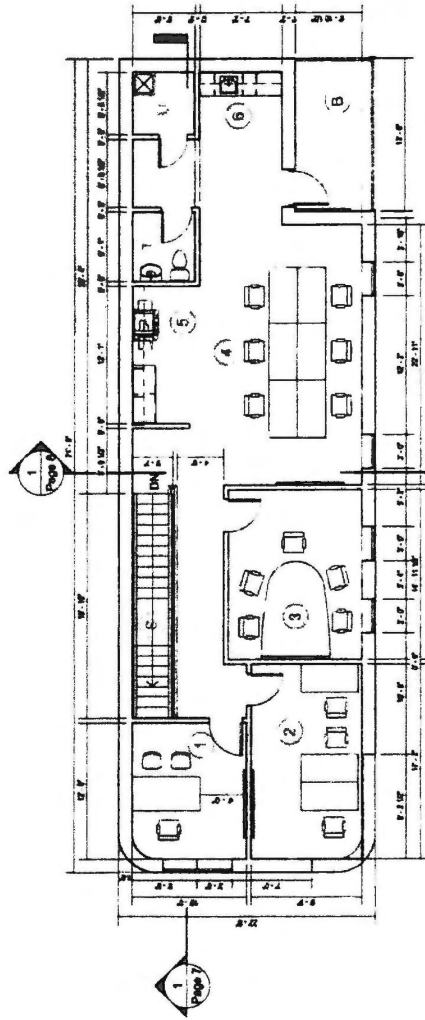


FINAL FOR PUBLICATION



BUILDING YOUTH AND COMMUNITY THROUGH SPORT AND PLAY  
RESPECT PREPERSISTENCE TEAMWORK

2759 S. LAWNDALE  
CHICAGO, IL 60623



**SECOND FLOOR**

- 1 PRIVATE OFFICE 119 SF
- 2 SHARED OFFICE 168 SF
- 3 CONFERENCE ROOM 176 SF
- 4 OPEN OFFICE 553 SF
- 5 COPY AREA 71 SF
- 6 KITCHENETTE 33 SF
- TOTAL 1118 SF**

- B BALCONY
- S STAIRS
- T RESTROOM
- U UTILITIES

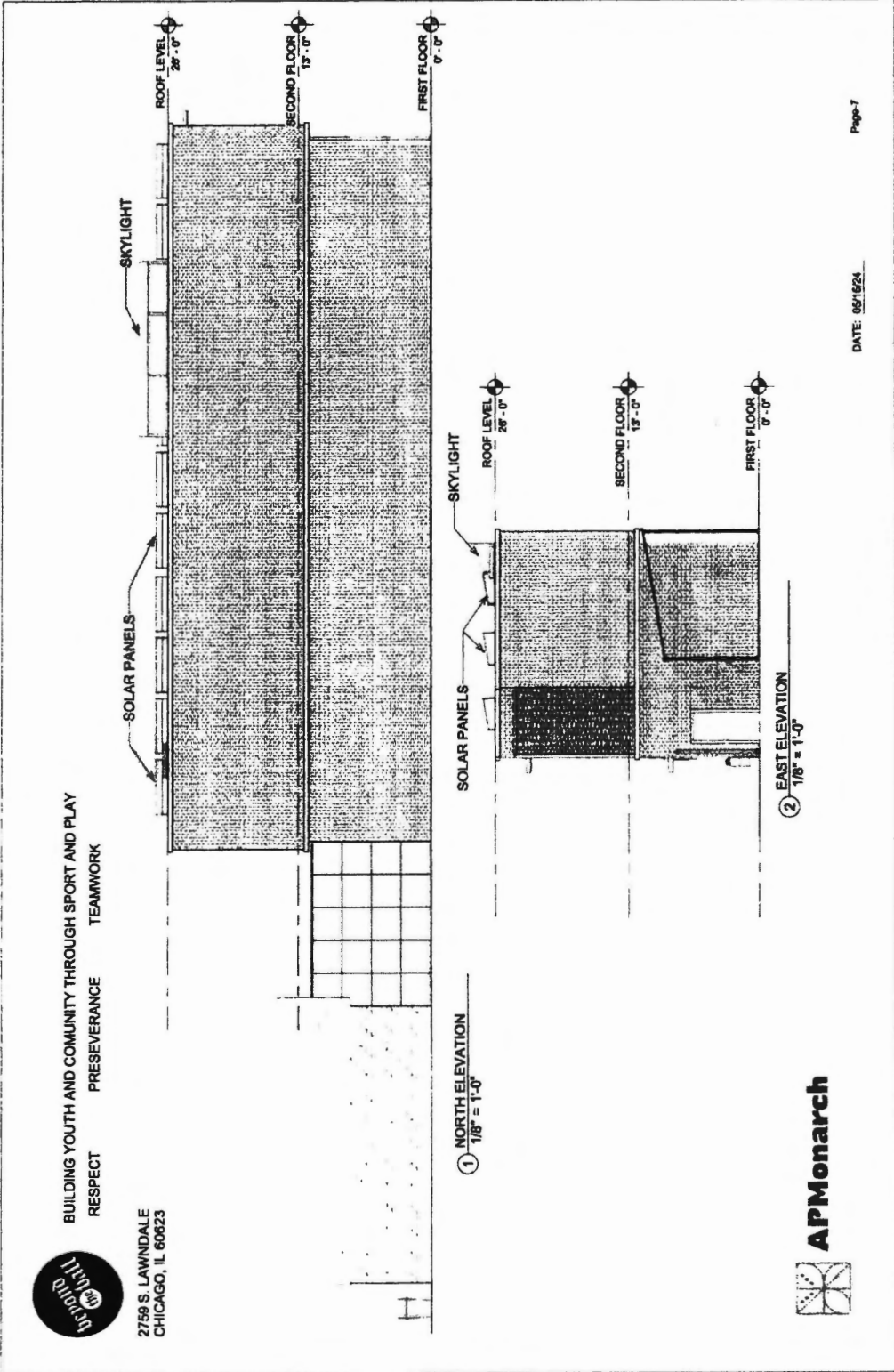
1 SECOND FLOOR PLAN  
1/8" = 1'-0"



FINAL FOR PUBLICATION

BUILDING YOUTH AND COMMUNITY THROUGH SPORT AND PLAY  
RESPECT PRESEVERANCE TEAMWORK

2759 S. LAWDALE  
CHICAGO, IL 60623

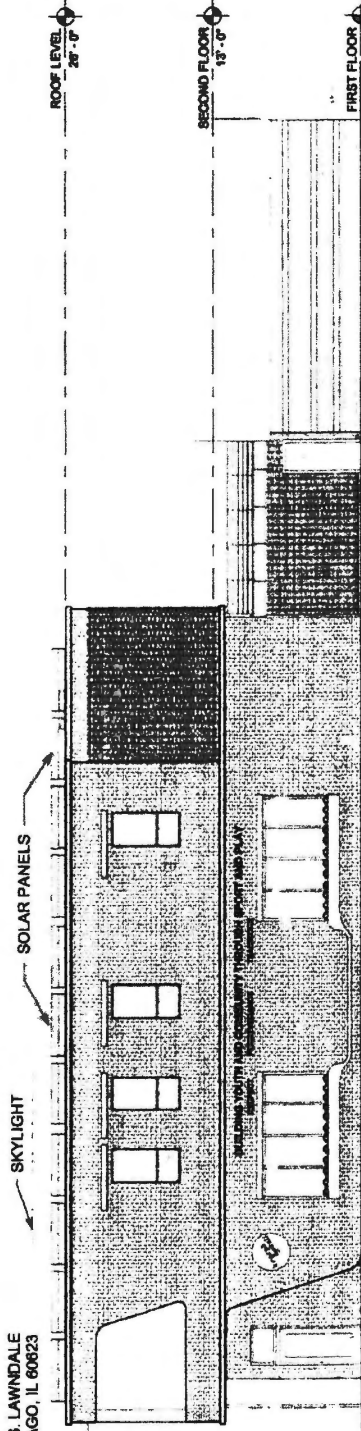


FINAL FOR PUBLICATION

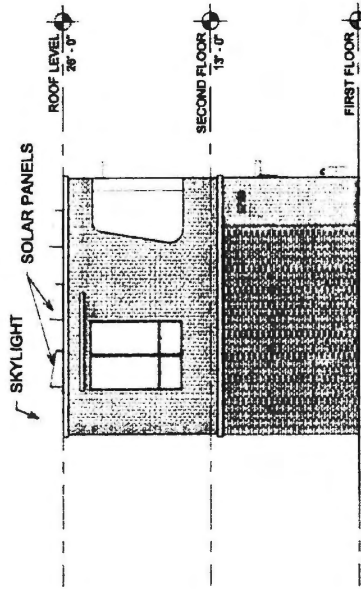


BUILDING YOUTH AND COMMUNITY THROUGH SPORT AND PLAY  
RESPECT PRESEVERANCE TEAMWORK

2759 S. LAWNDALE  
CHICAGO, IL 60623



① SOUTH ELEVATION  
1/8" = 1'-0"



② WEST ELEVATION  
1/8" = 1'-0"



*Reclassification Of Area Shown On Map No. 7-G.*  
(As Amended)  
(Application No. 22473T1)  
(Common Address: 3036 N. Lincoln Ave.)

[SO2024-0009615]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That Title 17 of the Municipal Code, the Chicago Zoning Ordinance, be amended by changing all the B1-2 Neighborhood Shopping District symbols and indications as shown on Map Number 7-G in the area bounded by:

North Lincoln Avenue; a line 424.50 feet southeast of North Greenview Avenue, as measured along the west line of North Lincoln Avenue and perpendicular thereto; the public alley next southwest of and parallel to North Lincoln Avenue; and a line 374.50 feet southeast of North Greenview Avenue, as measured along the west line of North Lincoln Avenue and perpendicular thereto,

to those of a B3-3 Community Shopping District which is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

[Site Plan; Basement, Levels 1, 2, 3 and 4 Floor Plans; Roof Plan;  
and North/East, North/West, South/West and South/East  
Building Elevations attached to this ordinance printed  
on pages 15059 through 15064 of this *Journal*.]

Type 1 Narrative Rezoning Analysis attached to this ordinance reads as follows:

## Final for Publication

### **17-13-0303-C(1) Type 1 Narrative & Plans – 3036 N. Lincoln Ave., Chicago, IL**

Proposed Zoning: B3-3 Community Shopping District

Lot Area: 6,250 square feet

Proposed Land Use: The Applicant is proposing to adapt and reuse the existing four-story masonry building. The plans provide a 2,349 sq. ft. retail unit at grade and a total of sixteen (16) residential units above. The building will remain 58 ft. in height. The subject property is a Transit Served Location since it is located within 2,340 ft. of the Asland Avenue CTA Bus Line Corridor pursuant to Section 17-17-0400-B, and it will be supported by seven (7) off-street parking spaces. The Applicant intends on filing a Type 1 Optional Administrative Adjustment and Variation per Section 17-13-0303-D. Pursuant specifically to Secs. 17-13-1003-EE and 17-13-1101-D of the Chicago Zoning Ordinance, the Applicant is seeking to reduce the number of off-street parking spaces for a Transit Served Location from eight (8) to seven (7), and waive the loading berth requirement

- (A) The Project's Floor Area Ratio: 22,750 square feet (3.64 FAR) (Existing)
- (B) The Project's Density (Minimum Lot Area Per D.U.): 390.625 square feet per D.U. (16 residential units)

\*The subject property is a designated Transit Served Location. Pursuant to Sec. 17-3-0402-B, the Applicant is eligible for reduced minimum lot area requirement of 50% since the required ARO units will be provided onsite.

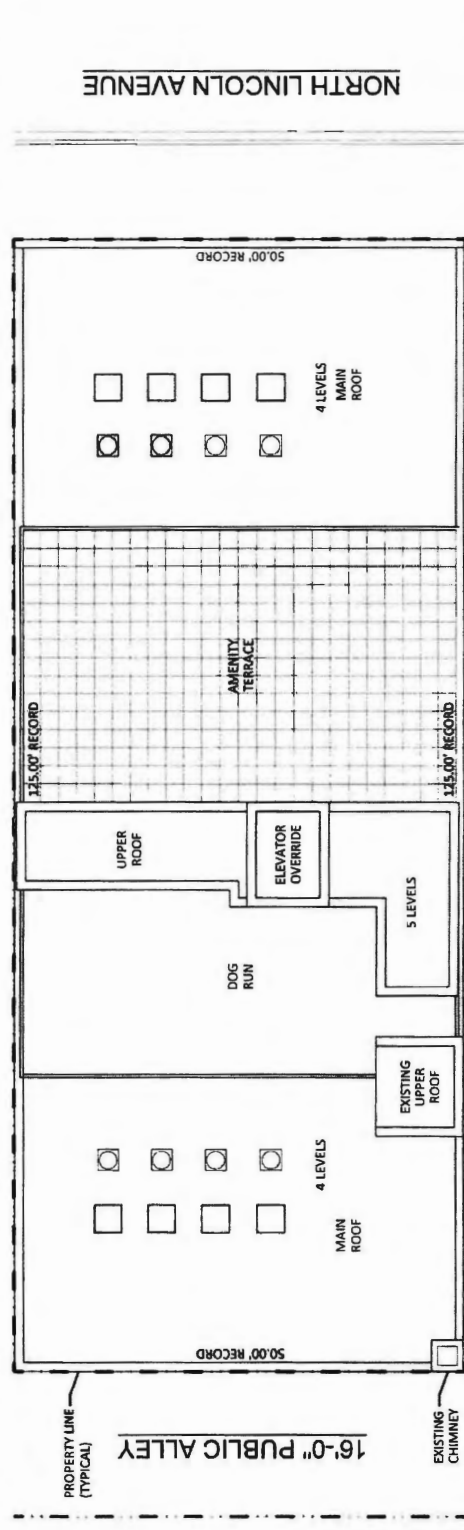
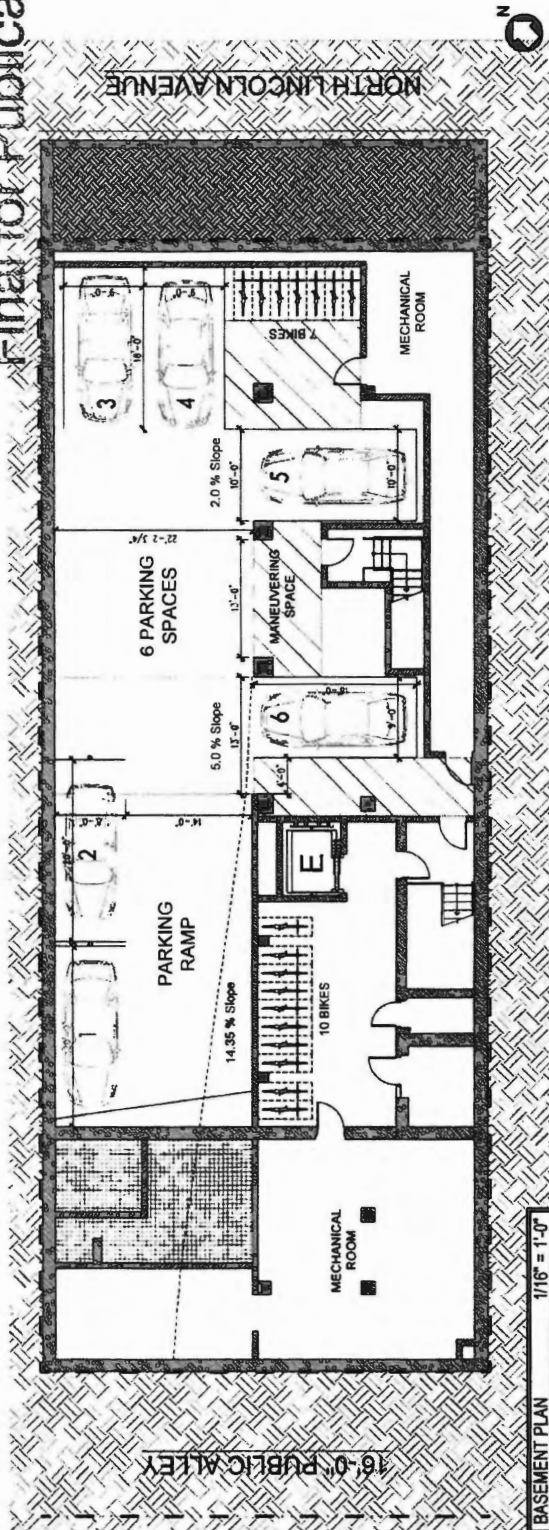
- (C) The amount of off-street parking: 7 parking spaces

\*The subject property is a designated Transit Served Location. Pursuant to Sec. 17-13-1003-EE, the Applicant is seeking to reduce the allowable parking ratio for the resulting mixed-use building from eight (8) parking spaces (50%) to seven (7) parking spaces (43.75%).

- (D) Setbacks:
  - a. Front Setback: none (existing)
  - b. Side Setbacks:
    - West Side: none (existing)
    - East Side: none (existing)
  - c. Rear Setback: none (existing)

- (E) Building Height: 58 feet (existing)

Final for Publication



\* ROOF CONFIGURATION SUBJECT TO CHANGE

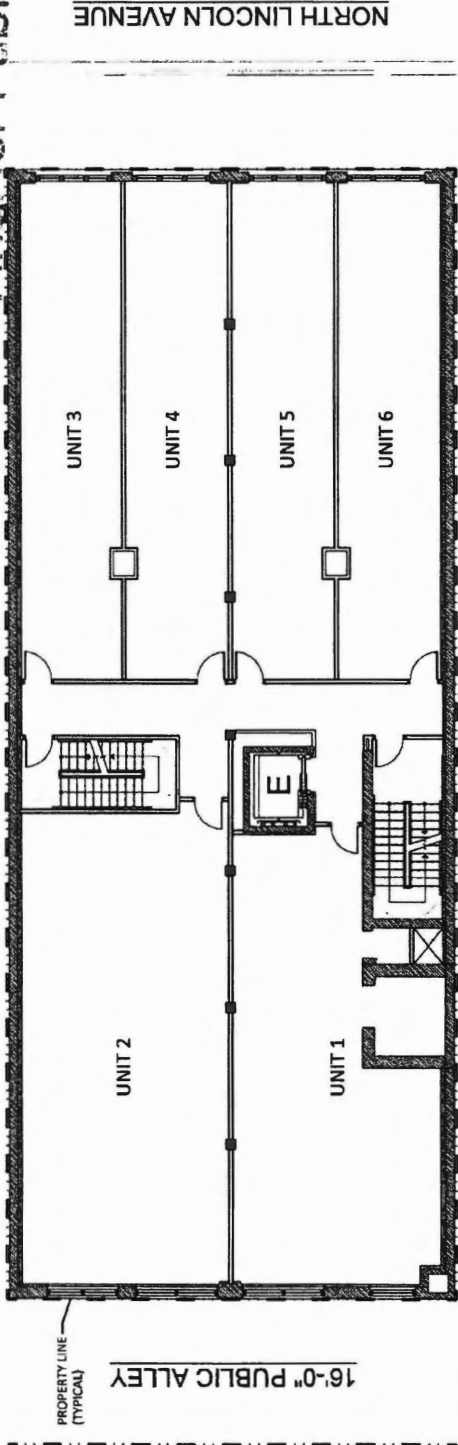
Envoi Partners LLC  
Hirsch MPG LLC

3036 North Lincoln  
Chicago, Illinois

6 May 2024  
22006

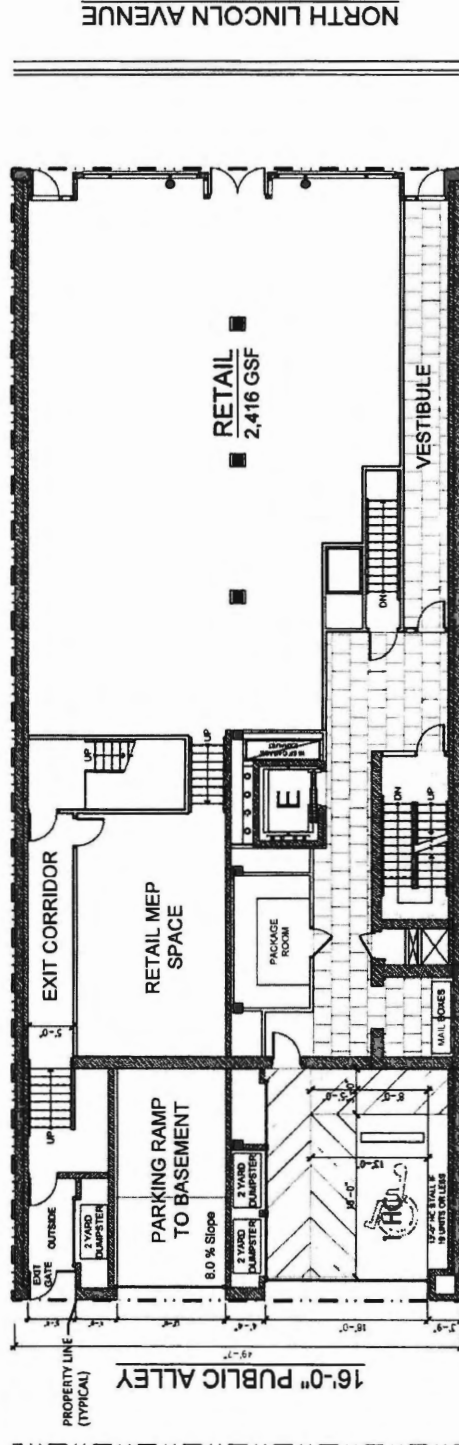
1

Final for Publication



LEVELS 2 & 3 PLAN 1/16" = 1'-0"

\* UNIT CONFIGURATION SUBJECT TO CHANGE



LEVEL 1 PLAN 1/16" = 1'-0"

\* PARKING AND RETAIL CONFIGURATION SUBJECT TO CHANGE

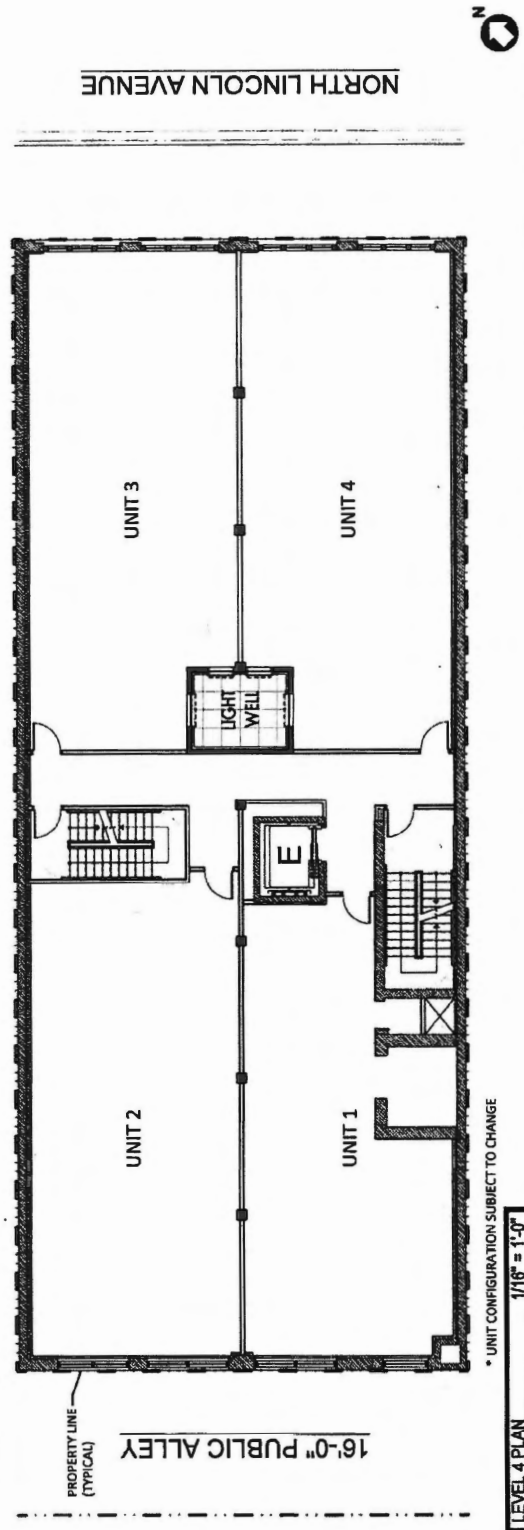
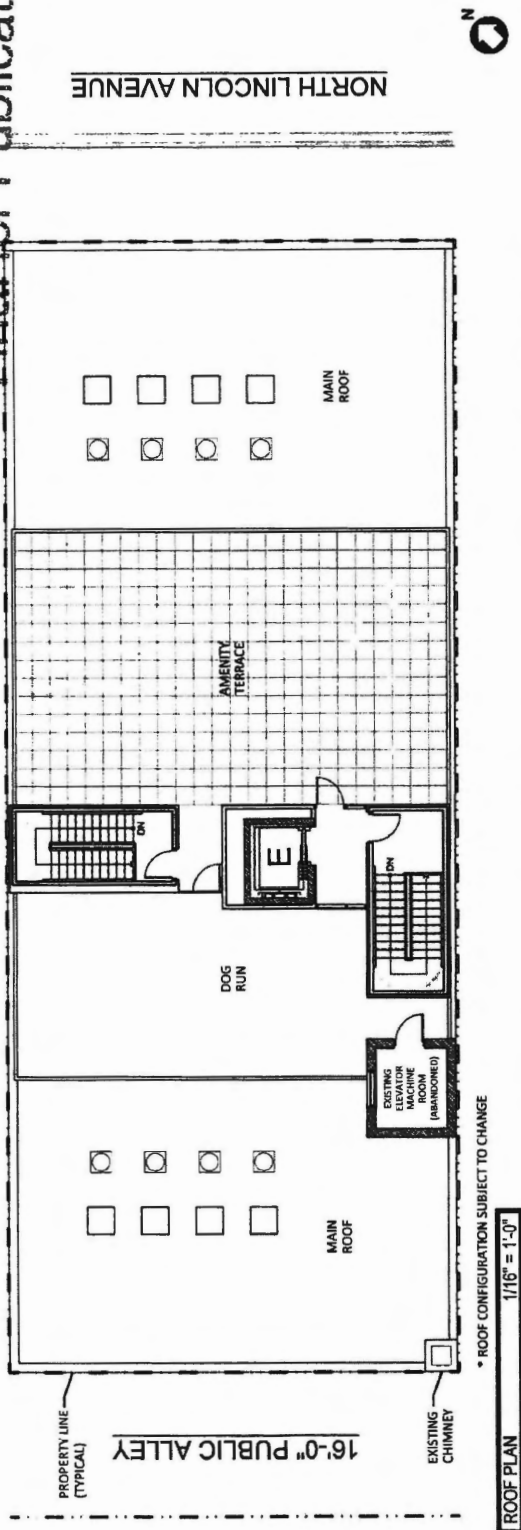
Envoi Partners LLC  
Hirsch MPG LLC

3036 North Lincoln  
Chicago, Illinois

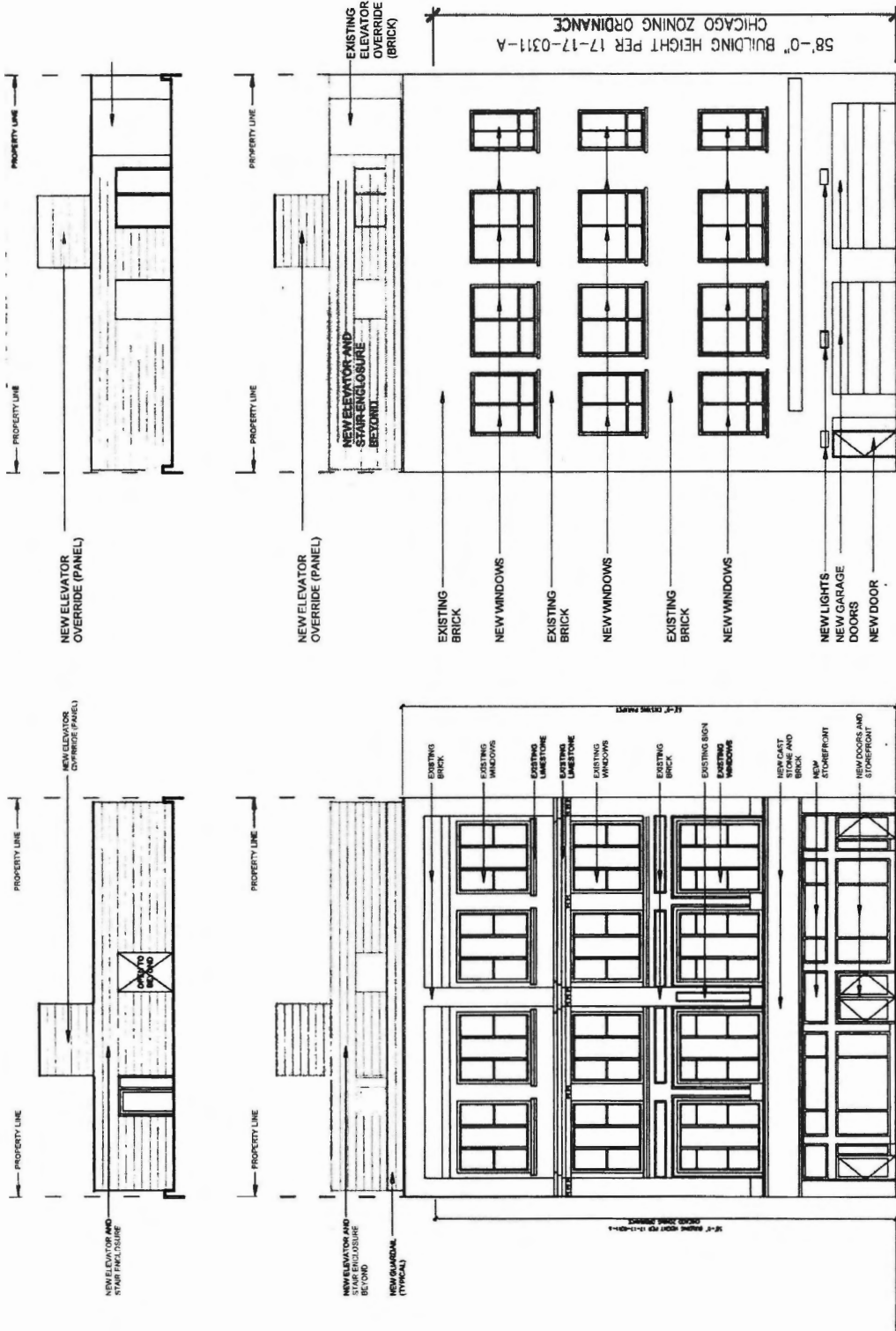
6 May 2024  
22006

2

Final for Publication



3  
 8 May 2024  
 22006  
 3036 North Lincoln  
 Chicago, Illinois  
 Envoy Partners LLC  
 Hirsch MPG LLC



SOUTH WEST ELEVATION 1/16" = 1'-0"

NORTH-EAST ELEVATION 1/16" = 1'-0"

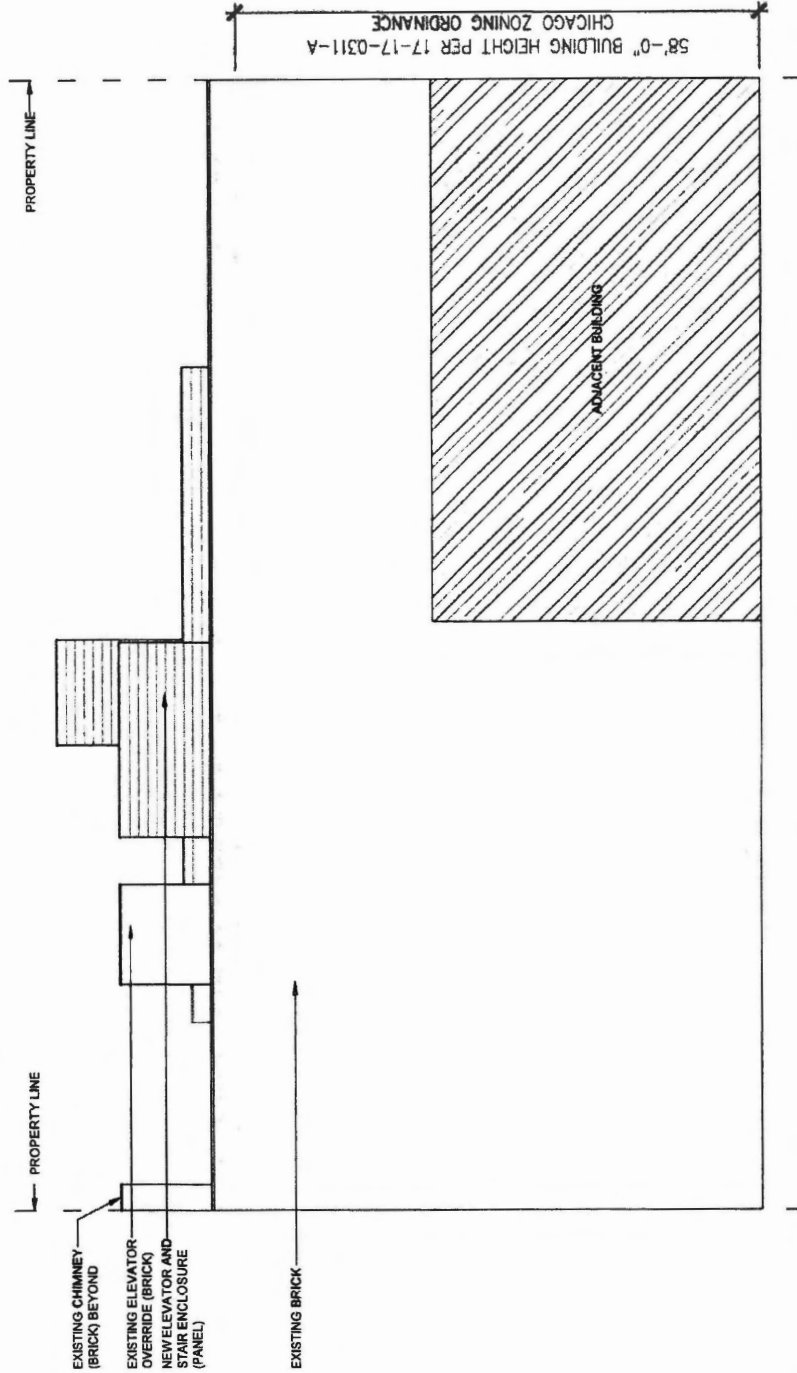
4

6 May 2024  
22006

3036 North Lincoln  
Chicago, Illinois

Envoi Partners LLC  
Hirsch MPG LLC

Final for Publication



SOUTHEAST ELEVATION 1/16" = 1'-0"

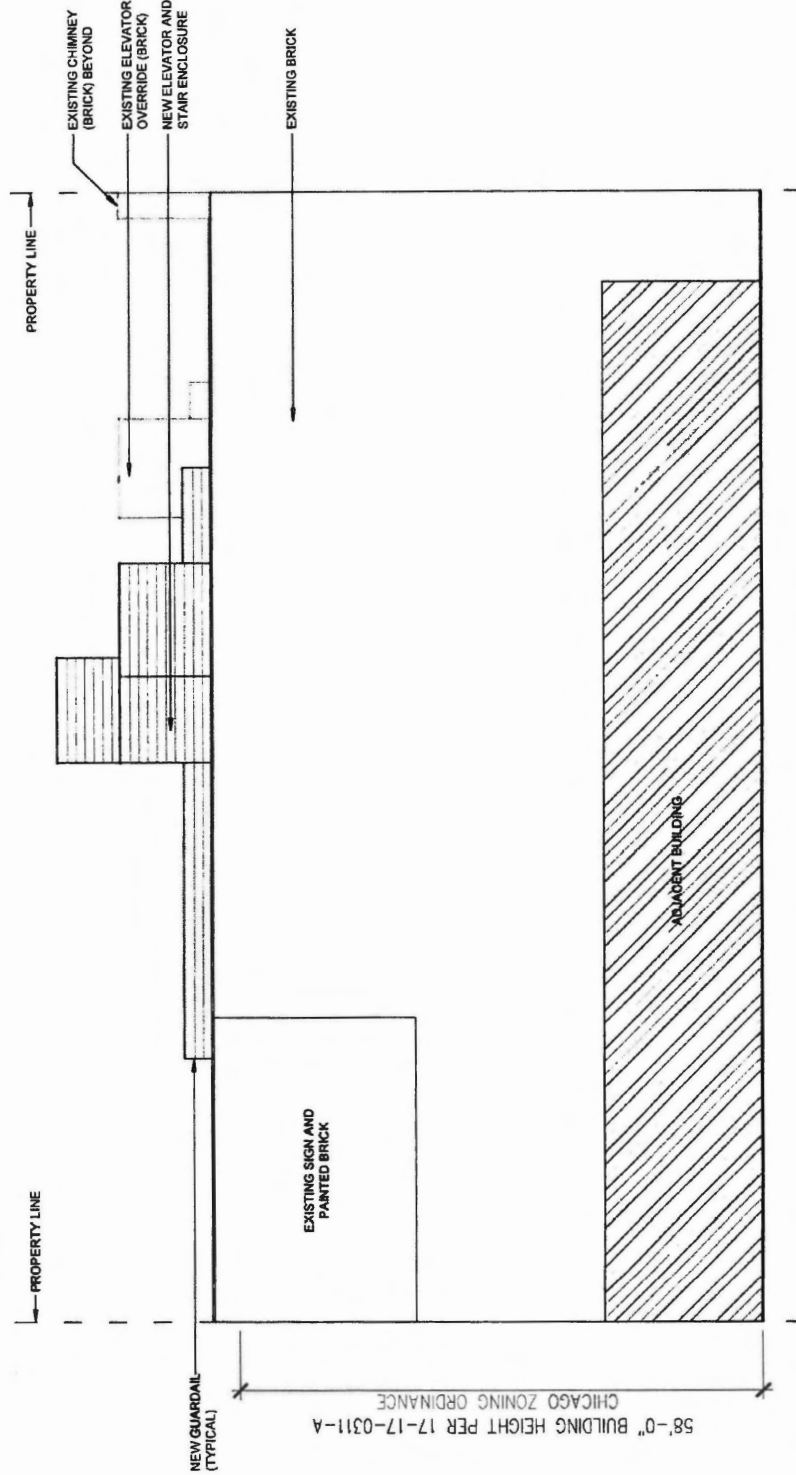
Envoi Partners LLC  
Hirsch MPG LLC

3036 North Lincoln  
Chicago, Illinois

6 May 2024  
22006

5

Final for Publication



NORTHWEST ELEVATION 1/16" = 1'-0"

Envoi Partners LLC  
Hirsch MPG LLC

3036 North Lincoln  
Chicago, Illinois

6 May 2024  
22006

6

*Reclassification Of Area Shown On Map No. 7-G.*  
(Application No. 22455)  
(Common Address: 1313 W. Wrightwood Ave.)

[O2024-0009509]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, be amended by changing all of the C1-1 Neighborhood Commercial District symbols and indications as shown on Map Number 7-G in the area bounded by:

West Wrightwood Avenue; a line 141.00 feet east of and parallel to North Wayne Avenue; the alley next south of and parallel to West Wrightwood Avenue; and a line 108.00 feet east of and parallel to North Wayne Avenue,

to those of an RT4 Residential Two-Flat, Townhouse and Multi-Unit District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

—

*Reclassification Of Area Shown On Map No. 7-H.*  
(As Amended)  
(Application No. 22464T1)  
(Common Address: 2426 -- 2428 N. Clybourn Ave.)

[SO2024-0009597]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That Title 17 of the Municipal Code, the Chicago Zoning Ordinance,

be amended by changing all the M1-2 Limited Manufacturing/Business Park District symbols and indications as shown on Map Number 7-H in the area bounded by:

North Clybourn Avenue; a line 250 feet northwest of and perpendicular to West Fullerton Avenue; a line that is both 103 feet and 123.40 feet southwest of and parallel to North Clybourn Avenue; and a line 300 feet northwest of and perpendicular to West Fullerton Avenue,

to those of an RM5 Residential Multi-Unit District which is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

[Site Plan; Basement, 1<sup>st</sup>, 2<sup>nd</sup> and 3<sup>rd</sup> Floor Plans; House Section;  
Site Plan; Proposed Upper and Lower-Level Plans; Proposed  
2<sup>nd</sup> and 3<sup>rd</sup> Floor Plans; Proposed Roof Deck Plan; and  
North/East, North/West, South/East and South/West  
Building Elevations attached to this ordinance  
printed on pages 15069 through  
15076 of this *Journal*.]

Type 1 Narrative Rezoning Analysis attached to this ordinance reads as follows:

## Final for Publication

### **17-13-0303-C(1) Substitute Type 1 Narrative & Plans – 2426-2428 N. Clybourn, Chicago, IL**

Proposed Zoning: RM-5 Residential Multi-Unit District

Lot Area: 2426 N. Clybourn – 2,702 sq. ft. (irregular lot shape)  
2428 N. Clybourn – 2,957 sq. ft. (irregular lot shape)

Proposed Land Use: The Applicant is proposing to divide the single zoning lot into two (2) independent zoning lots. The three-story mixed-use building at 2426 N. Clybourn will remain without change. The newly created zoning lot at 2428 N. Clybourn will be developed with a new three-story masonry building measuring 37 ft.-2 inches in height and containing three (3) dwelling units. Pursuant to Secs. 17-13-1003 of the Chicago Zoning Ordinance, the Applicant is seeking to reduce the number of required off-street vehicle parking spaces for a Transit Served Location from two (2) parking spaces to zero at 2426 N. Clybourn, and from three (3) parking spaces to zero at 2428 N. Clybourn.

(A) The Project's Floor Area Ratio:

2426 N. Clybourn - 3,637.5 sq. ft. (1.35 FAR)  
2428 N. Clybourn – 5,027.85 sq. ft. (1.7 FAR)

(B) The Project's Density (Minimum Lot Area Per D.U.):

2426 N. Clybourn – 1,351 sq. ft. (2 existing residential units to remain)  
2428 N. Clybourn – 985.67 sq. ft. (3 proposed residential units)

(C) The amount of off-street parking:

2426 N. Clybourn – 0 parking spaces  
2428 N. Clybourn – 0 parking spaces

\*The subject property is a designated Transit Served Location. Pursuant to Sec. 17-13-1003-EE, the Applicant is seeking to reduce the number of required off-street vehicle parking spaces for a Transit Served Location from two (2) parking spaces to zero at 2426 N. Clybourn, and from three (3) parking spaces to zero at 2428 N. Clybourn.

(D) Setbacks:

2426 N. Clybourn

- a. Front Setback: none (existing to remain)
- b. Side Setbacks: none (existing to remain)
- c. Rear Setback: 53.48 feet (existing to remain)

2428 N. Clybourn

- a. Front Setback: 2.3 feet
- b. Side Setbacks: North side – 2 feet / South side – 3 feet
- c. Rear Setback: 34.9 feet

## Final to Publication

- (E) Building Height:
- |                   |                                      |
|-------------------|--------------------------------------|
| 2426 N. Clybourn: | 34 ft. 9 inches (existing to remain) |
| 2428 N. Clybourn: | 37 ft. 2 inches                      |

### Sec. 17-3-0308 Criteria for Transit-Served Locations – Supplemental Narrative Zoning Analysis

1. The project complies with the applicable standards of Sec. 17-10-0102-B because the subject property is located within 150 linear feet of the Fullerton Ave. CTA Bus Route. The subject property is landlocked and lacks access to a public alley. Neither building will be supported by any off-street vehicle parking, though each building will be supported by off-street bicycle parking spaces. Pursuant to the eTOD Ordinance and Section 17-13-1003-EE, the Applicant is seeking to permit a reduction in the required off-street vehicle parking spaces.
2. The proposed residential building will comply with Sec. 17-3-0504 because its front setback along N. Clybourn will be within 5 ft. from front property line, the building entrance width will not exceed 12 ft., the building entrance depth will not exceed the entrance width, and the building entrance is not more than two-stories in height.
3. The Transit Friendly Development Guide defines 'transit friendly development' as development which is oriented towards and integrated with adjacent transit. The proposed three-story multi-unit residential building incorporates accessibility and connectivity to the nearby Fullerton Ave. CTA Bus Line, which is less than 150 linear feet from the subject lot. The proposed building will offer at least three (3) bicycle parking spaces and onsite storage areas. The Applicant believes the project will help improve the pedestrian way along N. Clybourn for residents and other commuters traveling in the subject area by replacing a vacant lot with an active multi-unit building.
4. The proposed residential building will contain three (3) dwelling units. The property is landlocked and will not be supported by any off-street vehicle parking. The Applicant is seeking administrative approval to permit the parking reduction consistent with the eTOD Ordinance.
5. The Applicant believes the proposed residential building will activate a currently vacant lot along N. Clybourn Ave. and provide appropriate density in the West DePaul neighborhood. Based on the subject property's proximity to a designated bus route (Fullerton Ave. CTA Bus Line), the Applicant believes the project complies with the Travel Demand Study and Management Plan rules promulgated by the Department of Transportation by serving an area in need.



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FLOOR PLANS  
OF EXISTING 3 STORY  
BRICK BUILDING  
W/BASEMENT  
AT  
2426 N CLYBOURN AVE.  
CHICAGO IL

Sheet Title:  
**BASEMENT AND  
1ST FLOOR PLANS**

Date: \_\_\_\_\_ Description: \_\_\_\_\_

Scale: As indicated

Project number: \_\_\_\_\_

Drawn by: \_\_\_\_\_

Checked by: \_\_\_\_\_

Approved by: \_\_\_\_\_

A2

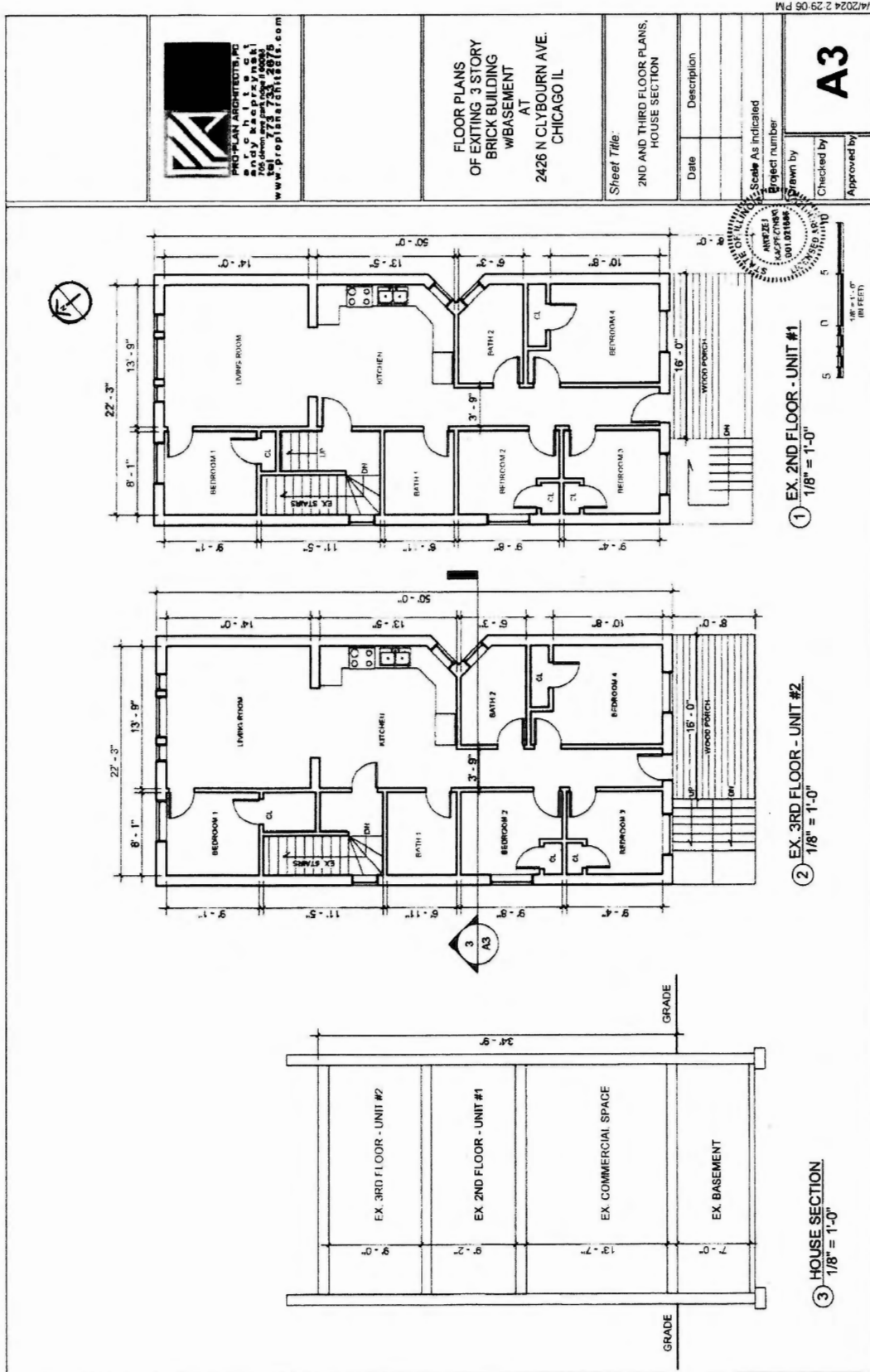
### Chicago Zoning Ordinance and 2019 Chicago Construction Codes

Chicago Zoning Ordinance	Chicago Construction Codes	Existing Building	Existing Building
2-11	11-11-0000	MA	MA
2-12	11-11-0000	MA	MA
2-13	11-11-0000	MA	MA
2-14	11-11-0000	MA	MA
2-15	11-11-0000	MA	MA
2-16	11-11-0000	MA	MA
2-17	11-11-0000	MA	MA
2-18	11-11-0000	MA	MA
2-19	11-11-0000	MA	MA
2-20	11-11-0000	MA	MA
2-21	11-11-0000	MA	MA
2-22	11-11-0000	MA	MA
2-23	11-11-0000	MA	MA
2-24	11-11-0000	MA	MA
2-25	11-11-0000	MA	MA
2-26	11-11-0000	MA	MA
2-27	11-11-0000	MA	MA
2-28	11-11-0000	MA	MA
2-29	11-11-0000	MA	MA
2-30	11-11-0000	MA	MA
2-31	11-11-0000	MA	MA
2-32	11-11-0000	MA	MA
2-33	11-11-0000	MA	MA
2-34	11-11-0000	MA	MA
2-35	11-11-0000	MA	MA
2-36	11-11-0000	MA	MA
2-37	11-11-0000	MA	MA
2-38	11-11-0000	MA	MA
2-39	11-11-0000	MA	MA
2-40	11-11-0000	MA	MA
2-41	11-11-0000	MA	MA
2-42	11-11-0000	MA	MA
2-43	11-11-0000	MA	MA
2-44	11-11-0000	MA	MA
2-45	11-11-0000	MA	MA
2-46	11-11-0000	MA	MA
2-47	11-11-0000	MA	MA
2-48	11-11-0000	MA	MA
2-49	11-11-0000	MA	MA
2-50	11-11-0000	MA	MA

① EX. BASEMENT  
1/8" = 1'-0"

② EX. 1ST FLOOR  
1/8" = 1'-0"

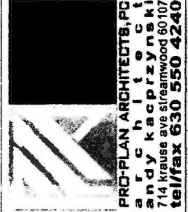
Final for Publication



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Final for Publication

<p><b>PROJECT DATA</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>EXISTING ZONING DISTRICT:</td> <td>M1-2</td> </tr> <tr> <td>PROPOSED ZONING: (DENSITY)</td> <td>RM-5</td> </tr> <tr> <td>PROPOSED MAX. HEIGHT (RT-4)</td> <td>RT-4 38 FT</td> </tr> <tr> <td>PROPOSED F.A.R. (RM-4.5):</td> <td>1.7</td> </tr> <tr> <td>LOT AREA:</td> <td>2,957.56 SQFT</td> </tr> <tr> <td>TOTAL FLOOR AREA:</td> <td>5,027.85 SQFT</td> </tr> <tr> <td>OCCUPANCY CLASSIFICATION:</td> <td>R-5</td> </tr> <tr> <td>BUILDING CONSTRUCTION TYPE:</td> <td>3A</td> </tr> </table>	EXISTING ZONING DISTRICT:	M1-2	PROPOSED ZONING: (DENSITY)	RM-5	PROPOSED MAX. HEIGHT (RT-4)	RT-4 38 FT	PROPOSED F.A.R. (RM-4.5):	1.7	LOT AREA:	2,957.56 SQFT	TOTAL FLOOR AREA:	5,027.85 SQFT	OCCUPANCY CLASSIFICATION:	R-5	BUILDING CONSTRUCTION TYPE:	3A	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>FRONT YARD SETBACK</td> <td>0.09' MIN.</td> <td>PROPOSED</td> <td>2.30'</td> </tr> <tr> <td>REAR YARD SETBACK</td> <td><math>[(113.20' + 123.40')/2] \times 0.28 = 33.12'</math></td> <td></td> <td>33.12'</td> </tr> <tr> <td>REAR YARD OPEN SPACE</td> <td>192.24 SQFT</td> <td></td> <td>703.8 SQ FT</td> </tr> <tr> <td>SIDE YARD SETBACK</td> <td>5.00' COMBINED</td> <td></td> <td>5.00'</td> </tr> <tr> <td>MAX. HEIGHT</td> <td>38'</td> <td></td> <td>37'-2"</td> </tr> </table>	FRONT YARD SETBACK	0.09' MIN.	PROPOSED	2.30'	REAR YARD SETBACK	$[(113.20' + 123.40')/2] \times 0.28 = 33.12'$		33.12'	REAR YARD OPEN SPACE	192.24 SQFT		703.8 SQ FT	SIDE YARD SETBACK	5.00' COMBINED		5.00'	MAX. HEIGHT	38'		37'-2"	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>REQUIRED - RM-4.5</td> <td></td> <td>PROPOSED</td> <td></td> </tr> <tr> <td>0.09' MIN.</td> <td></td> <td>2.30'</td> <td></td> </tr> <tr> <td><math>[(113.20' + 123.40')/2] \times 0.28 = 33.12'</math></td> <td></td> <td>33.12'</td> <td></td> </tr> <tr> <td>192.24 SQFT</td> <td></td> <td>703.8 SQ FT</td> <td></td> </tr> <tr> <td>5.00' COMBINED</td> <td></td> <td>5.00'</td> <td></td> </tr> <tr> <td>38'</td> <td></td> <td>37'-2"</td> <td></td> </tr> </table>	REQUIRED - RM-4.5		PROPOSED		0.09' MIN.		2.30'		$[(113.20' + 123.40')/2] \times 0.28 = 33.12'$		33.12'		192.24 SQFT		703.8 SQ FT		5.00' COMBINED		5.00'		38'		37'-2"		<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>EXISTING FLOOR AREA</td> <td>PROPOSED FLOOR AREA</td> </tr> <tr> <td>BASEMENT</td> <td>1,461.52 SQFT (NOT INCLUDED)</td> </tr> <tr> <td>1ST FLOOR</td> <td>1,461.52 SQFT</td> </tr> <tr> <td>2ND FLOOR</td> <td>1,461.52 SQFT</td> </tr> <tr> <td>3RD FLOOR</td> <td>1,461.52 SQFT</td> </tr> </table> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>REQUIRED</td> <td>EXISTING TOTAL</td> </tr> <tr> <td>5,027.85 SQ FT</td> <td>4,384.56 SQ FT</td> </tr> </table>	EXISTING FLOOR AREA	PROPOSED FLOOR AREA	BASEMENT	1,461.52 SQFT (NOT INCLUDED)	1ST FLOOR	1,461.52 SQFT	2ND FLOOR	1,461.52 SQFT	3RD FLOOR	1,461.52 SQFT	REQUIRED	EXISTING TOTAL	5,027.85 SQ FT	4,384.56 SQ FT
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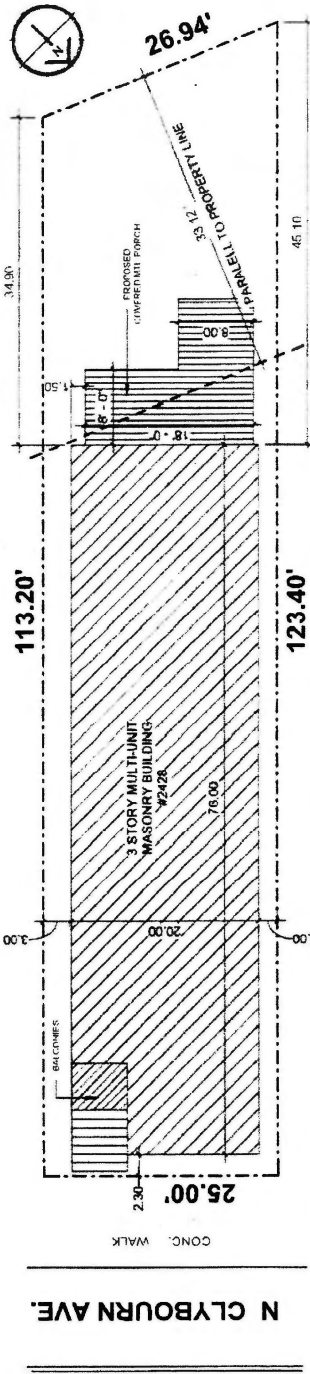


**PRO-PLAN ARCHITECTS, PC**  
 andy kaaczynski  
 714 kreusa ave streamwood 60107  
 tel/fax 630 550 4240

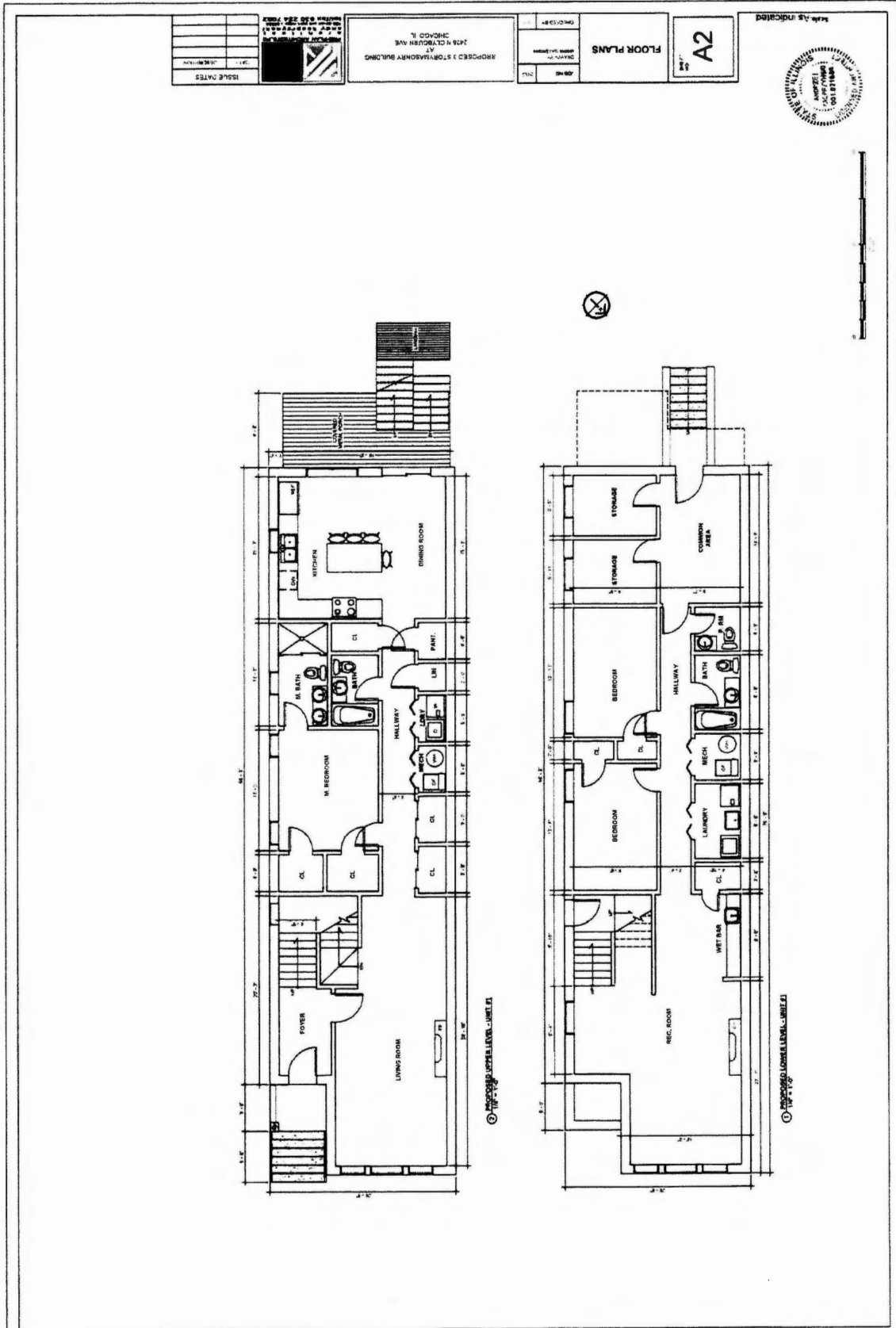
**Project:**  
 PROPOSED 3 STORY,  
 MASONRY BUILDING  
 AT  
 2428 N CLYBOURN AVE.  
 CHICAGO, IL

Sheet Title: **SITE PLAN**

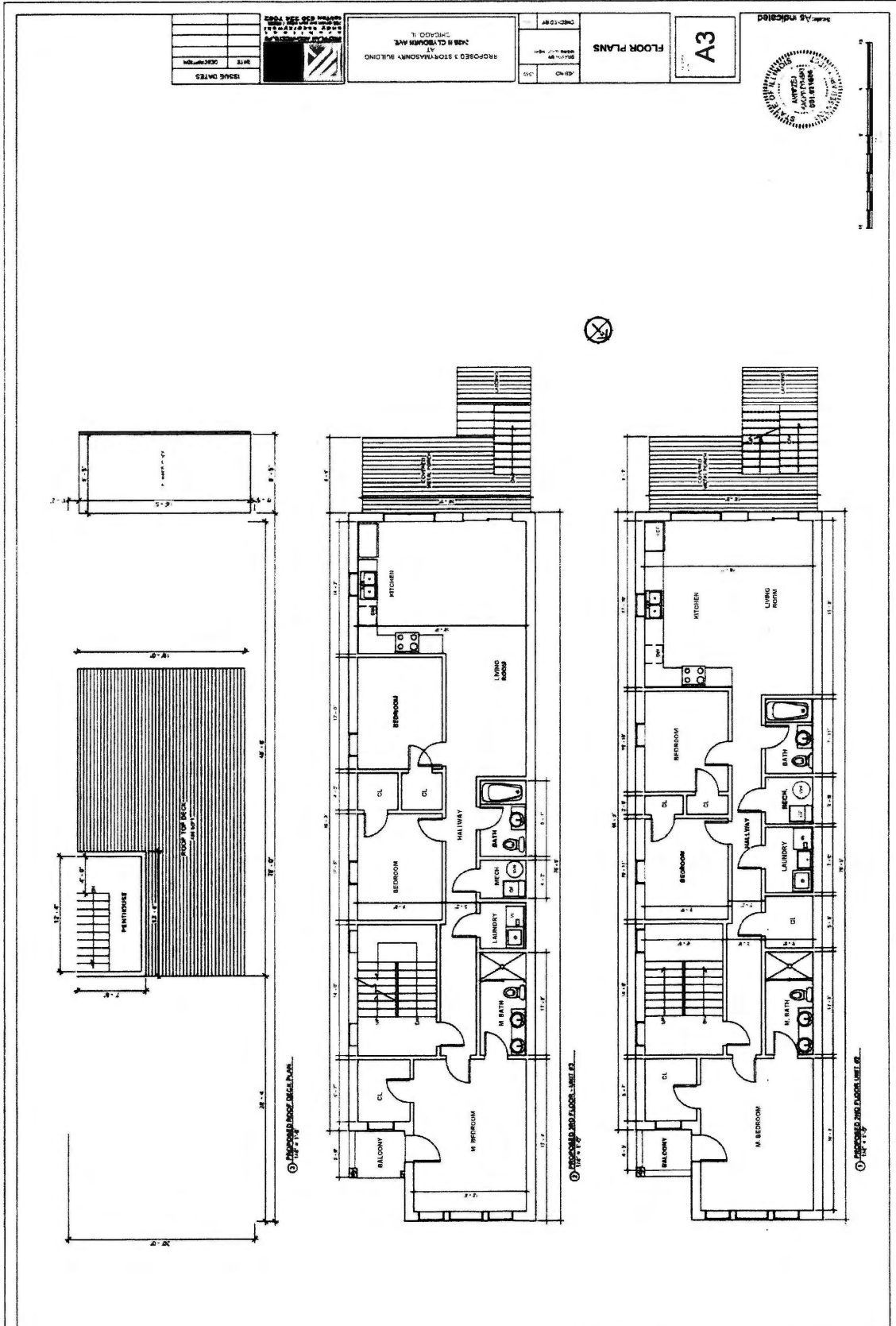
Date	Description
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**ELEVATIONS**



PROPOSED 3 STORY WALKUP BUILDING  
429 N. CLARK AVE.  
CHICAGO, IL

DATE: 7/17/2024  
SCALE: 1/8" = 1'-0"

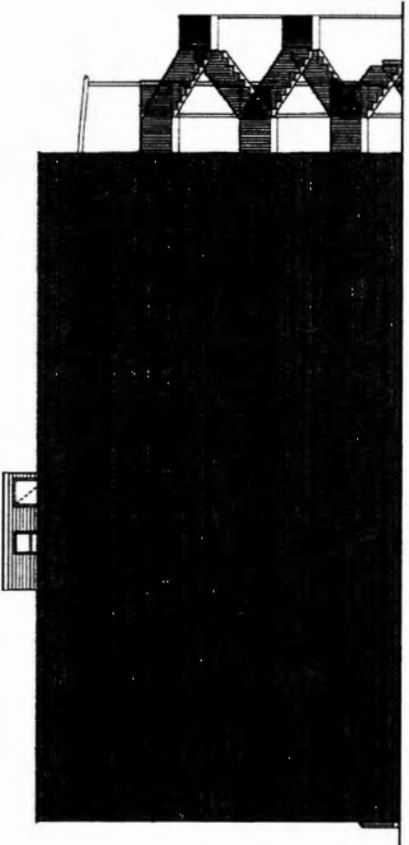
ISSUE DATES

Scale: 1/8" = 1'-0"

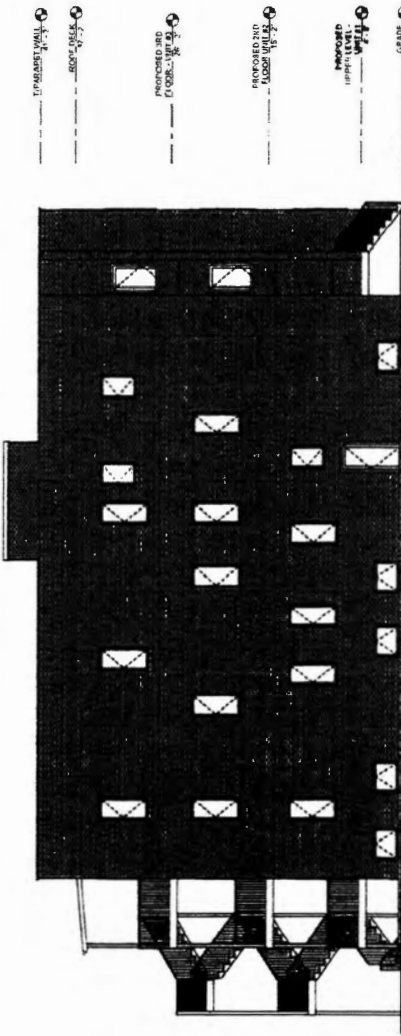
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<table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td style="width: 50%;">ISSUE DATES</td><td style="width: 50%;">DATE</td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table>	ISSUE DATES	DATE										PROPOSED 3 STORY MANGINNY BUILDING AT 3453 N. BROADWAY CHICAGO, IL	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td style="width: 50%;">DATE</td><td style="width: 50%;">BY</td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table>	DATE	BY					<b>ELEVATIONS</b>	<b>A5</b>	Scale 3/16" = 1'-0" 
ISSUE DATES	DATE																					
DATE	BY																					



① SIDE ELEVATION



② FRONT ELEVATION

PROPOSED 3RD FLOOR - UPPER LEVEL

PROPOSED 2ND FLOOR - UPPER LEVEL

PROPOSED 1ST FLOOR - UPPER LEVEL

PROPOSED 1ST FLOOR - LOWER LEVEL

PROPOSED 2ND FLOOR - LOWER LEVEL

PROPOSED 3RD FLOOR - LOWER LEVEL

*Reclassification Of Area Shown On Map No. 8-H.*  
(Application No. 22458)  
(Common Address: 3842 S. Hermitage Ave.)

[O2024-0009526]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all the current RS3 Residential Single-Unit (Detached House) District symbols and indications as shown on Map Number 8-H in the area bounded by:

a line 192.06 feet north of and parallel to West Pershing Road; South Hermitage Avenue;  
a line 167.06 feet north of and parallel to West Pershing Road; and the public alley next west of and parallel to South Hermitage Avenue,

to those of an RM4.5 Residential Multi-Unit District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

---

*Reclassification Of Area Shown On Map No. 9-G.*  
(As Amended)  
(Application No. 22474T1)  
(Common Address: 3627 -- 3633 N. Sheffield Ave.)

[SO2024-0009617]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That Title 17 of the Municipal Code, the Chicago Zoning Ordinance,

be amended by changing all the RT4 Residential Two-Flat, Townhouse and Multi-Unit District symbols and indications as shown on Map Number 9-G in the area bounded by:

a line 225 feet south of and parallel to West Waveland Avenue; the public alley next east of and parallel to North Sheffield Avenue; a line 315 feet south of and parallel to West Waveland Avenue; and North Sheffield Avenue,

to those of a B2-3 Neighborhood Mixed-Use District which is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

[Architectural Site Plan; Basement, 1<sup>st</sup>, 2<sup>nd</sup>, 3<sup>rd</sup>, 4<sup>th</sup> and 5<sup>th</sup> Floor Plans; Roof Plan; and East and West Building Elevations attached to this ordinance printed on pages 15081 through 15085 of this *Journal*.]

Type 1 Narrative Rezoning Analysis attached to this ordinance reads as follows:

## Final for Publication

### **17-13-0303-C(1) Substitute Type 1 Narrative & Plans – 3627-3633 N. Sheffield, Chicago, IL**

Proposed Zoning: B2-3 Neighborhood Mixed-Use District

Lot Area: 10,825.2 square feet (irregular lot shape)

Proposed Land Use: The Applicant is proposing to develop the subject property with a new five-story residential building containing twenty-nine (29) dwelling units. The proposed building will be masonry in construction and measure 56 ft.-8 inches in height. The subject property is a Transit Served Location and will be supported by eleven (11) off-street parking spaces and twenty-one (21) bicycle parking spaces. Pursuant to Secs. 17-13-1003 and 17-13-1101 of the Chicago Zoning Ordinance, the Applicant is seeking to reduce the number of required off-street vehicle parking spaces for a Transit Served Location from fifteen (15) parking spaces to eleven (11) parking spaces, increase the allowable front setback along a pedestrian street from 5 ft. to 9 ft.-3 inches, and reduce the rear setback for floors containing residential uses from 30 ft. to 5 ft.

(A) The Project's Floor Area Ratio: 37,589 square feet (3.47 FAR)

\*Pursuant to Sec. 17-3-0403-B, the Applicant is seeking a floor area ratio increase because it will provide at least 50% of its ARO units onsite.

(B) The Project's Density (Minimum Lot Area Per D.U.): 373.28 square feet per D.U.  
(29 residential units)

(C) The amount of off-street parking: 11 parking spaces

\*The subject property is a designated Transit Served Location. Pursuant to Sec. 17-13-1003-EE, the Applicant is seeking to reduce the allowable parking ratio for the proposed twenty-nine (29) residential unit building from fifteen (15) parking spaces (50%) to eleven (11) parking spaces (37.9%).

(D) Setbacks:

- a. \*Front Setback: 9 feet 3 inches
- b. Side Setbacks:
  - North Side: 5 feet
  - South Side: 5 feet
- c. \*Rear Setback: 5 feet

\*Pursuant to Sec. 17-13-1101-B, the Applicant is seeking to increase the allowable front setback along a pedestrian street from 5 ft. to 9 ft.-3 inches, and reduce the rear setback for floors containing residential uses from the required 30 ft. to 5 feet.

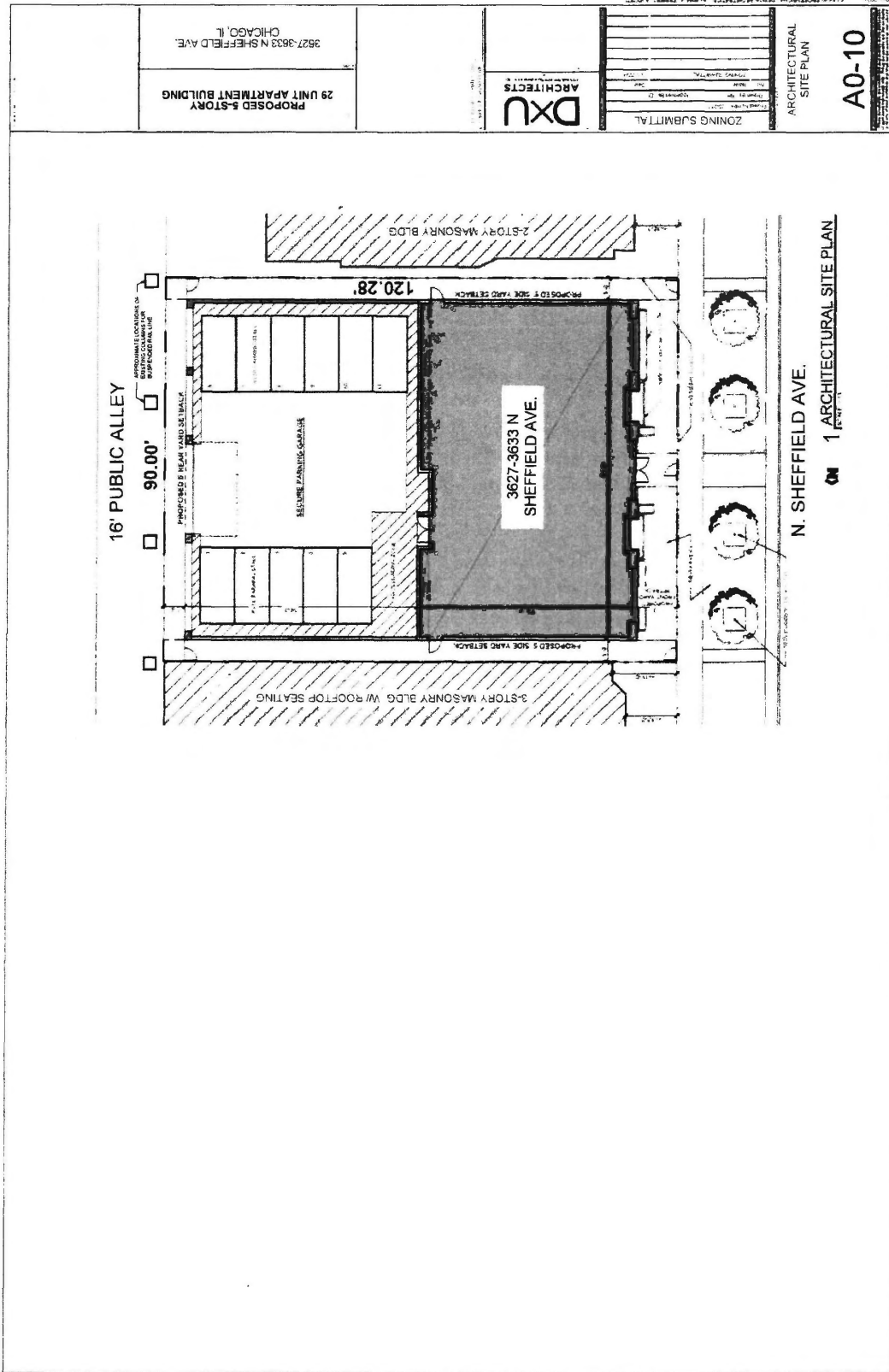
(E) Building Height: 56 feet 8 inches

## Final for Publication

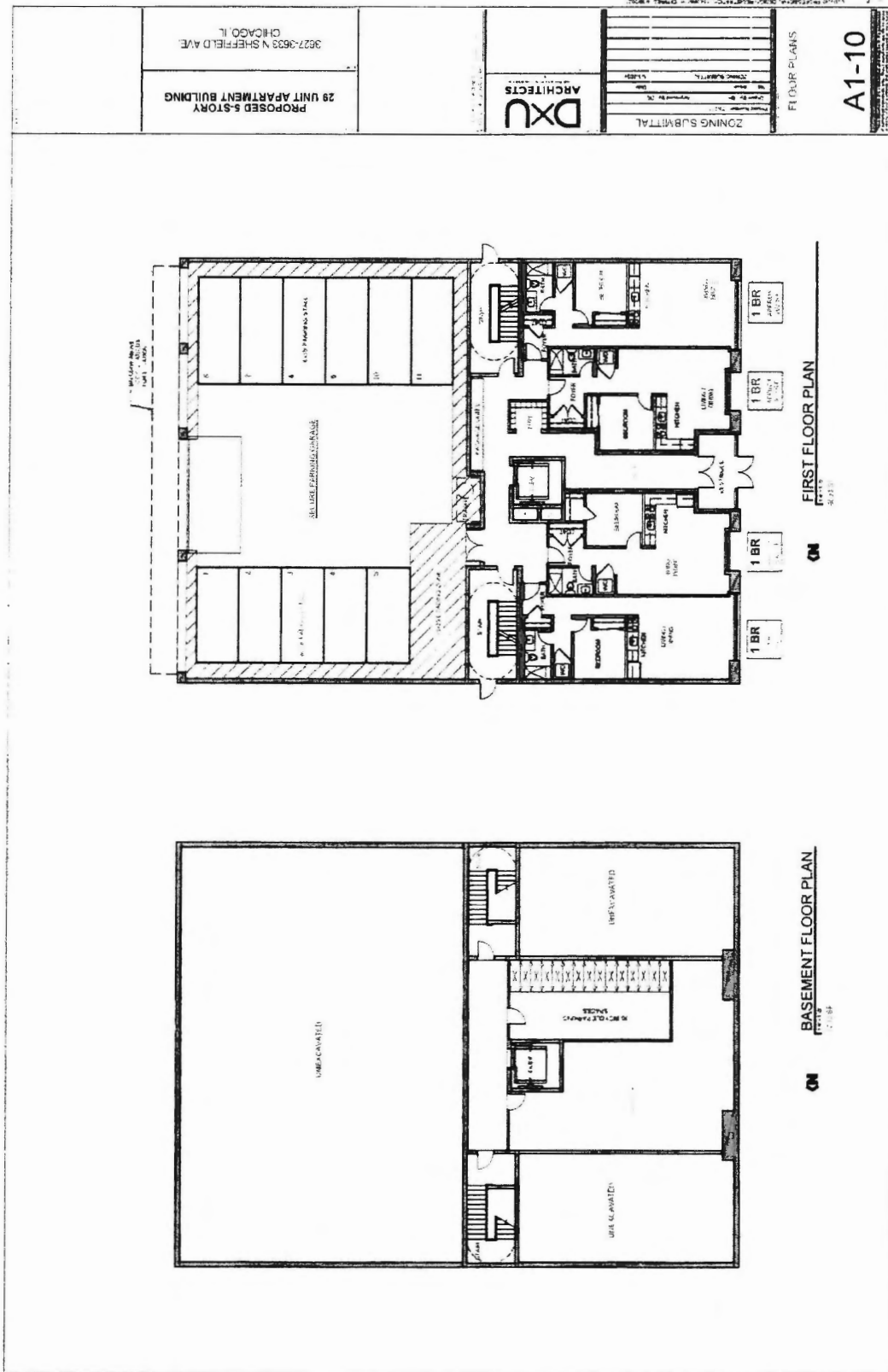
### Sec. 17-3-0308 Criteria for Transit-Served Locations – Supplemental Narrative Zoning Analysis

1. The project complies with the applicable standards of Sec. 17-10-0102-B because the subject property is located immediately adjacent to the Diversey CTA Bus Line Corridor roadway segment and within approximately 275 linear feet of the CTA Addison St. Train Station. The proposed residential building will be supported by eleven (11) off-street parking space and twenty-one (21) bicycle parking spaces. Pursuant to Section 17-13-1003-EE, the Applicant is seeking to permit a reduction in the number of required off-street vehicle parking spaces.
2. The proposed residential building will comply with Sec. 17-3-0504 because the building entrance width will not exceed 12 ft. in height, the building entrance depth will not exceed the entrance width, and the building entrance is not more than two-stories in height. Please note the Applicant is seeking a Variation to increase the front setback along N. Sheffield from not more than 5 ft. to 9 ft.-3 inches. The proposed front setback dimension is intended to better align the proposed building with the front setbacks of the neighboring buildings fronting on N. Sheffield.
3. The Transit Friendly Development Guide defines ‘transit friendly development’ as development which is oriented towards and integrated with adjacent transit. The proposed five-story multi-unit residential building incorporates accessibility and connectivity to the CTA Clark St. Bus Line, which just west of the subject property. The subject property is also located within approximately 275 linear feet of the CTA Addison St. Train Station. The proposed building will offer twenty-one (21) bicycle parking spaces and onsite storage areas. The Applicant believes the project will complement the already active pedestrian experience along N. Sheffield, north of W. Addison St. for residents and other commuters traveling in the subject area.
4. The proposed residential building will contain twenty-nine (29) dwelling units. Eleven (11) off-street parking spaces will be provided. The Applicant is seeking administrative approval to permit the parking reduction consistent with the eTOD Ordinance.
5. The Applicant believes the proposed residential building will provide appropriate density in the Lake View/Wrigleyville neighborhood. Based on the subject property’s proximity to a designated bus route (Clark St. CTA Bus Line) and train station (CTA Addison St. Train Station), the Applicant believes the project complies with the Travel Demand Study and Management Plan rules promulgated by the Department of Transportation by serving an area already supported by ample mass transit options.

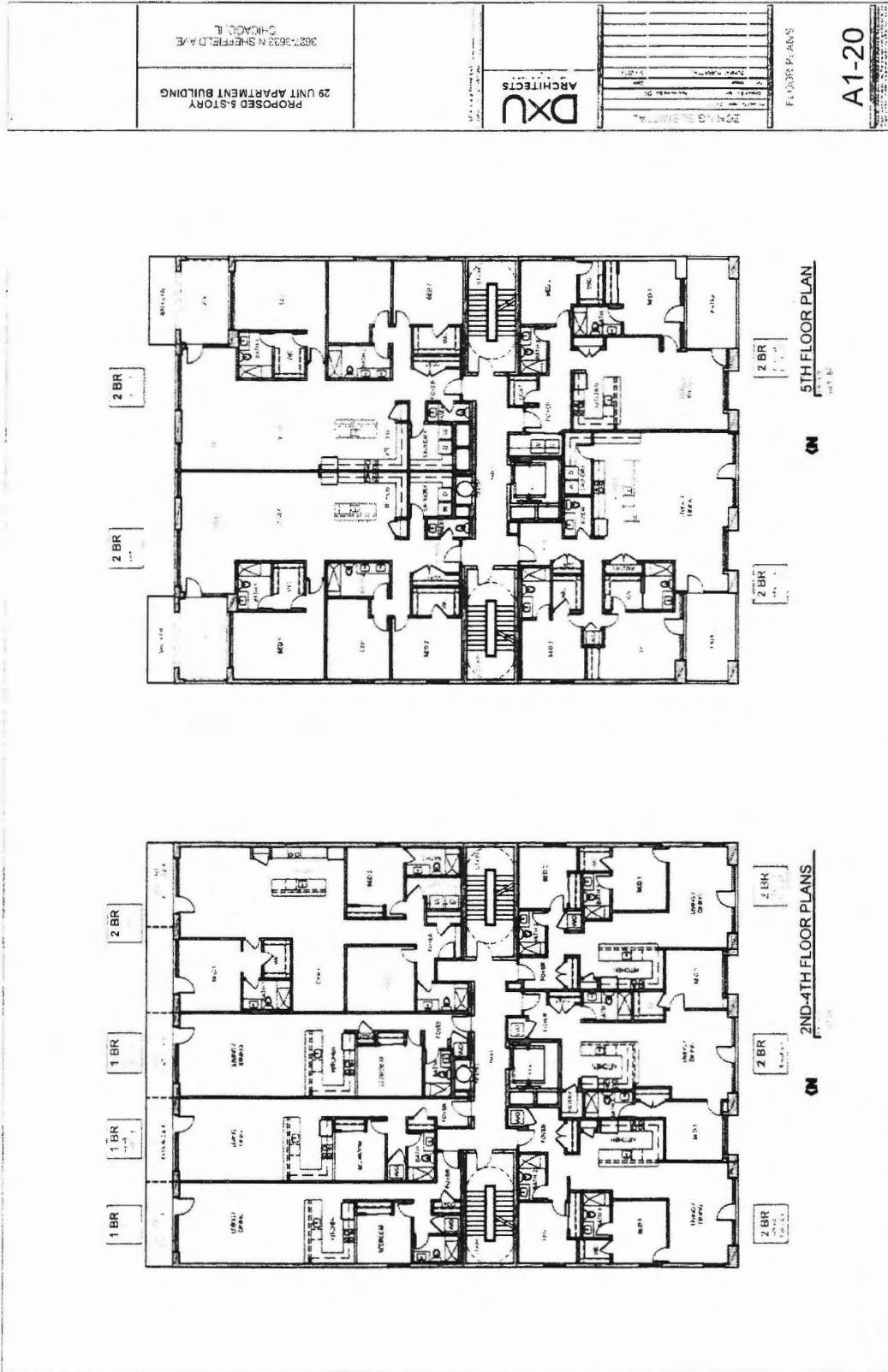
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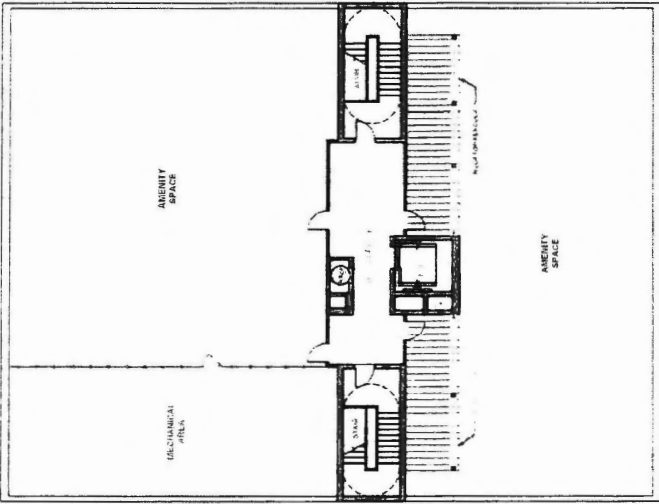
Frator P. Barato



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PROPOSED 5-STORY 29 UNIT APARTMENT BUILDING 3627-3633 N SHEFFIELD AVE CHICAGO, IL		ZONING SUBMITTAL PROJECT NO. 2024-00000 SHEET NO. 100-SP DATE 07/17/2024 DRAWN BY [Name] CHECKED BY [Name]	ROOF PLAN  <b>A1-30</b>
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↻ ROOF PLAN  
100-SP

Final for Publication

PROPOSED 6-STORY 29 UNIT APARTMENT BUILDING CHICAGO, IL 3527-3833 N. SHEFFIELD AVE.	<b>DXU</b> ARCHITECTS <small>111 W. MONROE ST. SUITE 1000 CHICAGO, IL 60603</small>	ZONING SUBMITTAL Project No. 24277 4200 N. LAUREL ST. CHICAGO, IL 60641 EXTERIOR ELEVATIONS	<b>A3-10</b>
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**1 WEST ELEVATION**  
ELEVATION

**2 EAST ELEVATION**  
ELEVATION

*Reclassification Of Area Shown On Map No. 9-L.*

(As Amended)

(Application No. 22425)

(Common Address: 3631 -- 3657 N. Central Ave. And 5547 -- 5557 W. Waveland Ave.)

[SO2024-0008991]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, be amended by changing all Business Planned Development Number 1450 symbols and designations as shown on Map Number 9-L in the area bounded by:

North Central Avenue; West Waveland Avenue; the public alley east of and parallel to North Central Avenue; a line 287.06 feet south of and parallel to West Waveland Avenue; a line 83.28 feet east of and parallel to North Central Avenue; and a line 303.34 feet south of and parallel to West Waveland Avenue,

to the designation of Business Planned Development Number 1450, as amended, which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

*Business Planned Development No. 1450, As Amended.*

*Planned Development Statements.*

1. The area delineated herein as Business Planned Development Number 1450 (the "Planned Development") consists of approximately 37,614 square feet of property, which is depicted on the attached Planned Development Boundary and Property Line Map (the "Property"). Portage Park Capital LLC is the owner of the Property, who has provided a confirmation of authority to the Applicant, 1937 Retail Holdings Series LLC.
2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance (the "Zoning Ordinance"), the Property, at the time

of application for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400.

3. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustment of the right-of-way shall require a separate submittal to the Department of Transportation on behalf of the Applicant or its successors, assigns or grantees.

Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the Planned Development.

Ingress or egress shall be pursuant to the Planned Development and may be subject to the review and approval of the Departments of Planning and Development and Transportation. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of the Department of Transportation.

Pursuant to a negotiated and executed Perimeter Restoration Agreement ("Agreement") by and between the Department of Transportation's Division of Infrastructure Management and the Applicant, the Applicant shall provide improvements and restoration of all public way adjacent to the Property, which may include, but not be limited to, the following as shall be reviewed and determined by the Department of Transportation's Division of Infrastructure Management:

- Full width of streets
- Full width of alleys
- Curb and gutter
- Pavement markings
- Sidewalks
- ADA crosswalk ramps
- Parkway and landscaping

The Perimeter Restoration Agreement must be executed prior to any Department of Transportation and Planned Development Part II review permitting. The Agreement shall reflect that all work must comply with current Rules and Regulations and must be designed and constructed in accordance with the Department of Transportation's Construction Standards for Work in the Public Way and in compliance with the Municipal Code of Chicago Chapter 10-20. Design of said improvements should follow the Department of Transportation's Rules and Regulations for Construction in the

Public Way as well as The Street and Site Plan Design Guidelines. Any variation in scope or design of public way improvements and restoration must be approved by the Department of Transportation.

4. This Planned Development consists of these 16 Statements; a Bulk Regulations and Data Table and the following exhibits and plans attached hereto prepared by DDCA Architects and dated May 16, 2019 (the "Plans"): an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Boundary and Property Line Map; a Site Plan; and Building Elevations (North, South, East and West) dated March 4, 2020, and a Landscape Plan and Landscape Details prepared by Manhard Consulting Ltd. In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Zoning Ordinance and all requirements thereof and satisfies the established criteria for approval as a Planned Development. In case of a conflict between the terms of this Planned Development ordinance and the Zoning Ordinance, this Planned Development ordinance shall control.
5. The following uses are permitted in the area delineated herein as a Business Planned Development: office; business equipment sales and service; business support services; communication service establishments; eating and drinking establishments (all, including taverns); animal services (kenneling, boarding, stabling); sports and recreation, participant; indoor special event including incidental liquor sales; financial services; food and beverage retail sales; medical service; personal service; general retail sales; participant sports and recreation; limited and artisan manufacturing, production and industrial services; residential storage warehouse; co-located wireless communication facilities; accessory parking, non-accessory parking and incidental and accessory uses; adult use cannabis dispensary, cannabis craft grow (including accessory cannabis dispensary), cannabis processor and cannabis infuser provided that special uses are approved pursuant to the standards under Section 17-9-0129 of the Chicago Zoning Ordinance.
6. On-premises signs and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development, subject to the review and approval of the Department of Planning and Development. Off-premises signs are prohibited within the boundary of the Planned Development.
7. For purposes of height measurement, the definitions in the Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by the Federal Aviation Administration.
8. The maximum permitted floor area ratio ("FAR") for the Property shall be in accordance with the attached Bulk Regulations and Data Table. For the purposes of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply. The permitted overall FAR identified in the Bulk Regulations Table has been determined using a net site area of 37,614 square feet, and an overall base FAR of 3.4.

9. Upon review and determination, "Part II review," pursuant to Section 17-13-0610, a Part II review fee shall be assessed by the Department of Planning and Development. The fee, as determined by staff at the time, is final and binding on the Applicant and must be paid to the Department of Revenue prior to the issuance of any Part II approval.
10. The Site and Landscape Plans shall be in substantial conformance with the Landscape Ordinance and any other corresponding regulations and guidelines, including Section 17-13-0800. Final landscape plan review and approval will be by the Department of Planning and Development. Any interim reviews associated with site plan review or Part II reviews are conditional until final Part II approval.
11. The Applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Fleet and Facility Management and Buildings, under Section 13-32-085 of the Municipal Code, or any other provision of that code.
12. The terms and conditions of development under this Planned Development ordinance may be modified administratively, pursuant to Section 17-13-0611-A by the Zoning Administrator upon the application for such a modification by the Applicant, its successors, and assigns and, if different than the Applicant, the legal titleholders and any ground lessors.
13. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
14. The Applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources. The Applicant shall obtain the number of points necessary to meet the requirements of the Chicago Sustainable Development Policy, in effect at the time the Part II Review process is initiated for each improvement that is subject to the aforementioned policy and must provide documentation verifying compliance.
15. The Applicant acknowledges that it is the policy of the City to maximize opportunities for Minority- and Women-owned Business Enterprises ("M/WBEs") and city residents to compete for contracts and jobs on construction projects approved through the planned development process. To assist the City in promoting and tracking such M/WBE and city resident participation, an applicant for planned development approval shall provide information at three points in the City approval process. First, the applicant must submit to DPD, as part of its application for planned development approval, an M/WBE Participation Proposal. The M/WBE Participation Proposal must identify the applicant's goals for participation of certified M/WBE firms in the design,

engineering and construction of the project and of city residents in the construction work. The City encourages goals of (i) 26 percent MBE and 6 percent WBE participation (measured against the total construction budget for the project or any phase thereof), and (ii) 50 percent city resident hiring (measured against the total construction work hours for the project or any phase thereof). The M/WBE Participation Proposal must include a description of the applicant's proposed outreach plan designed to inform M/WBEs and city residents of job and contracting opportunities. Second, at the time of the applicant's submission for Part II Permit review for the project or any phase thereof, the applicant must submit to Department of Planning and Development: (a) updates (if any) to the applicant's preliminary outreach plan; (b) a description of the applicant's outreach efforts and evidence of such outreach, including, without limitation, copies of certified letters to M/WBE contractor associations and the ward office of the alderman in which the project is located and receipts thereof; (c) responses to the applicant's outreach efforts; and (d) updates (if any) to the applicant's M/WBE and city resident participation goals. Third, prior to issuance of a Certificate of Occupancy for the project or any phase thereof, the applicant must provide Department of Planning and Development with the actual level of M/WBE and city resident participation in the project or any phase thereof, and evidence of such participation. In addition to the foregoing, Department of Planning and Development may request such additional information as the department determines may be necessary or useful in evaluating the extent to which M/WBEs and city residents are informed of and utilized in planned development projects. All such information will be provided in a form acceptable to the Zoning Administrator. Department of Planning and Development will report the data it collects regarding projected and actual employment of M/WBEs and city residents in planned development projects twice yearly to the Chicago Plan Commission and annually to the Chicago City Council and the Mayor.

16. This Planned Development shall be governed by Section 17-13-0612 of the Zoning Ordinance. Should this Planned Development ordinance lapse, the Zoning Administrator shall initiate a zoning map amendment to rezone the Property to the originally approved Business Planned Development Number 1450.

Bulk Regulations and Data Table referred to in these Plan of Development Statements read as follows:

*Business Planned Development No. 1450, As Amended.*

*Bulk Regulations And Data Table.*

Gross Site Area (square feet):	55,015
Area of Public Rights-of-Way (square feet):	17,401

Net Site Area (square feet):	37,614
Maximum Floor Area Ratio:	3.4
Accessory Off-Street Parking Spaces:	18
Minimum Off-Street Loading Spaces:	3 (10 feet by 25 feet)
Maximum Building Height:	57 feet, 5 inches
Minimum Setbacks:	In compliance with the plans
Dwelling Units:	0

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*Reclassification Of Area Shown On Map No. 11-I.*  
(Application No. 22450T1)  
(Common Address: 2600 W. Montrose Ave.)

[O2024-0009485]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the B3-2 Community Shopping District symbols and indications as shown on Map Number 11-I in the area bounded by:

the public alley next north of and parallel to West Montrose Avenue; North Rockwell Street; West Montrose Avenue; and a line 75 feet west of and parallel to North Rockwell Street,

to those of a B2-5 Neighborhood Mixed-Use District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

[Existing and Proposed Garden Plans; Existing Typical Upper Floor Plan;  
and North, South, East and West Building Elevations attached to this  
ordinance printed on pages 15093 through 15099 of this *Journal*.]

Type 1 Narrative Rezoning Analysis attached to this ordinance reads as follows:

Final for Publication

**TYPE 1 ZONING AMENDMENT PROJECT  
NARRATIVE AND PLANS  
2600 WEST MONTROSE  
FROM B3-2 TO B2-5**

The Applicant seeks to rezone 2600 West Montrose to a B2-5 Neighborhood Mixed-Use District to meet the bulk and density to allow for the conversion of a 25 dwelling unit building to a 28 dwelling unit building by adding 3 garden dwelling units. The 712 square feet of ground floor commercial space. The 3 garden dwelling units will replace unused storage space. No changes are proposed to the massing of the building. The property is a transit served location because it is 1,700 feet from the Rockwell CTA Brown Line platform and 1,241 feet from the Montrose CTA bus line corridor.

Pursuant to Section 17-13-0303-D, the Applicant seeks relief under Section 17-13-1003-EE to reduce the parking requirements by not more than 100% allowed under Section 17-3-0308 from 3 spaces to 0. The Applicant will provide 0 parking spaces.

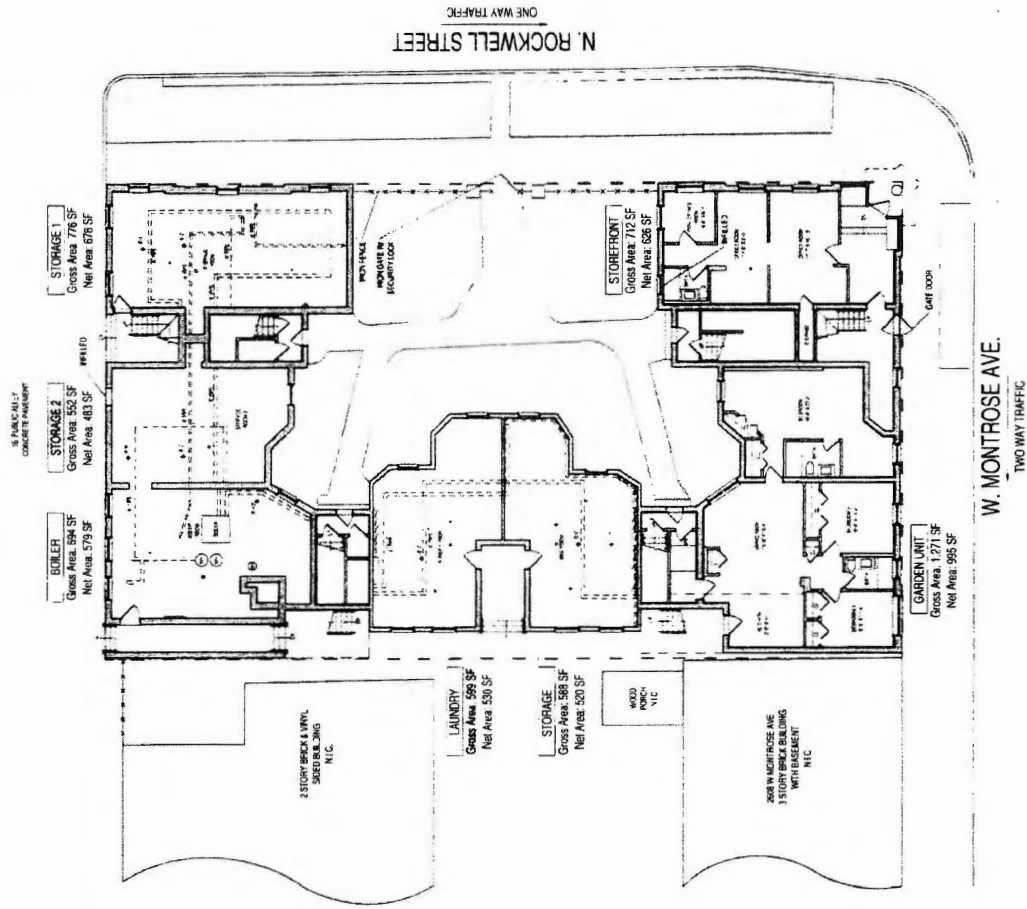
**Project Bulk and Density**

Lot Area	9,405 SF
Density MLA (Lot area per unit)	335 SF (28 DU)
Commercial SF	712 SF
Off Street Parking	0 spaces*
Rear Setback	0 (Existing No Change)
Side Setback (North)	0 (Existing No Change)
Side Setback (South)	0 (Existing No Change)
Front Setback	0 (Existing No Change)
Building SF	25,328 SF
FAR	2.7
Building Height	34.5 feet (Existing No Change)

As per Section 17-13-0303-D: Optional administrative adjustment and variation.

\* 17-13-1003- EE - increase to 100% of the permitted parking.

Final for Publication

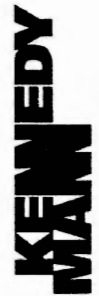
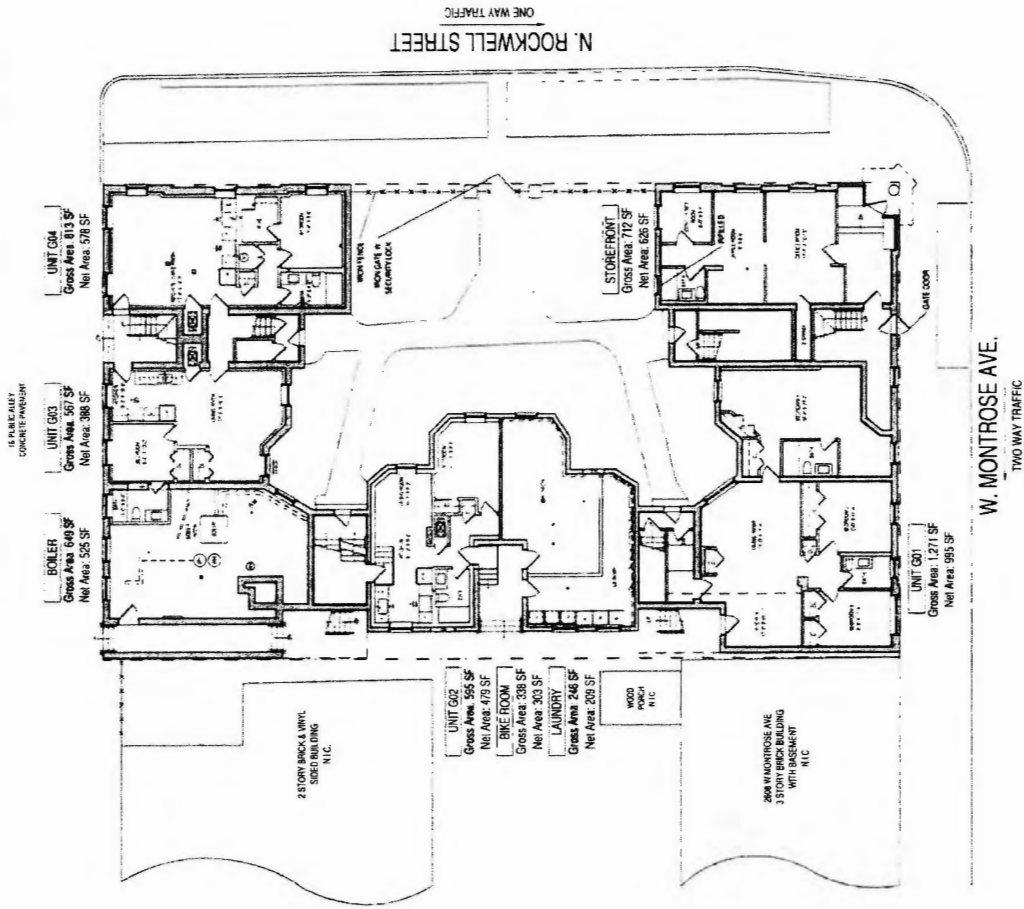


Existing Garden Plan  
Scale: N.T.S.

2600 W. Montrose Ave.  
Chicago, IL



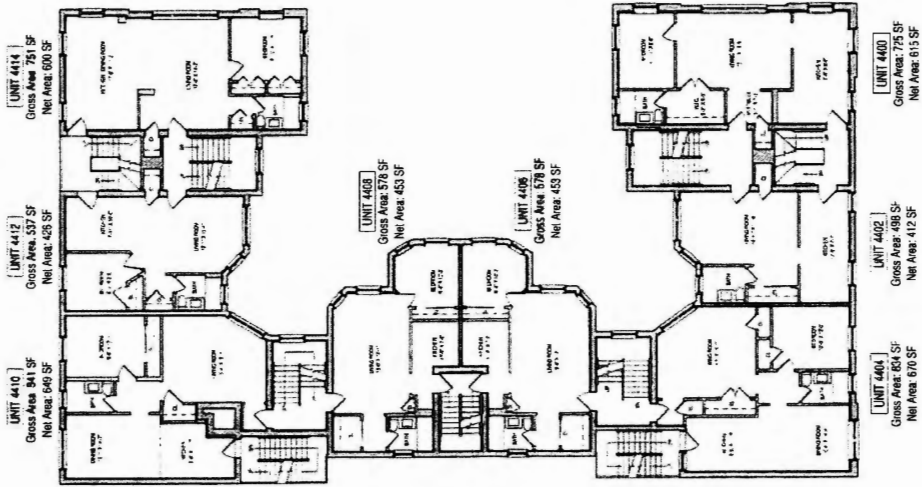
Final for Publication



2600 W. Montrose Ave.  
Chicago, IL

Proposed Garden Plan  
Scale: N.T.S.

Final for Publication



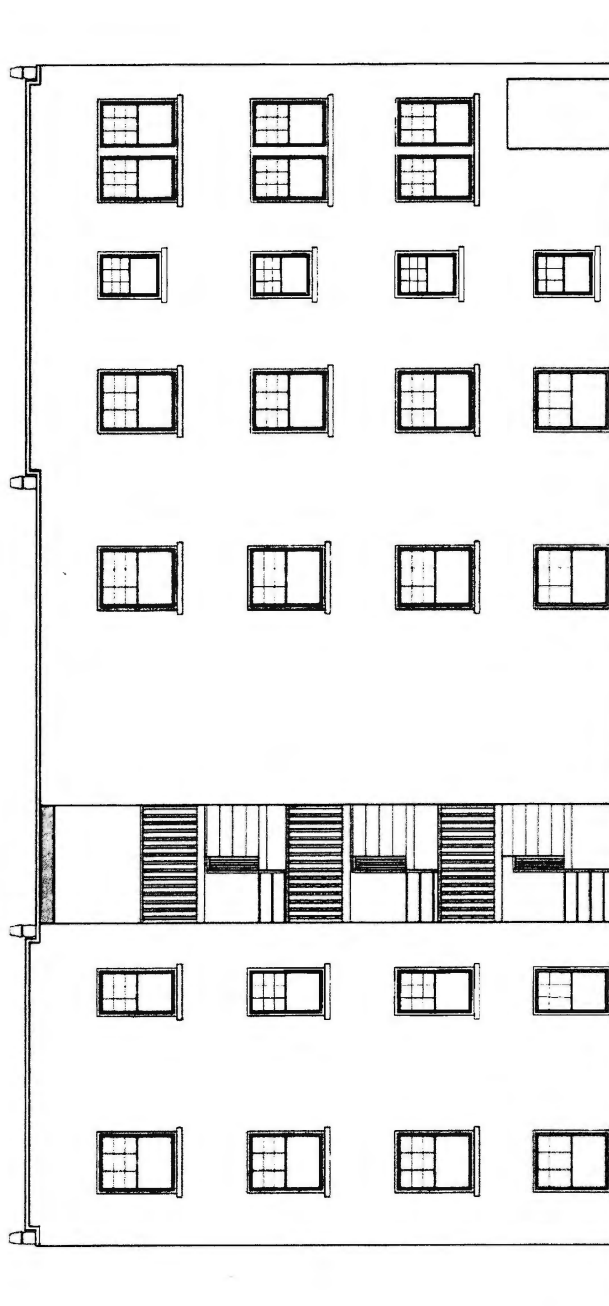
Existing Typical Upper Floor Plan  
Scale: N.T.S.

2600 W. Montrose Ave.  
Chicago, IL



Final for Publication

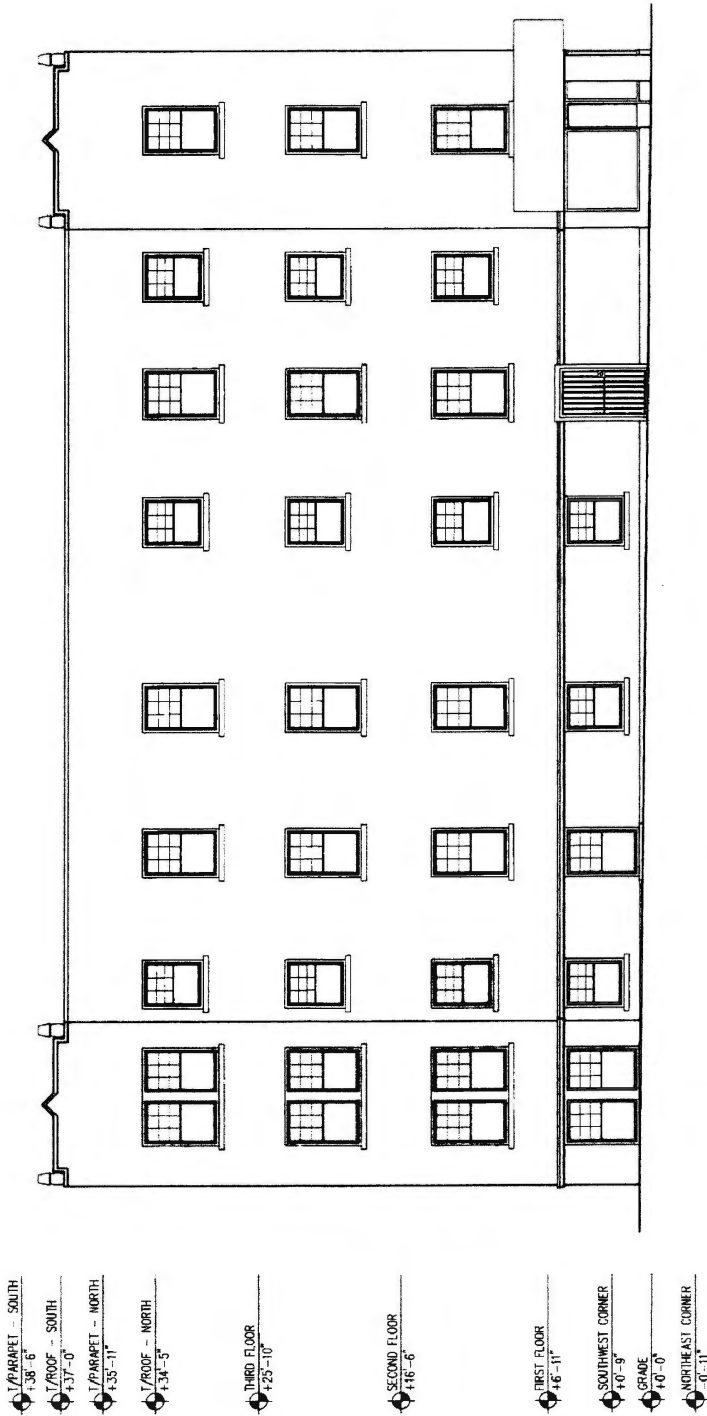
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+38'-6"
- 1/ ROOF - SOUTH  
+37'-0"
- 1/ PARAPET - NORTH  
+35'-11"
- 1/ ROOF - NORTH  
+34'-5"
- THIRD FLOOR  
+25'-10"
- SECOND FLOOR  
+16'-5"
- FIRST FLOOR  
+6'-11"
- SOUTHWEST CORNER  
+0'-9"
- GRADE  
+0'-0"
- NORTHEAST CORNER  
-0'-11"



2600 W. Montrose Ave.  
Chicago, IL

North Elevation  
Scale: N.T.S

Final for Publication

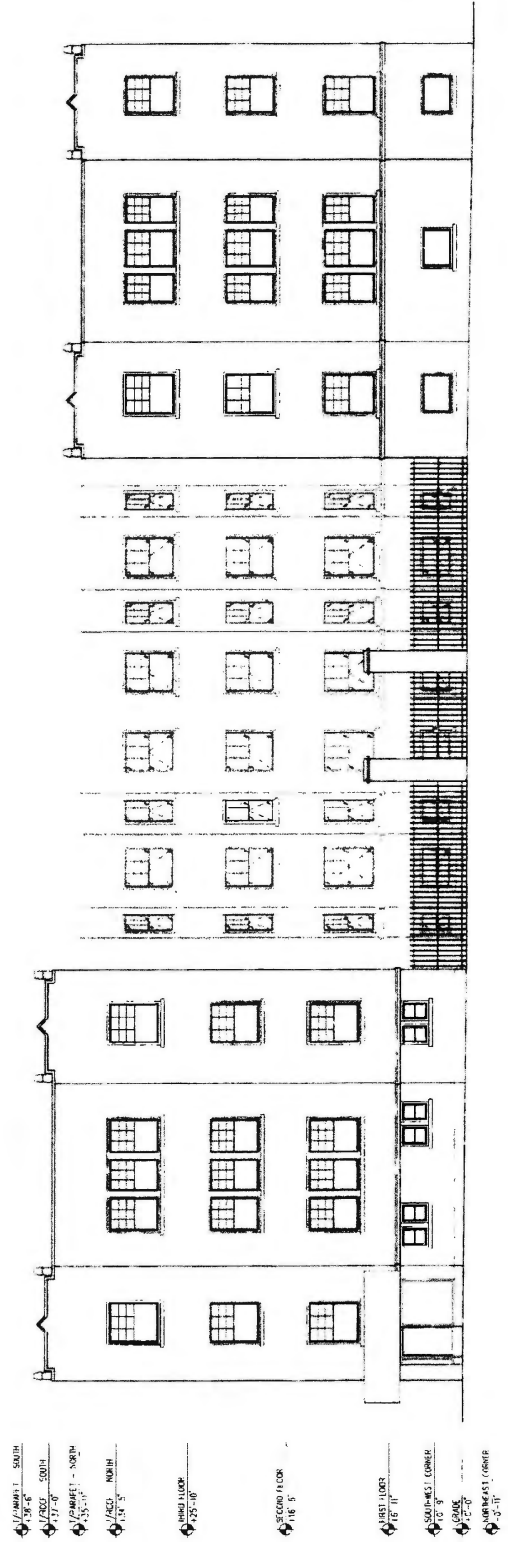


- 1/PARAPET - SOUTH  
+38'-6"
- 1/ROOF - SOUTH  
+37'-0"
- 1/PARAPET - NORTH  
+35'-11"
- 1/ROOF - NORTH  
+34'-5"
- THIRD FLOOR  
+25'-10"
- SECOND FLOOR  
+16'-6"
- FIRST FLOOR  
+6'-11"
- SOUTHWEST CORNER  
+0'-9"
- GRADE  
+0'-0"
- NORTHEAST CORNER  
0'-11"

**KENNEDY** 2600 W. Montrose Ave.  
Chicago, IL

South Elevation  
Scale: N.T.S.

Final for Publication

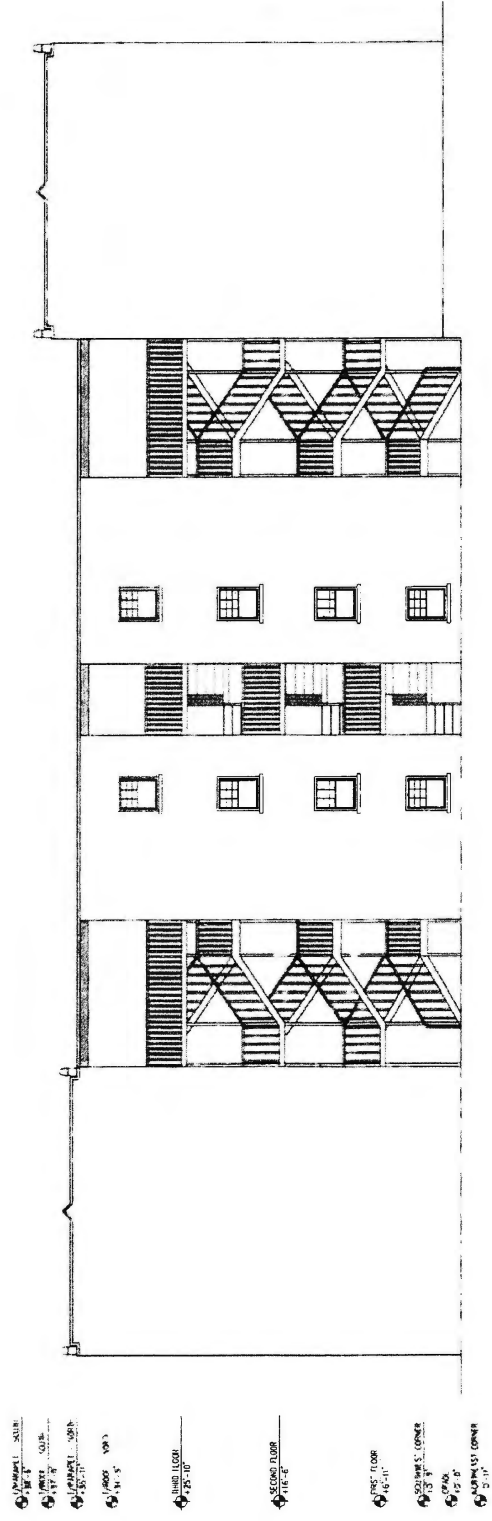


East Elevation  
Scale: N.T.S.

**KENNEDY** 2600 W. Montrose Ave.  
Chicago, IL

**MANNEDY**

Final for Publication



West Elevation  
Scale: N.T.S.

2600 W. Montrose Ave.  
Chicago, IL



*Reclassification Of Area Shown On Map No. 11-L.*

(Application No. 22462)

(Common Address: 4041 N. Milwaukee Ave.)

[O2024-0009592]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the B1-3 Neighborhood Shopping District symbols and indications as shown on Map Number 11-L in the area bounded by:

beginning at a point in the northeasterly line of North Milwaukee Avenue, 75 feet northwesterly of the most southerly corner of said lot; running thence northeasterly at right angles to the northeasterly line of North Milwaukee Avenue, 125 feet; thence northwesterly parallel with said northeasterly line of North Milwaukee Avenue, 50 feet; thence southwesterly at right angles to North Milwaukee Avenue 125 feet; and thence southeasterly along the northeasterly line of North Milwaukee Avenue, 50 feet to the point of beginning, in Cook County, Illinois,

to those of a B3-3 Community Shopping District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

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*Reclassification Of Area Shown On Map No. 11-M.*

(Application No. 22470)

(Common Address: 4041 -- 4043 N. Melvina Ave.)

[O2024-0009612]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That Title 17 of the Municipal Code, the Chicago Zoning Ordinance, be amended by changing all the RS2 Residential Single-Unit (Detached House) District symbols and indications as shown on Map Number 11-M in the area bounded by:

a line 432 feet north of and parallel to West Irving Park Road; the public alley next east of and parallel to North Melvina Avenue; a line 403.5 feet north of and parallel to West Irving Park Road; and North Melvina Avenue,

to those of an RS3 Residential Single-Unit (Detached House) District which is hereby established.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

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*Reclassification Of Area Shown On Map No. 13-G.*

(Application No. 22456)

(Common Address: 5221 -- 5259 N. Broadway)

[O2024-0009520]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the B1-3 Neighborhood Shopping District symbols and indications as shown on Map Number 13-G in the area bounded by:

West Berwyn Avenue; the public alley next east of and parallel to North Broadway; a line 400 feet south of and parallel to West Berwyn Avenue; and North Broadway,

to those of a B3-3 Community Shopping District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

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*Reclassification Of Area Shown On Map No. 13-G.*

(Application No. 22469)

(Common Address: 1464 W. Farragut Ave.)

[O2024-0009611]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That Title 17 of the Municipal Code, the Chicago Zoning Ordinance, be amended by changing all the RS3 Residential Single-Unit (Detached House) District symbols and indications as shown on Map Number 13-G in the area bounded by:

the alley next north of and parallel to West Farragut Avenue; a line 273.45 feet east of and parallel to North Clark Street; West Farragut Avenue; and a line 248.45 feet east of and parallel to North Clark Street,

to those of an RT4 Residential Two-Flat, Townhouse and Multi-Unit District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

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*Reclassification Of Area Shown On Map No. 13-H.*  
(Application No. 22457)  
(Common Address: 5308 -- 5310 N. Damen Ave.)

[O2024-0009524]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the B1-2 Neighborhood Shopping District and B1-3 Neighborhood Shopping District symbols and indications as shown on Map Number 13-H in the area bounded by:

a line 132.90 feet north of and parallel to West Berwyn Avenue; North Damen Avenue; a line 82.90 feet north of and parallel to West Berwyn Avenue; and a public alley next west of and parallel to North Damen Avenue,

to those of a B2-3 Neighborhood Mixed-Use District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

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*Reclassification Of Area Shown On Map No. 13-H.*  
(Application No. 22460)  
(Common Address: 2120 W. Lawrence Ave.)

[O2024-0009574]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, be amended by changing all of the RS3 Residential Single-Unit (Detached House) District symbols and indications as shown on Map Number 13-H in the area generally bounded by:

the alley next north of and parallel to West Lawrence Avenue; a line 75.00 feet east of and parallel to North Hamilton Avenue; West Lawrence Avenue; and a line 37.50 feet east of and parallel to North Hamilton Avenue,

to those of a B1-1 Neighborhood Shopping District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

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*Reclassification Of Area Shown On Map No. 15-G.*  
(Application No. 22468T1)  
(Common Address: 5920 N. Ridge Ave.)

[O2024-0009610]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That Title 17 of the Municipal Code, the Chicago Zoning Ordinance, be amended by changing all the C1-2 Neighborhood Commercial District symbols and indications as shown on Map Number 15-G in the area bounded by:

North Ridge Avenue; the public alley next southeast of North Clark Street and perpendicular to North Ridge Avenue; and North Clark Street,

to those of a B2-5 Neighborhood Shopping District which is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

[Site Plan; Basement, Levels 1, 2 and 3 Floor Plans; and Building Elevations attached to this ordinance printed on pages 15106 through 15111 of this *Journal*.]

Type 1 Narrative Rezoning Analysis attached to this ordinance reads as follows:

## Final for Publication

### **17-13-0303-C(1) Type 1 Narrative & Plans – 5920 N. Ridge, Chicago, IL**

Proposed Zoning: B2-5 Neighborhood Mixed-Use District

Lot Area: 25,874 square feet (irregular lot shape)

Proposed Land Use: The Applicant is proposing to convert a portion of the existing grade level retail space to seventeen (17) dwelling units. Approximately 3,066 sq. ft. of retail space will remain. The existing fifty-two (52) dwelling units located above grade will remain. Once completed, the existing building will have a total of sixty-nine (69) dwelling units. The three-story building will remain 35 ft. in height. The subject property is a Transit Served Location and will be supported by twenty-three (23) auto parking spaces and sixty-nine (69) bicycle parking spaces.

(A) The Project's Floor Area Ratio: 57,523.75 square feet (2.22 FAR)

(B) The Project's Density (Minimum Lot Area Per D.U.): 374.99 square feet per D.U.  
(52 existing residential units to remain with 17 proposed residential units.)

(C) The amount of off-street parking: 23 parking spaces

\*The subject property is a designated Transit Served Location since the property is immediately adjacent to the Clark Street CTA Bus Line Corridor pursuant to Section 17-17-0400-B. Given this designation, the Applicant is submitting a Type 1 Zoning Map Amendment to seek relief pursuant to Section 17-13-0303-D, Optional Administrative Adjustment and Variation, specifically, reducing the parking requirement by more than 50%. Pursuant to Sec. 17-13-1003-EE, the Applicant will maintain twenty-three (23) off-street parking spaces to serve the resulting unit mixed-use building.

(D) Setbacks:

- a. Front Setback: zero (existing to remain)
- b. Side Setbacks:
  - West Side: zero (existing to remain)
  - East Side: zero (existing to remain)
- c. \*Rear Setback: zero (existing to remain)

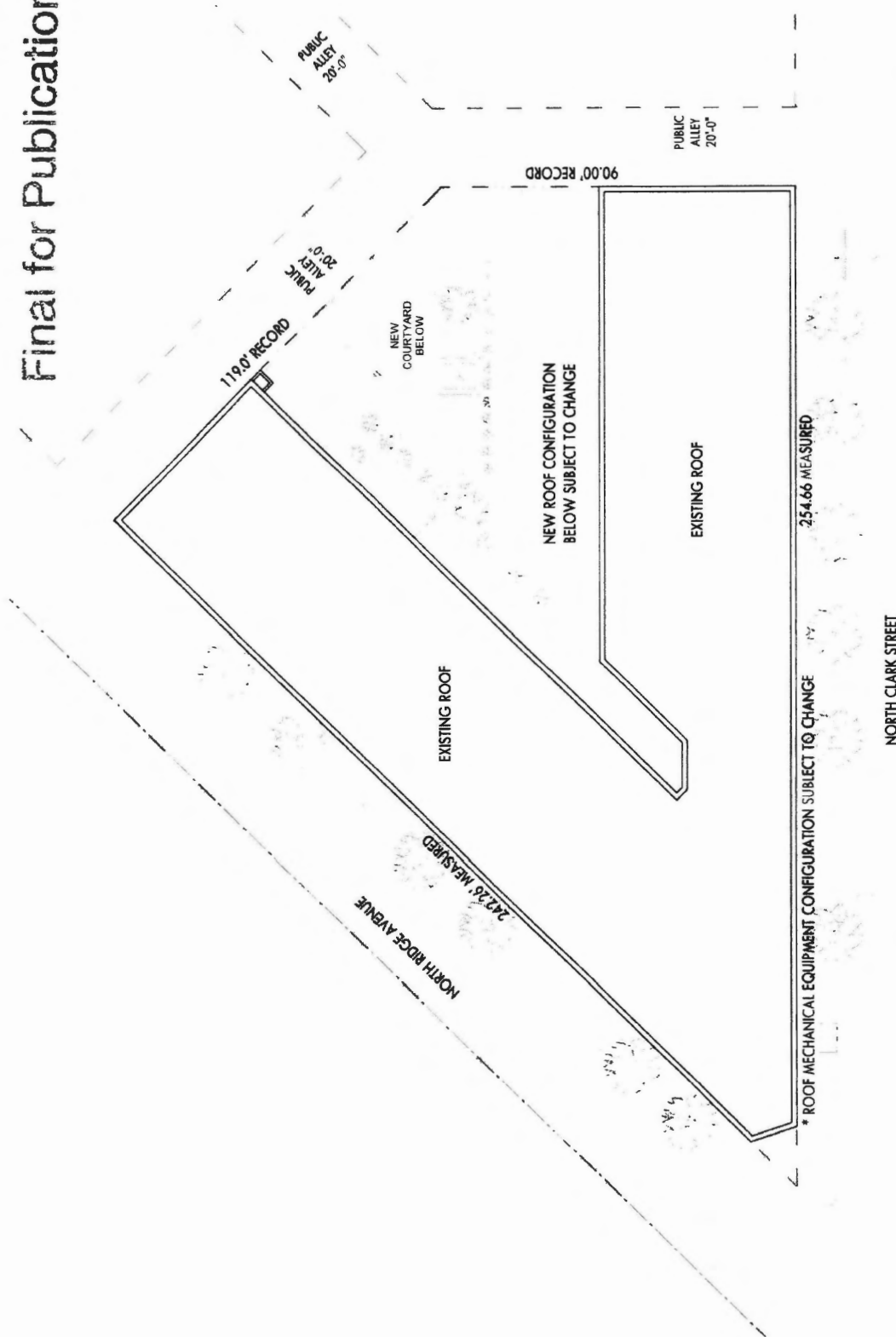
\*The Applicant is submitting a Type 1 Zoning Map Amendment to seek relief pursuant to Section 17-13-0303-D, Optional Administrative Adjustment and

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Variation. More specifically, pursuant to Sec. 17-13-1101-B, the Applicant is seeking to reduce the rear setback for floors containing residential uses from the required 30 ft. to zero (please note irregular lot shape).

- (E) Building Height: 35 feet (existing to remain)
- (F) Loading Berth: Pursuant to Section 17-13-1101, the Applicant is seeking to waive the one loading berth required for the resulting mixed-use building.

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**SITE PLAN** 1/32" = 1'-0"

**Mabel 5920 LLC**  
**Hirsch MPG LLC**

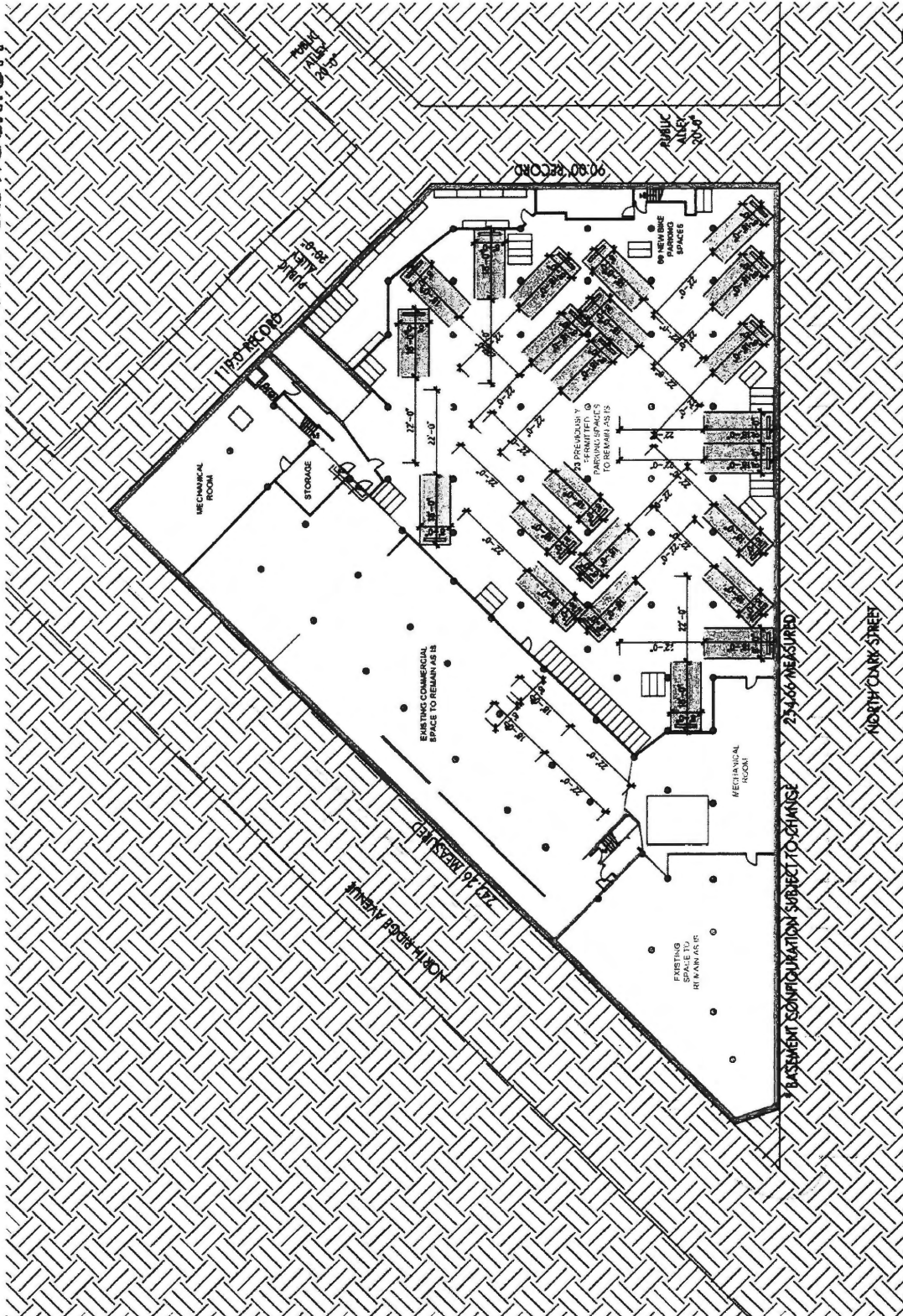
**The Mabel**  
 Chicago, Illinois

7 May 2024  
 22034

**1**

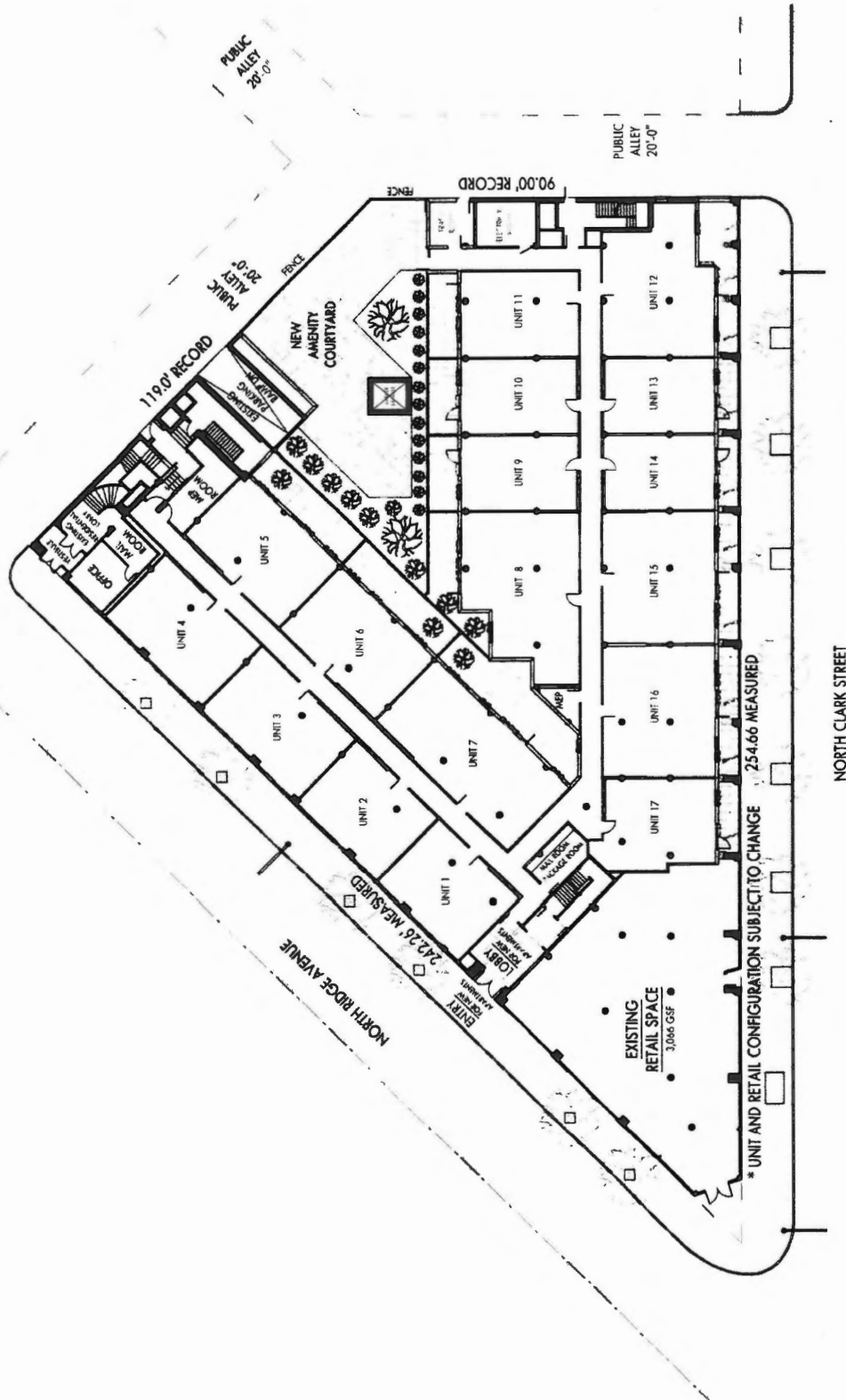
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NO. 2  
 16 May 2024  
 22034  
 The Mabel  
 Chicago, Illinois  
 Mabel 5920 LLC  
 Hirsch MPG LLC  
 BASEMENT PLAN  
 1/32" = 1'-0"

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LEVEL 1 PLAN 1/32" = 1'-0"

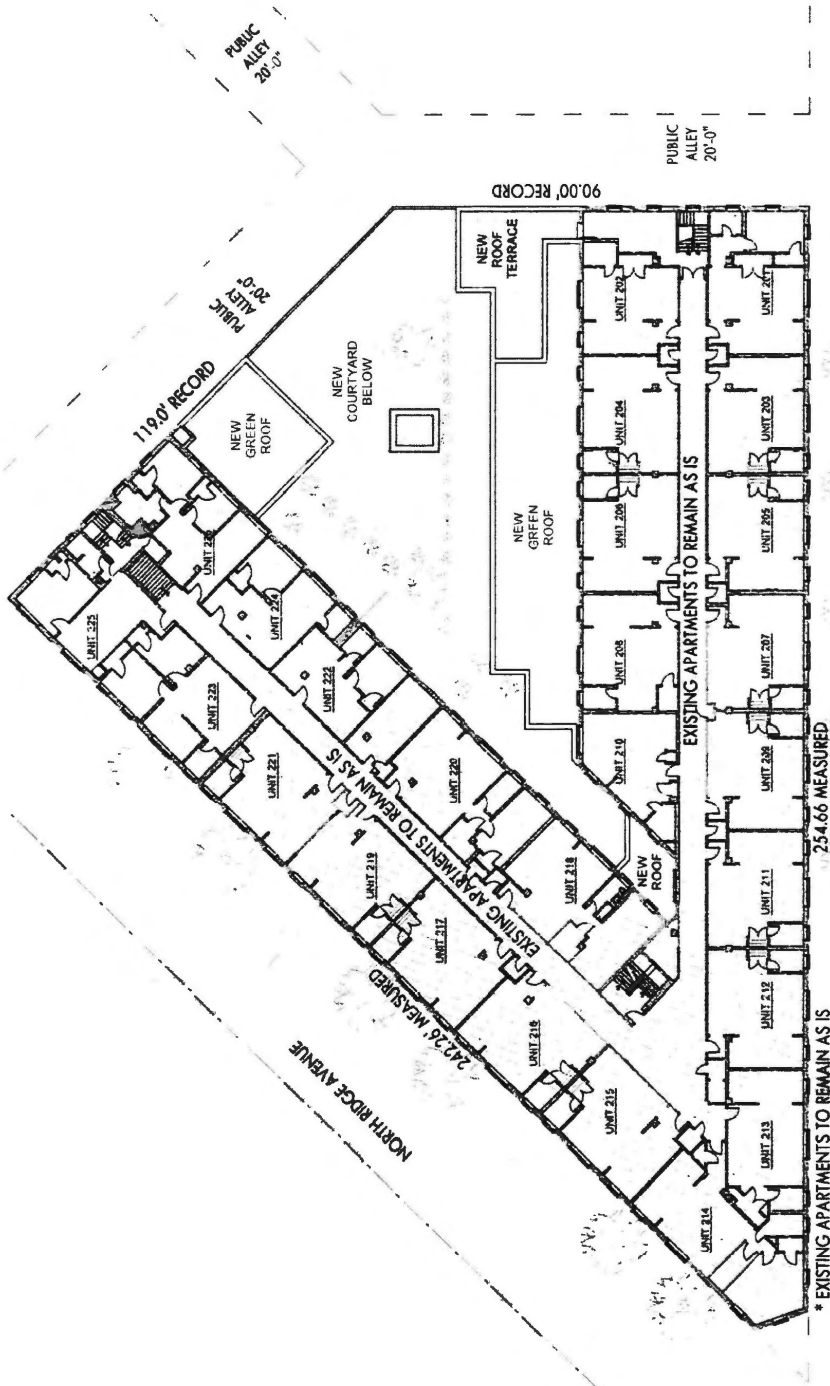
**The Mabel**  
Chicago, Illinois

Mabel 5920 LLC  
Hirsch MPG LLC

7 May 2024  
22034

**3**

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NORTH CLARK STREET



LEVEL 2 PLAN 1/32" = 1'-0"

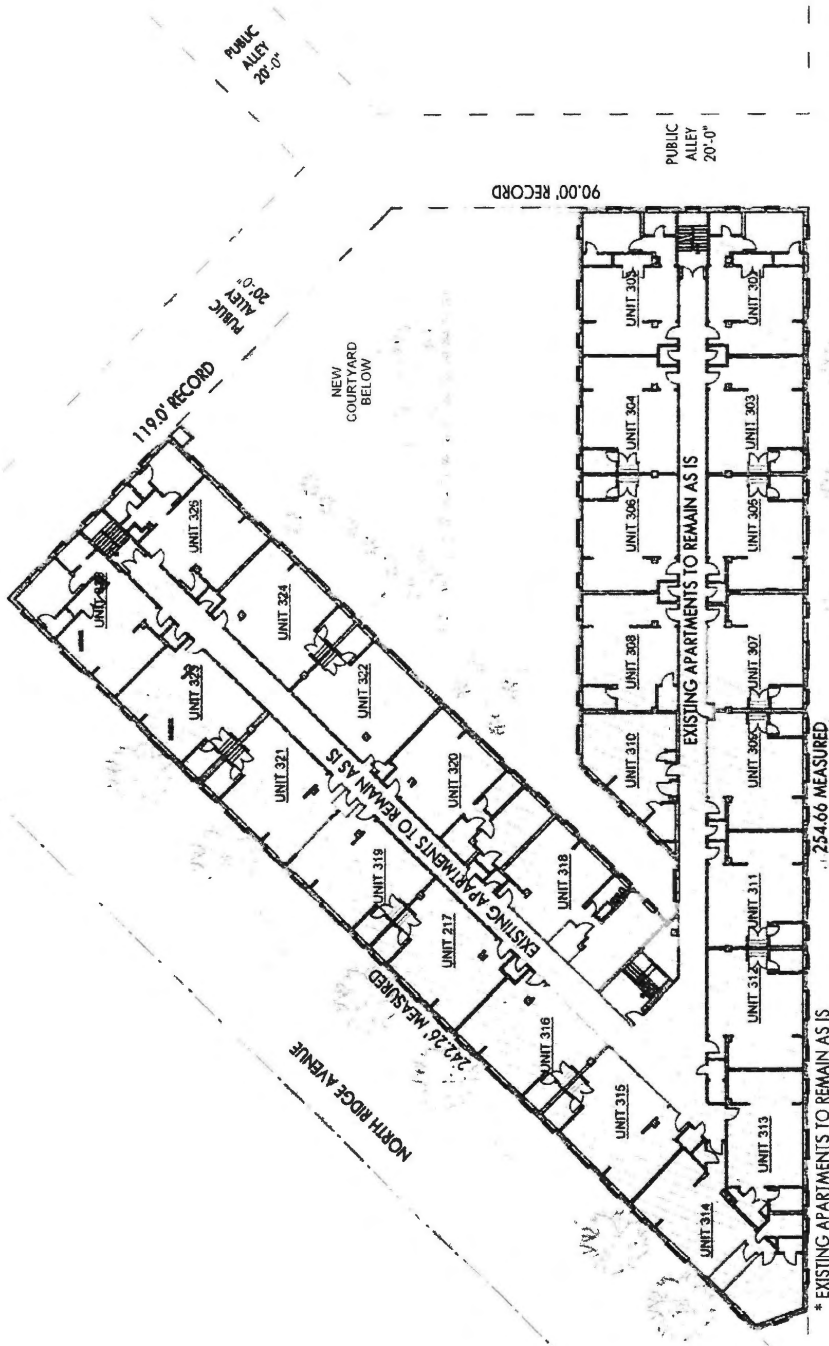
Mabel 5920 LLC  
Hirsch MPG LLC

The Mabel  
Chicago, Illinois

7 May 2024  
22034

4

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NORTH CLARK STREET



LEVEL 3 PLAN 1/8\"/>

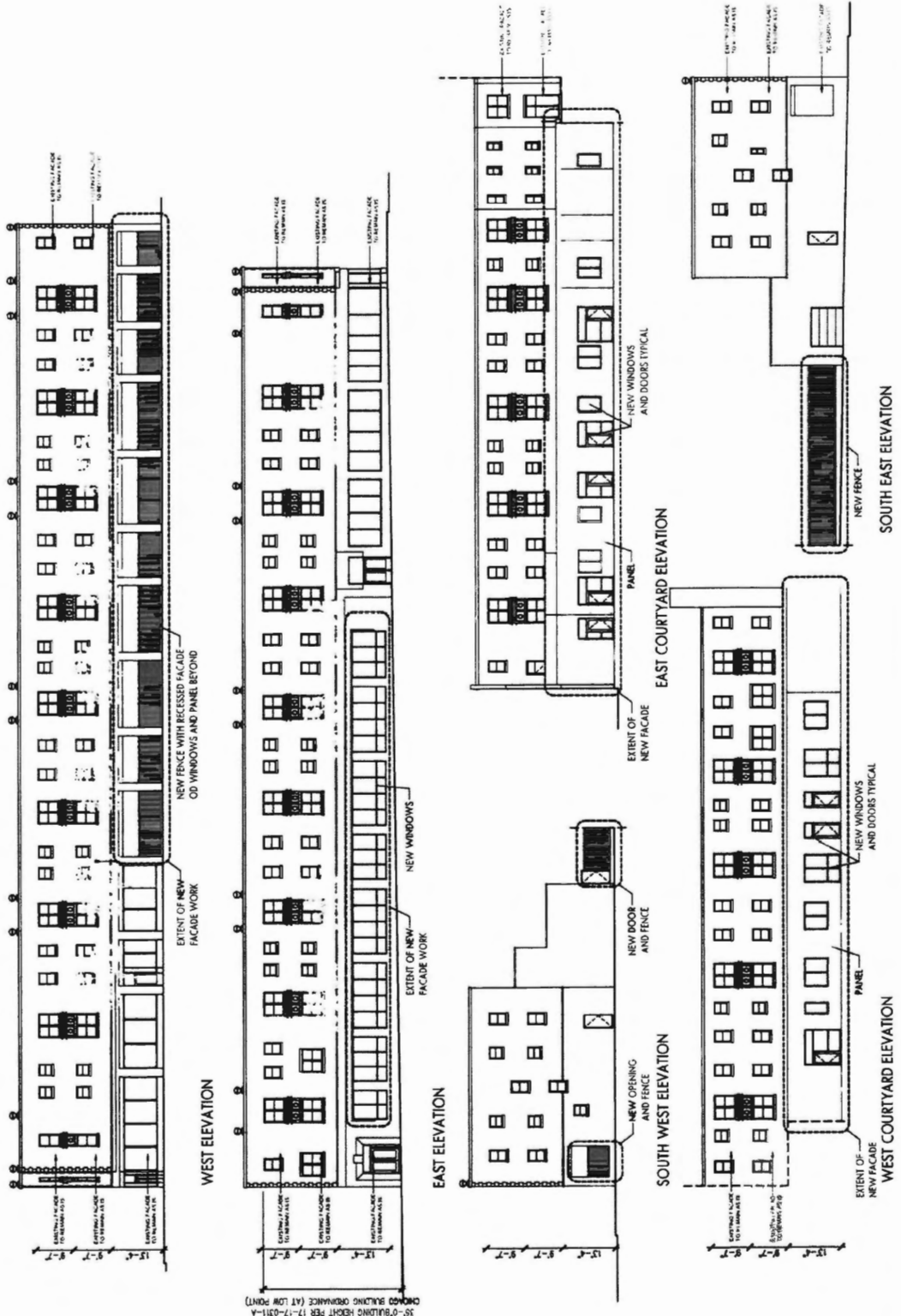
Mabel 5920 LLC  
Hirsch MPG LLC

The Mabel  
Chicago, Illinois

7 May 2024  
22034

5

Final for Fabrication



**BUILDING ELEVATIONS** 1/32" = 1'-0"

Mabel 5920 LLC  
Hirsch MPG LLC

The Mabel  
Chicago, Illinois

7 May 2024  
22034

**6**

*Reclassification Of Area Shown On Map No. 17-G.*

(Application No. 22451T1)

(Common Address: 1415 W. Morse Ave.)

[O2024-0009495]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all the current B2-3 Neighborhood Mixed-Use District symbols and indications as shown on Map Number 17-G in the area bounded by:

West Morse Avenue; a line 350.00 feet east of North Greenview Avenue; the public alley next south of and parallel to West Morse Avenue; and a line 300.00 feet east of North Greenview Avenue,

to those of a B2-3 Neighborhood Mixed-Use District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

[Site Plan; Basement, 1<sup>st</sup>, 2<sup>nd</sup>, 3<sup>rd</sup>, 4<sup>th</sup> and 5<sup>th</sup> Floor Plans; Roof Plan;  
Existing and Proposed North, South, East and West  
Building Elevations; CTA Red Line Entrance at  
West Morse Avenue; and Parking Reduction  
Map attached to this ordinance printed  
on pages 15115 through 15132  
of this *Journal*.]

Type 1 Narrative Rezoning Analysis attached to this ordinance reads as follows:

**NARRATIVE AND PLANS ATTACHED  
TYPE I Rezoning from B3-2 to B2-3  
1415 West Morse Avenue**

**Final for Publication**

**The Project**

The Property is improved with a four-story building containing 2,830 square feet of ground floor commercial space, fourteen residential dwelling units and ten parking spaces. The Applicant previously rezoned the Property to authorize construction of a five-story rear addition containing sixteen residential dwelling units that when combined added to the fourteen existing units would result in a total of thirty residential dwelling units, and with a total of nine off-street parking spaces and no loading berth. The building height was proposed to be and will continue to be 59.5 ft. The prior rezoning of the Property allowed for the same proposed project and triggered the ARO requirements under Section 4-22-070 of the Municipal Code. The current rezoning seeks only to re-establish previously approved Variations and adds a Variation for a loading berth, none of which is considered an "Entitlement" under Section 2-44-085(B) of the Municipal Code.

The property is located on the south side of West Morse Avenue in an area that is primarily improved with commercial, mixed-use (commercial and residential) and multi-family residential buildings ranging in height from one to eleven stories. To allow the proposed development, the Applicant seeks a change in zoning classification for the subject property from the property's current B2-3 Neighborhood Mixed-Use District to a B2-3 Neighborhood Mixed-Use District under a Mandatory Type I Map Amendment. The area has a mix of zoning classifications, including RT3.5, RT-4, RM-6, B3-2, B1-3, B3-3, B3-5, and C1-3. It is improved with multiple buildings of similar size, scale, and density to the subject building as proposed to be redeveloped. The property is a Transit Served Location per the Transit-Oriented Provisions of the Chicago Zoning Ordinance, Section 17-10-0102-B (1), as it is located 145 feet from the CTA Morse Train Station. Accordingly, the property qualifies for a parking reduction under the Transit Served provision of the Zoning Ordinance.

The Applicant seeks as part of the Type I rezoning per Section 17-13-0303-D Variations to: 1) under Section 17-13-1003-EE reduce the required parking from 15 spaces to 9 spaces; 2) under Section 17-13-1101-B reduce the required rear yard setback on residential floors from 30.00 feet to 10.00 feet; and 3) per Section 17-13-1101-D reduction of the one-required loading berth to zero berths.

The following are the relevant zoning parameters for the proposed project:

<b>Lot Area:</b>	<b>8,575 square feet</b>	
<b>Floor Area:</b>	<b>31,990 square feet</b>	
<b>Maximum FAR:</b>	<b>3.73**</b>	
<b>Residential Dwelling Units:</b>	<b>30</b>	
<b>MLA Density:</b>	<b>285.83 square feet**</b>	
<b>Height:</b>	<b>59.50 feet</b>	
<b>Bicycle Parking:</b>	<b>35 spaces</b>	
<b>Automobile Parking:</b>	<b>9 spaces*</b>	
<b>Loading Berths:</b>	<b>None</b>	
<b>Setbacks:</b>	<b>Front (Morse Ave.):</b>	<b>None</b>
	<b>North Side:</b>	<b>None</b>
	<b>South Side:</b>	<b>None</b>
	<b>Rear (Alley):</b>	<b>None at grade, 10 feet on Residential Floors</b>

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\*A set of plans, including a site plan showing the TSL distance of 145.00 feet to the CTA Morse Station.

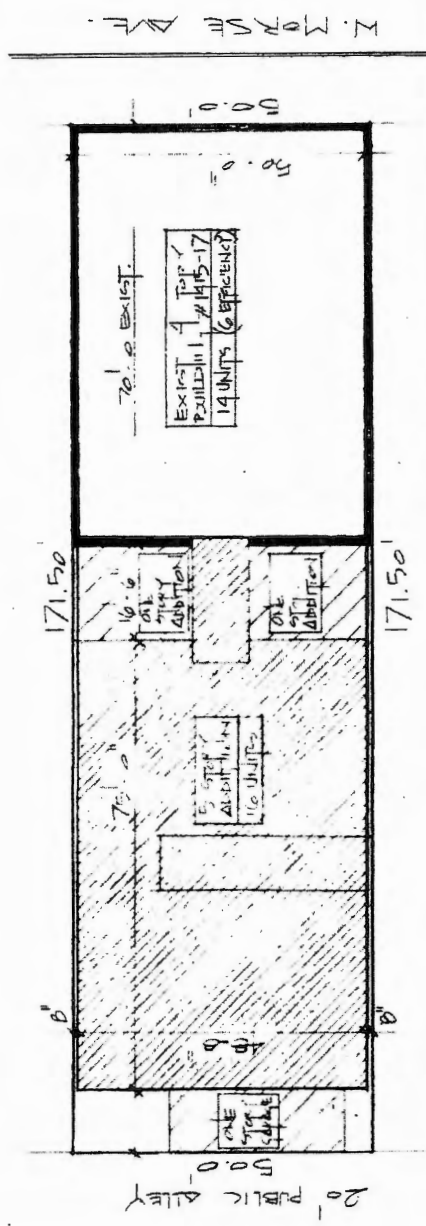
\*\* The proposed development qualified for decreased MLA, increased FAR and increased height under the provisions of the Chicago Zoning Ordinance applicable prior to the adoption of Section 2-44-085 of the Municipal Code. By providing 100% of the affordable units required under Section 4-22-070 of the Municipal Code on-site, the project would be consistent with the intent of Section 17-3-0402-B decreasing MLA, Section 17-3-0403-B increasing FAR, and Section 17-3-0408-B increasing height. In addition, the proposed development will comply with the provisions of Section 17-3-0308 related to Transit-Served Locations, specifically as follows:

- (1) Compliance with Section 17-10-0102-B because of the property is 145 feet from the CTA Morse Station does not include more than 50% of the otherwise required parking;
- (2) Compliance with Section 17-3-0504-B because
  - a. Building Location: The front façade faces Morse Avenue and is not setback more than 5 feet from the sidewalk;
  - b. Transparency: At least 60 percent of the Morse Avenue façade between 4 feet and 10 feet is and will be comprised of clear, non-reflective windows, the bottom of windows will not be more than 4.5 feet above grade of the adjacent sidewalk and the windows will have a minimum height of 4 feet
  - c. Doors and Entrances: The building doors will face Morse Avenue;
  - d. Off-street Parking Requirements for non-residential uses: No parking is required or to be provided for non-residential uses;
  - e. Parking Location: All on-site parking will be at the rear of the building; and
  - f. Driveways and Vehicle Access: All access to the parking will be provided from the rear alley.
- (3) Compliance with Transit Friendly Development Guide: Station Area Typology because the property is located in what is designated as a Local Activity Center wherein a various housing type of greater unit density with increased FAR, increased density and decreased parking all as proposed are encouraged;
- (4) Compliance with limit on residential parking because the project will not include more than 50% of the otherwise required parking; and
- (5) The project will comply with any applicable Travel Demand Study and Management Plan rules promulgated by the Chicago Department of Transportation.

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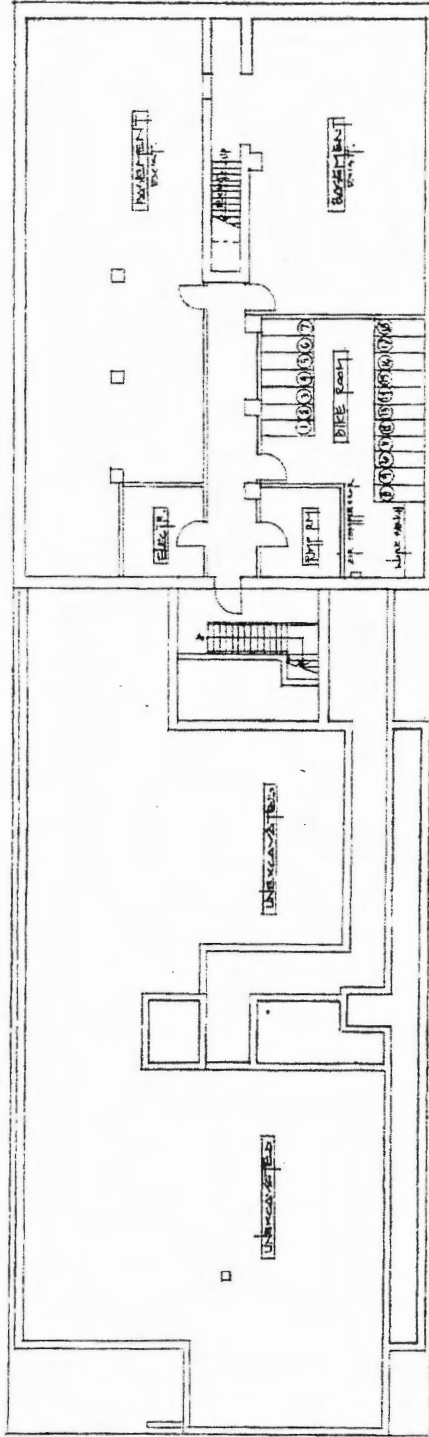
**⊕ SITE PLAN**  
 $\frac{1}{16}'' = 1'-0''$

ZONING INFORMATION	
LOT AREA	50 x 171.50 = 8575 SF.
T.A.R.	B.Z.3 T.O.D. 4.0
MAX. BUILDABLE	3432 SF
EXIST.	
1ST FLR	3,500 EXIST. + 2,560 ADDITION = 6,060
2ND FLR	3,120 EXIST. + 4,120 ADDITION = 7,240
3RD FLR	3,120 EXIST. + 4,120 ADDITION = 7,240
4TH FLR	3,120 EXIST. + 4,120 ADDITION = 7,240
5TH FLR	0 EXIST. + 4,210 ADDITION = 4,210
TOTAL	31,905

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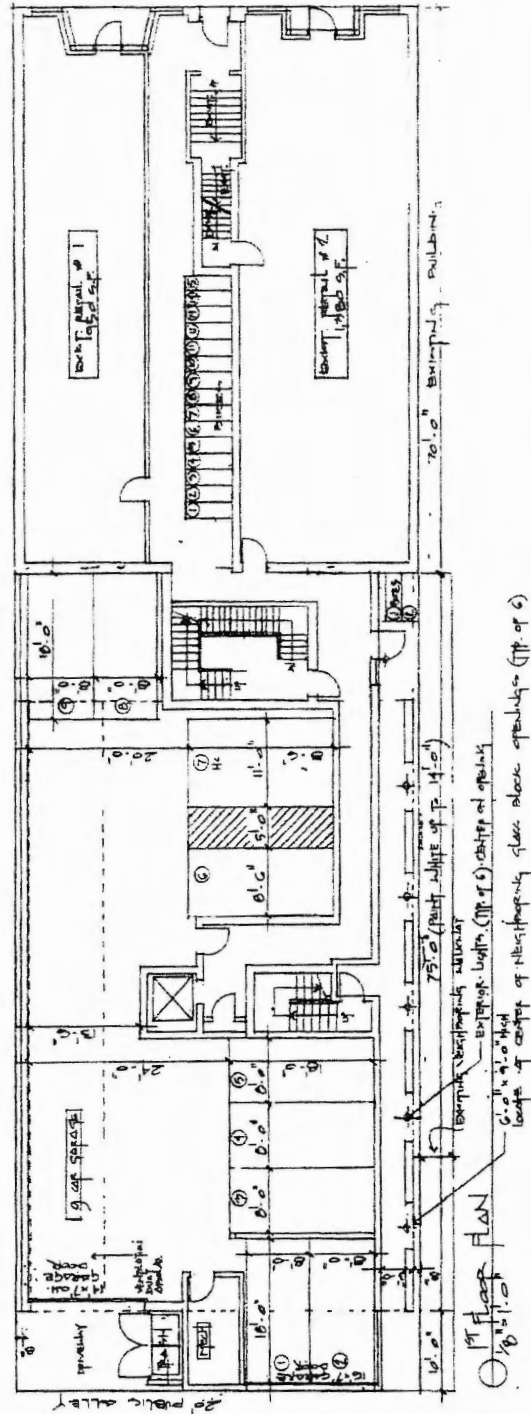


○ Bussey Foundation Floor Plan

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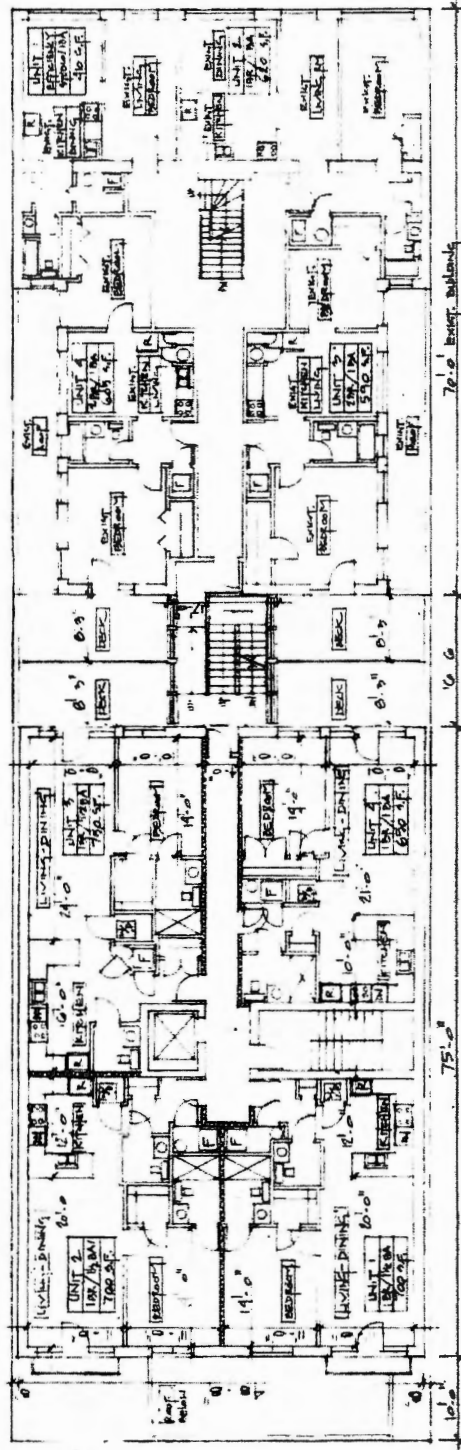
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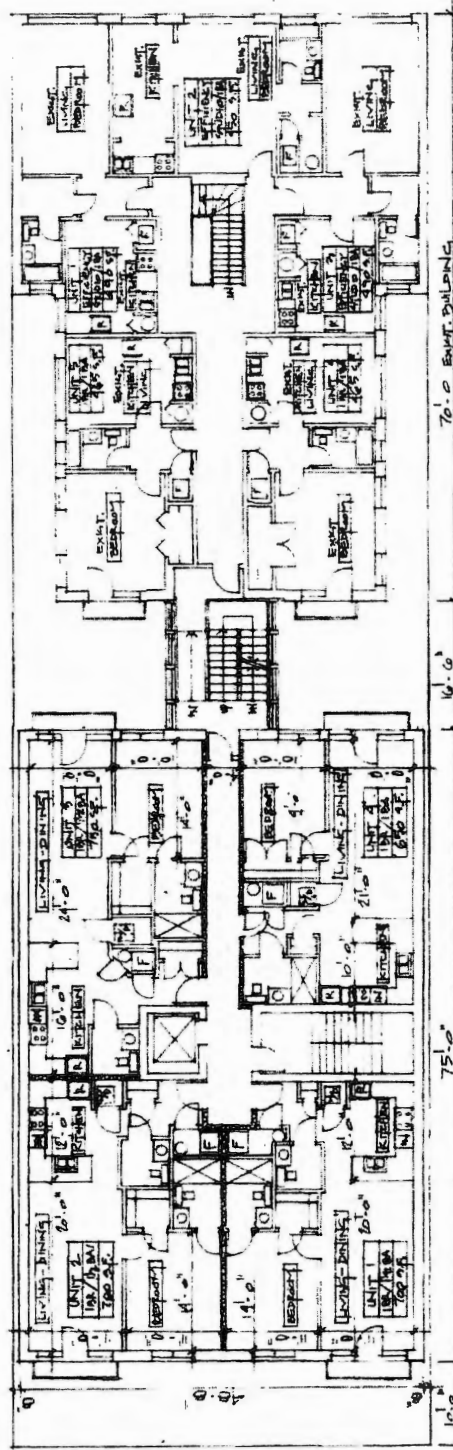


2ND Floor PLAN

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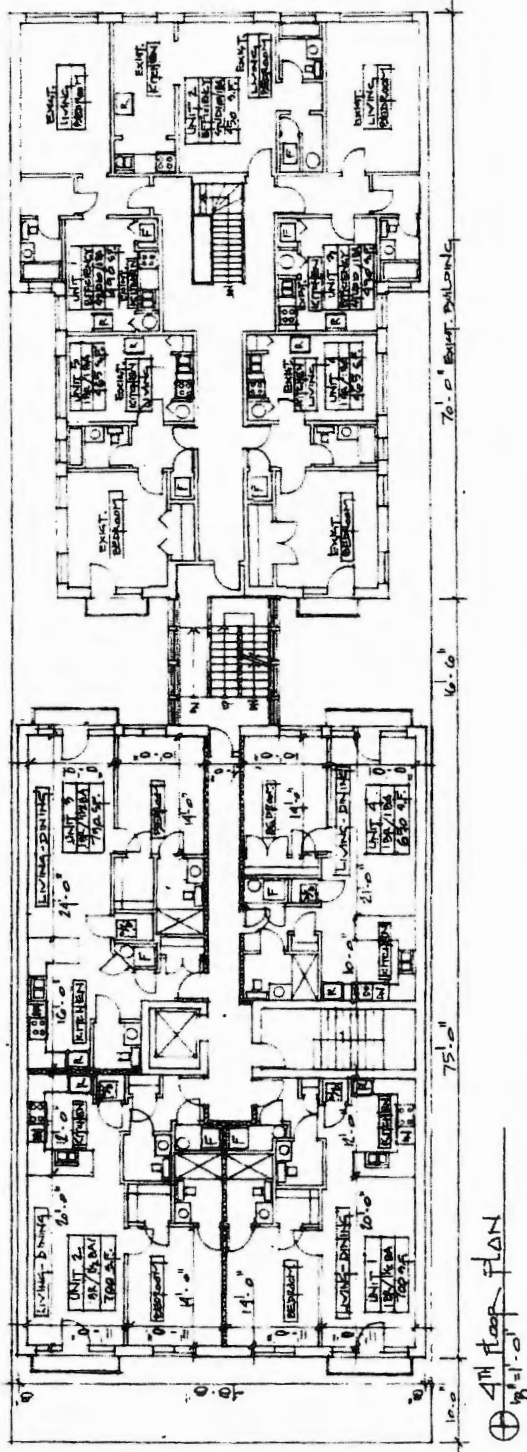
3rd Floor Plan  
1/8" = 1'-0"

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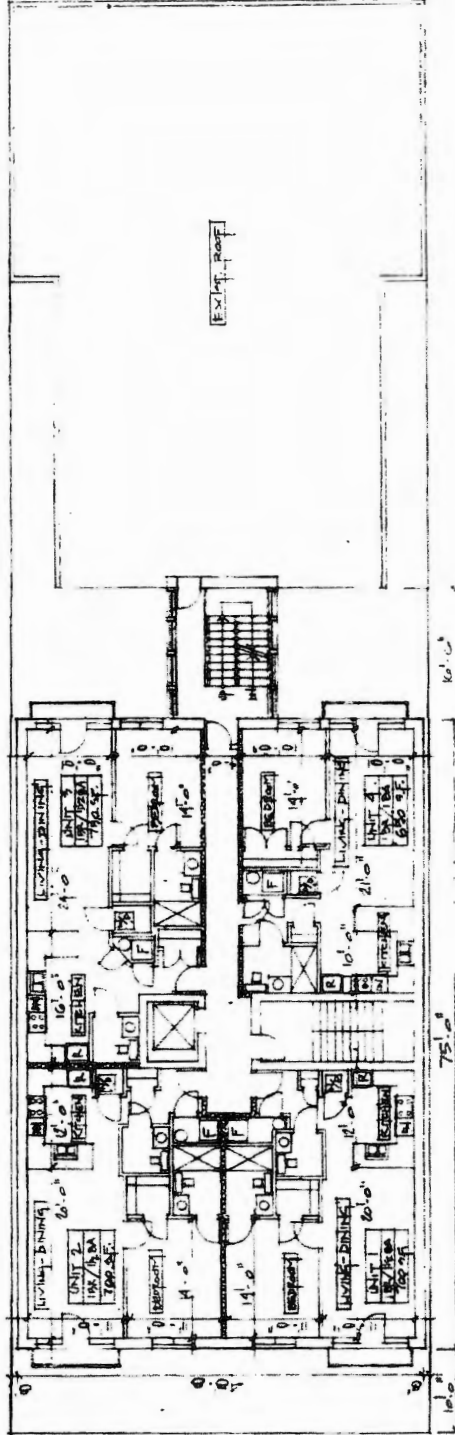


1/8" = 1'-0"  
N  
10'-0"  
75'-0"  
16'-0"  
76'-0" EXIST. BUILDING

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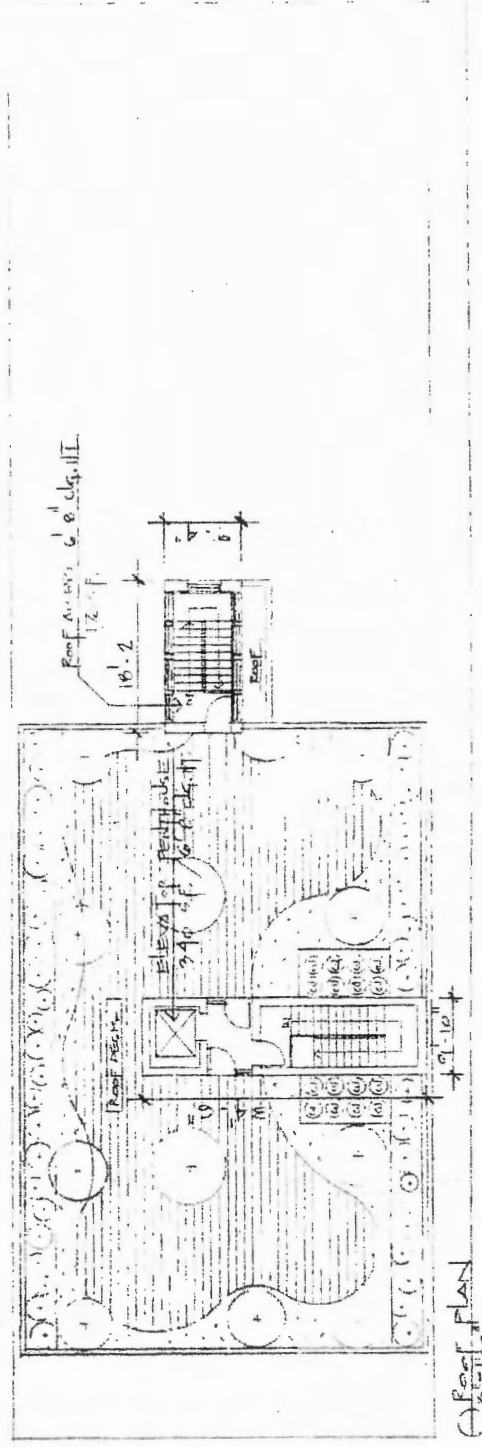


5th Floor PLAN  
 1/8" = 1'-0"

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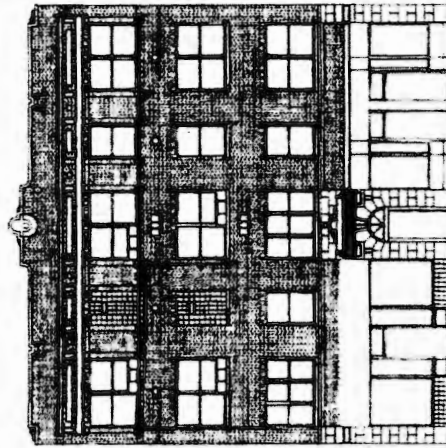


Roof PLAN

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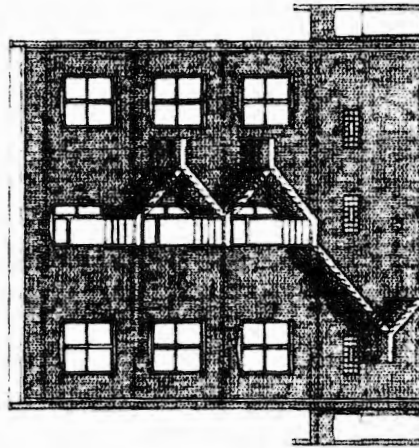


EXIST. NORTH ELEVATION

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EXIST. SOUTH ELEVATION

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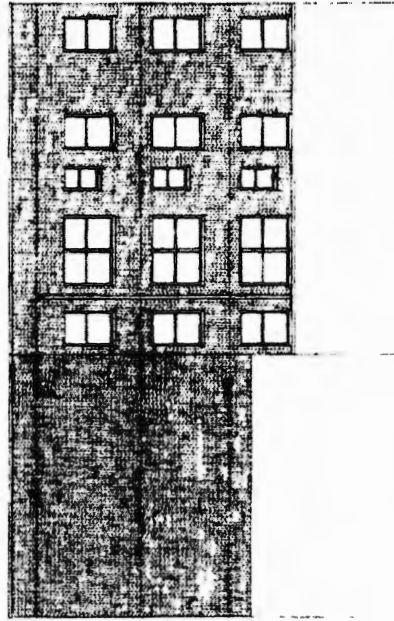


EXIST. CAST ELEVATION

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EXIST. WEST ELEVATION

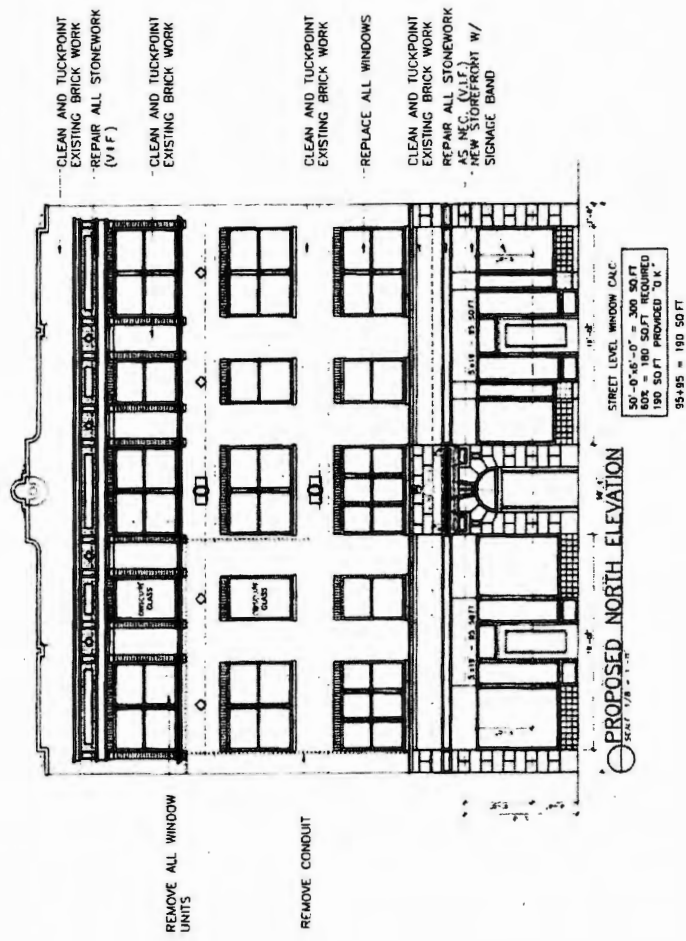
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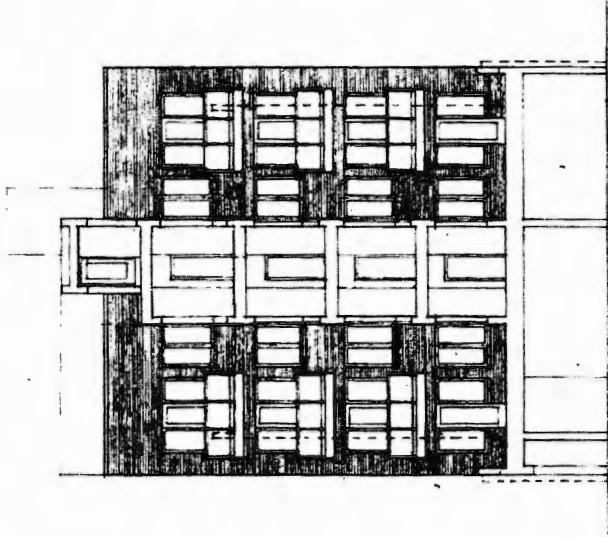


STREET LEVEL WINDOW CALC  
 30'-0\"/>

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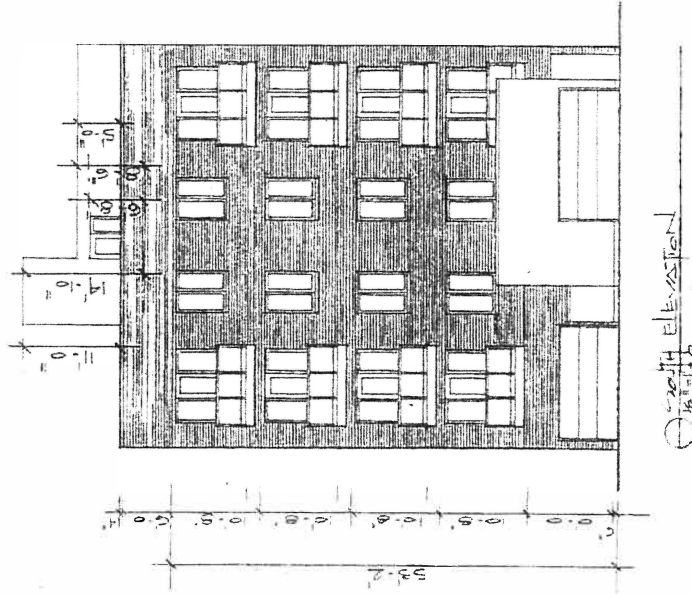


North Elevation of Addition

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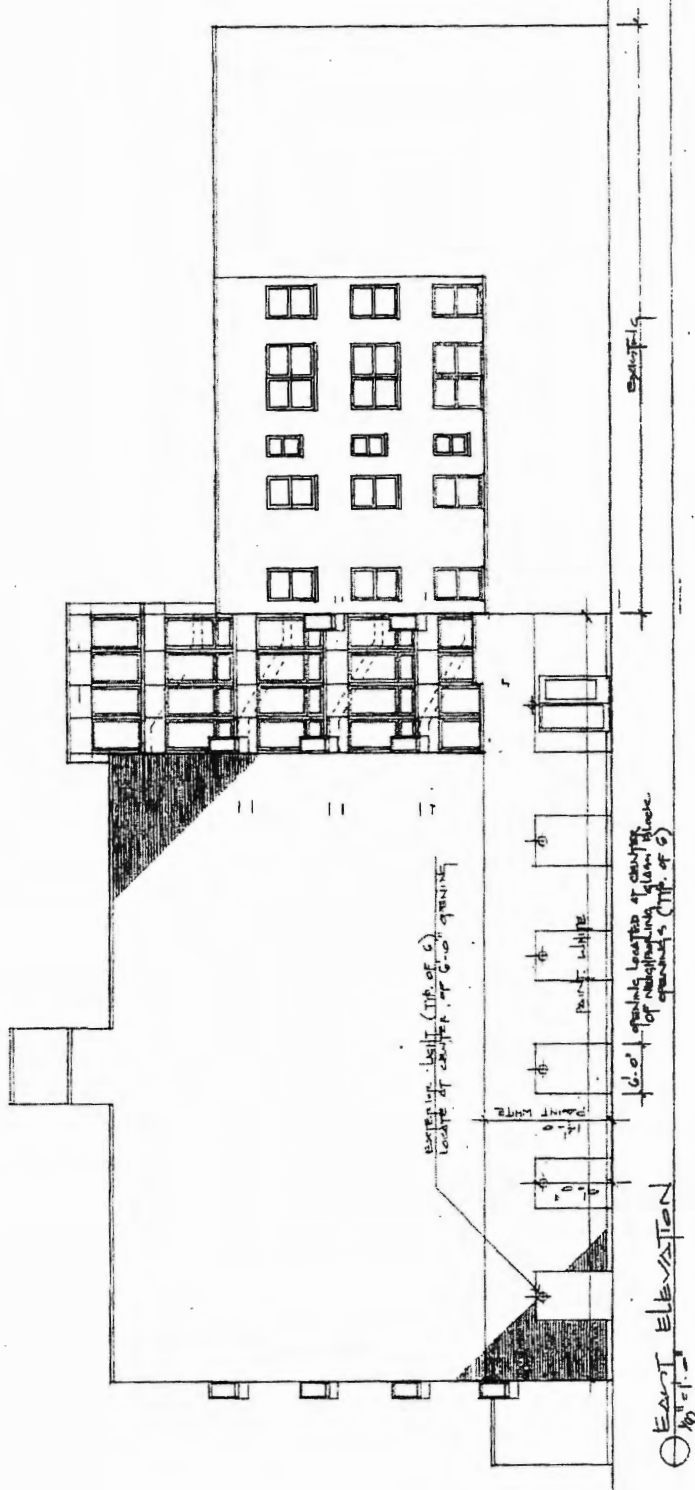


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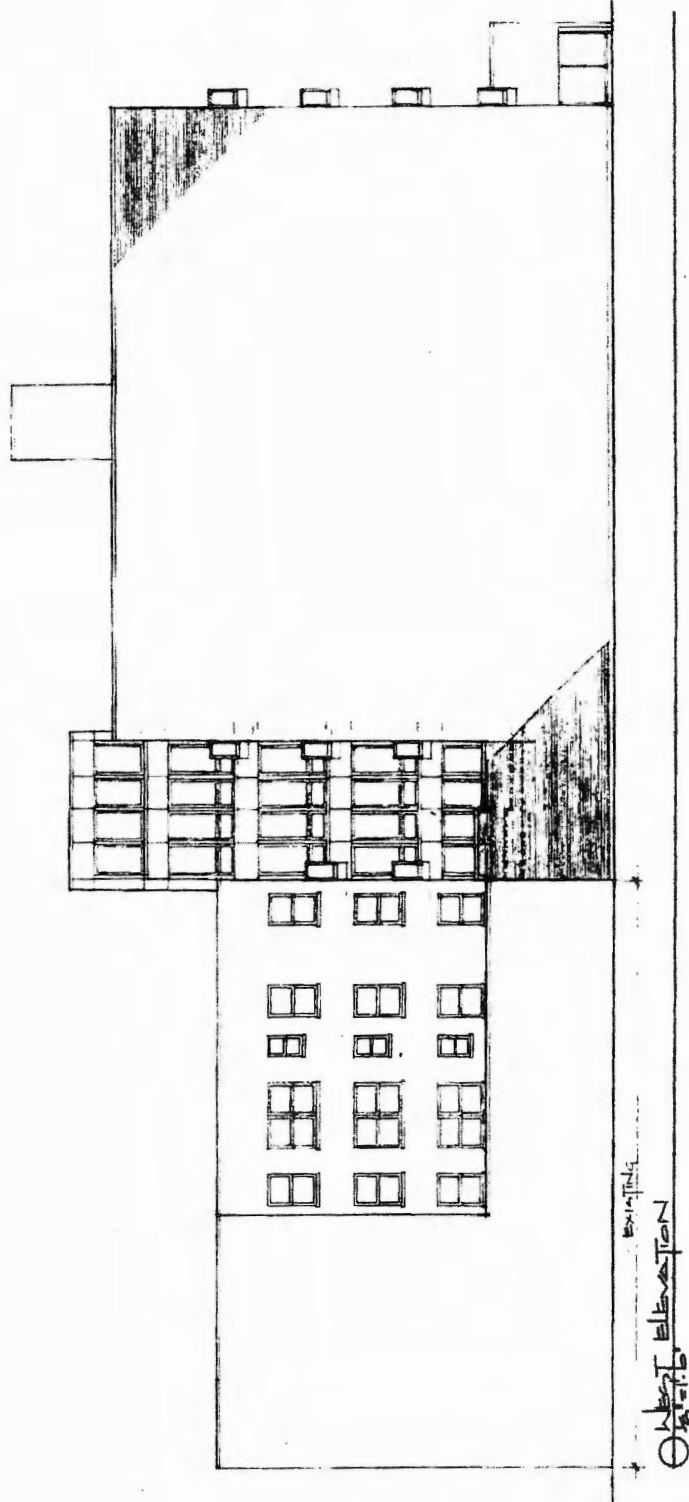
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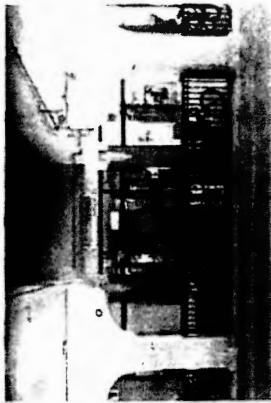
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EXISTING  
NEW ELEVATION

# Final for Publication

**A HANNA INC.**  
 ARCHITECTS, ENGINEERS, PLANNERS  
 1100 WASHINGTON ST  
 CHICAGO, IL 60607  
 TEL: 312.298.1800  
 FAX: 312.298.1801  
 Email: [ahanna@ahanna.com](mailto:ahanna@ahanna.com)  
 CHICAGO ARCHITECTS, INC. 2014



CTA RED LINE ENTRANCE  
 AT W. MORSE AVE.

ARCHITECT'S EXPIRES STATEMENT FOR PARKING REDUCTION  
 I, the undersigned, being duly sworn, depose and say that the  
 above is a true and correct copy of the original as the same  
 appears in the files of the undersigned, and that the same  
 were prepared by me or under my direct supervision and  
 that I am a duly licensed professional engineer in the State  
 of Illinois.  
 WITNESSED my hand and seal this 11th day of July, 2024.  
 \_\_\_\_\_  
 ENGINEER LICENSE NUMBER: 0011-070137



N  
 PARKING REDUCTION MAP

145 FEET FROM PROPERTY  
 TO CTA RED LINE ENTRY

1 MILE = 1,320 FOOT RADIUS



*Reclassification Of Area Shown On Map No. 18-G.*  
(Application No. 22459T1)  
(Common Address: 1434 W. 76<sup>th</sup> St.)

[O2024-0009528]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the M1-2 Limited Manufacturing/Business Park District symbols and indications as shown on Map Number 18-G in the area bounded by:

a line 300 feet north of and parallel to West 76<sup>th</sup> Street; a line 187 feet east of and parallel to South Bishop Street; West 76<sup>th</sup> Street; and South Bishop Street,

to those of an M2-2 Light Industry District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

[Plat of Survey; Site Plan; Existing and Demolition Site Plan; Proposed Site Plan;  
Buildings 01 and 02 Ground Floor Plans; Buildings 01 and 02 Elevations;  
Buildings 01 and 02 Wall Details; Building 01 Section; and  
Enlarged Section attached to this ordinance  
printed on pages 15135 through 15140  
of this *Journal*.]

Type 1 Narrative Rezoning Analysis attached to this ordinance reads as follows:

## Final for Publication

**TYPE 1 NARRATIVE & PLANS**  
**1434 West 76<sup>th</sup> Street, Chicago IL**  
***Zoning Amendment Application***  
***From M1-2 to M2-2***

1. **Project Narrative:**

The Applicant, AllenGreen Group LLC, is the owner of the properties located at 1434 W. 76<sup>th</sup> Street, Chicago Illinois (Property). The Property consists of four commercial masonry buildings zoned as M1-2.

The Applicant business is a transportation company with fleet storage in which the business fleet vehicles will be mainly maintained outdoors, which is not permitted under M1 zoning district. Per section 17-5-0501-B, outdoor storage is permitted as a principal use in only M2 and M3 zoning districts. Therefore, the Applicant seeks a zoning amendment from the existing M1-2 zoning district to an M2-2 zoning district.

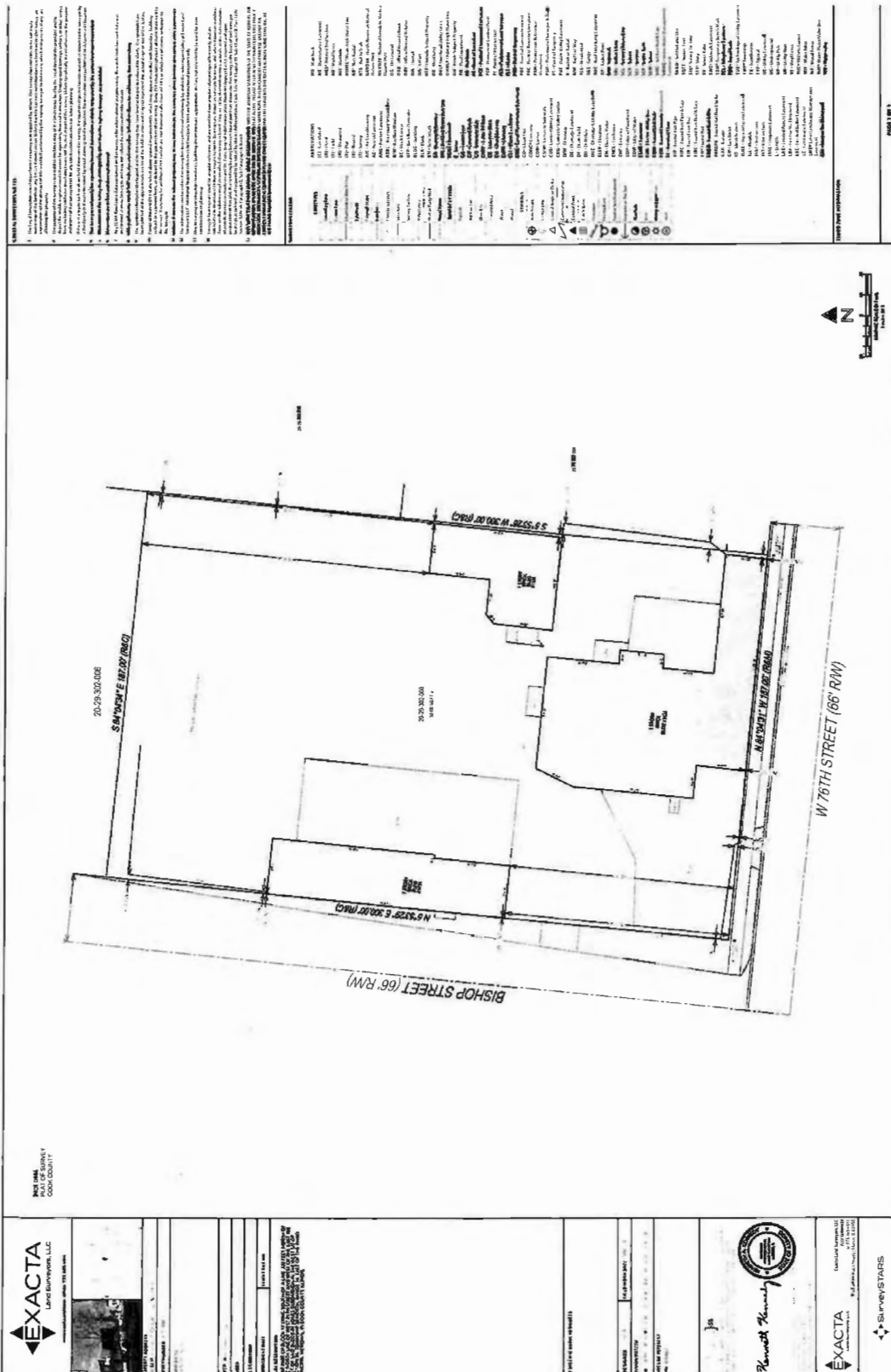
The Property will be used for the Applicant's para-transit business with a plan for approximately 70 outdoor vehicle storage spaces and an additional 15 spaces for employee and customer parking spaces. The size of the lot measures 187 ft x 300 ft = 56,100 sq.ft. The existing four commercial buildings will remain and will be renovated for office and meeting spaces (Building No. 1, existing 1188 sq.ft. and Building 4, existing 3044 sq.ft.), small indoor vehicle storage (Building No. 2, existing 5786 sq.ft.), and auto repairs to maintain the Applicant's business vehicles (Building No. 3, existing 2190 sq.ft.) which was the former use of the Property. Refer to building numbers 1, 2, 3, and 4 The renovation of the Property will occur in phases. The total existing commercial space of 12,208 square feet will remain.

The Property is in an industrial area with neighboring industrial business, with residential across the street on the South direction.

2. **Bulk and Density Description:**

- a) Floor area ratio: 0.22
- b) Density (lot area per dwelling unit): N/A, no residential use
- c) Off-street parking: 15 proposed
- d) Setbacks existing: Front: zero feet  
Rear: 77.40 feet  
Side: East zero feet  
West zero feet
- e) Building height: 9ft-8in (to the parapet is 12ft-8in)

Final for Publication



**EXACTA** LAND SURVEYORS, LLC  
 1000 W. 10th Street, Suite 100, Oklahoma City, Oklahoma 73106  
 Phone: (405) 241-1111  
 Fax: (405) 241-1112  
 Website: www.exacta-surveyors.com

**Surveyors:** Kenneth Kennedy, Surveyor No. 10000, State of Oklahoma  
 Jon [Signature], Surveyor No. 10000, State of Oklahoma

**EXACTA** LAND SURVEYORS, LLC  
 1000 W. 10th Street, Suite 100, Oklahoma City, Oklahoma 73106  
 Phone: (405) 241-1111  
 Fax: (405) 241-1112  
 Website: www.exacta-surveyors.com

**Surveyors:** Kenneth Kennedy, Surveyor No. 10000, State of Oklahoma  
 Jon [Signature], Surveyor No. 10000, State of Oklahoma

Final for Publication

**1 SITE PLAN**  
1/8" = 1'-0"

**CONTRACTOR NOTES**

**GENERAL CONDITIONS:** CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO AND THE DEPARTMENT OF PUBLIC WORKS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO AND THE DEPARTMENT OF PUBLIC WORKS.

**GENERAL NOTES:**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO CODES AND ORDINANCES.

2. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF CHICAGO.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO AND THE DEPARTMENT OF PUBLIC WORKS.

4. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO AND THE DEPARTMENT OF PUBLIC WORKS.

6. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF CHICAGO.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO AND THE DEPARTMENT OF PUBLIC WORKS.

8. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO AND THE DEPARTMENT OF PUBLIC WORKS.

10. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF CHICAGO.

**SCOPE OF WORK**

- DEMOLITION OF EXISTING BUILDINGS
- DEMOLITION OF EXISTING FOUNDATIONS
- DEMOLITION OF EXISTING ROOFS
- DEMOLITION OF EXISTING INTERIORS
- DEMOLITION OF EXISTING EXTERIORS
- DEMOLITION OF EXISTING UTILITIES
- DEMOLITION OF EXISTING LANDSCAPE
- DEMOLITION OF EXISTING DRIVEWAYS
- DEMOLITION OF EXISTING SIDEWALKS
- DEMOLITION OF EXISTING CURBS
- DEMOLITION OF EXISTING STAIRS
- DEMOLITION OF EXISTING ELEVATORS
- DEMOLITION OF EXISTING MECHANICAL SYSTEMS
- DEMOLITION OF EXISTING ELECTRICAL SYSTEMS
- DEMOLITION OF EXISTING PIPING
- DEMOLITION OF EXISTING STRUCTURAL MEMBERS
- DEMOLITION OF EXISTING FOUNDATIONS
- DEMOLITION OF EXISTING ROOFS
- DEMOLITION OF EXISTING INTERIORS
- DEMOLITION OF EXISTING EXTERIORS
- DEMOLITION OF EXISTING UTILITIES
- DEMOLITION OF EXISTING LANDSCAPE
- DEMOLITION OF EXISTING DRIVEWAYS
- DEMOLITION OF EXISTING SIDEWALKS
- DEMOLITION OF EXISTING CURBS
- DEMOLITION OF EXISTING STAIRS
- DEMOLITION OF EXISTING ELEVATORS
- DEMOLITION OF EXISTING MECHANICAL SYSTEMS
- DEMOLITION OF EXISTING ELECTRICAL SYSTEMS
- DEMOLITION OF EXISTING PIPING
- DEMOLITION OF EXISTING STRUCTURAL MEMBERS

**DEMOLITION NOTES**

1. ALL DEMOLITION WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO CODES AND ORDINANCES.

2. ALL DEMOLITION WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF CHICAGO.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO AND THE DEPARTMENT OF PUBLIC WORKS.

4. ALL DEMOLITION WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO AND THE DEPARTMENT OF PUBLIC WORKS.

6. ALL DEMOLITION WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF CHICAGO.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO AND THE DEPARTMENT OF PUBLIC WORKS.

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10. ALL DEMOLITION WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF CHICAGO.

**PLAN WALL TYPES**

1. EXTERIOR WALL

2. INTERIOR WALL

**SYMBOLS**

1. DEMOLITION

2. EXISTING

**DOOR NOTES**

1. ALL DOOR WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO CODES AND ORDINANCES.

2. ALL DOOR WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF CHICAGO.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO AND THE DEPARTMENT OF PUBLIC WORKS.

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10. ALL DOOR WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF CHICAGO.

**DRAWING INDEX**

- 1. TITLE SHEET
- 2. PLAN ELEVATION
- 3. SECTION ELEVATION
- 4. STRUCTURAL

**CERTIFICATION**

I, the undersigned, certify that I am a duly licensed Professional Engineer in the State of Illinois, and that I am the author of the drawings herein, or that I am a duly licensed Professional Engineer in the State of Illinois, and that I am the author of the drawings herein, or that I am a duly licensed Professional Engineer in the State of Illinois, and that I am the author of the drawings herein.

**NAME:** Mark J. Paletten

**NO.:** 080927043

**DATE:** 08/09/2023

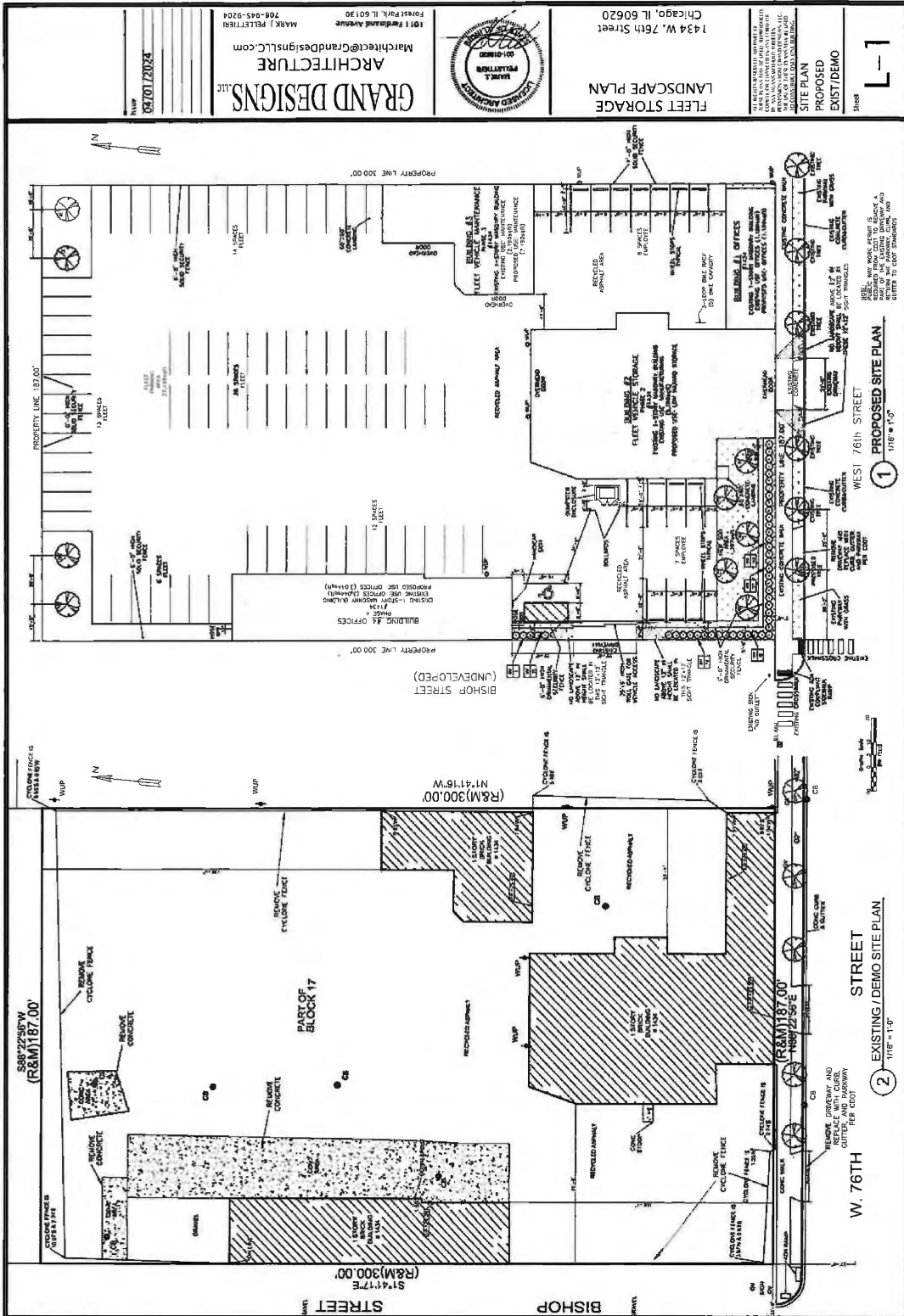
**MARK J. PALETTEN**  
ARCHITECTURE  
708-945-2204  
Marchitect@GrandDesignsLLC.com  
1011 Ferdinand Avenue  
Chicago, IL 60620

**REHABILITATE EXISTING BUILDINGS**  
1434 W. 76th Street  
Chicago, IL 60620

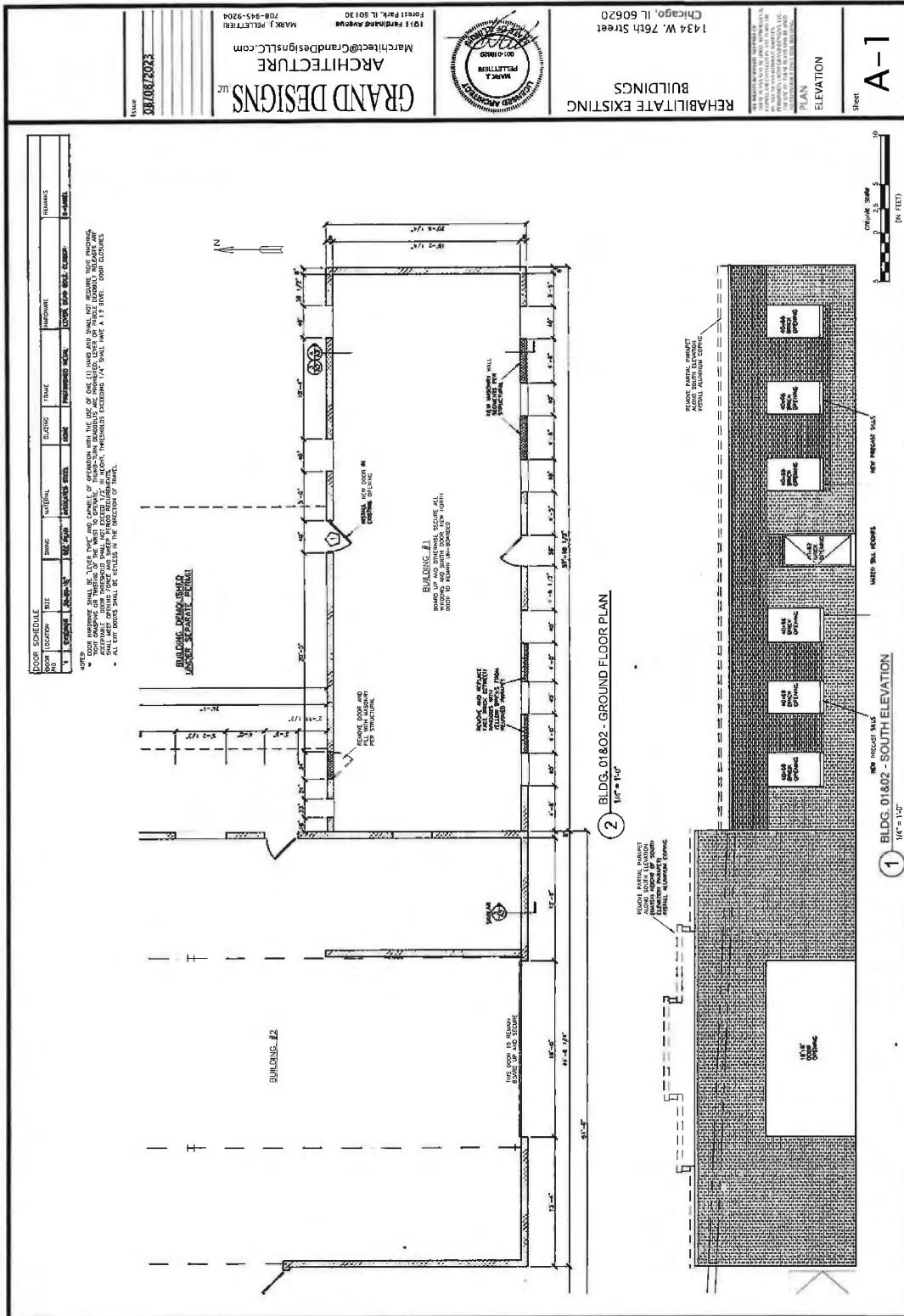
**TITLE SHEET**  
SITE PLAN

**T 1**

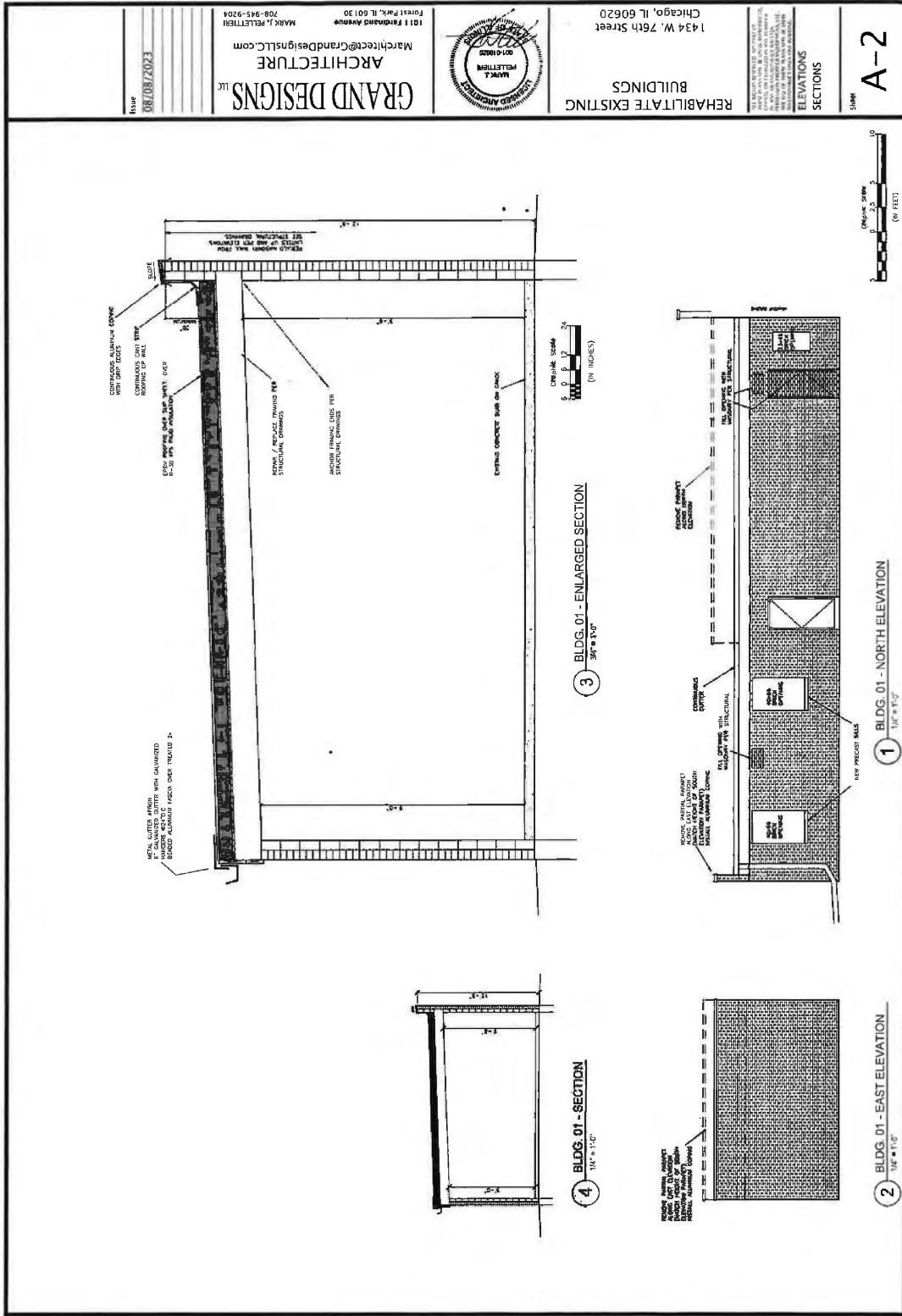
Final for Publication



Final for Publicatic



Final for Publication





*Reclassification Of Area Shown On Map No. 19-H.*

(Application No. 22463T1)

(Common Address: 7325 -- 7331 N. Honore St.)

[O2024-0009596]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all the current RT4 Residential Two-Flat, Townhouse and Multi-Unit District symbols and indications as shown on Map Number 19-H in the area bounded by:

a line 330.00 feet north of and parallel to West Chase Avenue; the public alley next east of North Honore Street; a line 240.00 feet north of and parallel to West Chase Avenue; and North Honore Street,

to those of an RM6 Residential Multi-Unit District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

[Existing and Proposed Basement Plans; Architectural Site Plan;  
Street View; Project Location; and Front and Rear Building  
Views attached to this ordinance printed on  
pages 15143 through 15144  
of this *Journal*.]

Type 1 Narrative Rezoning Analysis attached to this ordinance reads as follows:

# Final for Publication

## NARRATIVE AND PLANS ATTACHMENT

TYPE I Rezoning from RT-4 to RM-6

7325 – 31 North Honore Street

### The Project

The property is improved with a three-story building containing 26 residential dwelling units and no parking. The Applicant seeks to rezone the property to allow addition of 4 residential dwelling units in the lower level of the existing building for a total of 30 residential dwelling units. No exterior construction or additions are proposed. No parking will be added. The height of the building is and will remain at 40.00 feet.

The property is located on the east side of North Honore Street in an area that is primarily improved with single and multi-family buildings ranging in height from two stories to three stories. To allow the proposed development, the Applicant seeks a change in zoning classification for the subject property from the property’s current RT-4 Residential Two-Flat, Townhouse and Multi-Unit District to an RM-6 Residential Multi-Unit District under a Mandatory Type I Map Amendment. The area has a mix of zoning classifications, including RS-2, RT-3.5, RT-4, B3-1, B2-5, and C2-2. It is improved with multiple buildings of similar size, scale, and density to the subject building as proposed to be redeveloped. The property is a Transit Served Location per the Transit-Oriented Provisions of the Chicago Zoning Ordinance, Section 17-10-0102-B (1), as it is located 306 feet from North Clark Street a designated bus line corridor in Table 17-17-0400-B, 596 feet from North Rogers Avenue also a designated bus line corridor in Table 17-17-0400-B, 1,722 feet from the CTA Howard Train Station and 1,943 feet from the CTA Jarvis Train Station. Accordingly, the property qualifies for a parking reduction under the Transit Served provision of the Zoning Ordinance

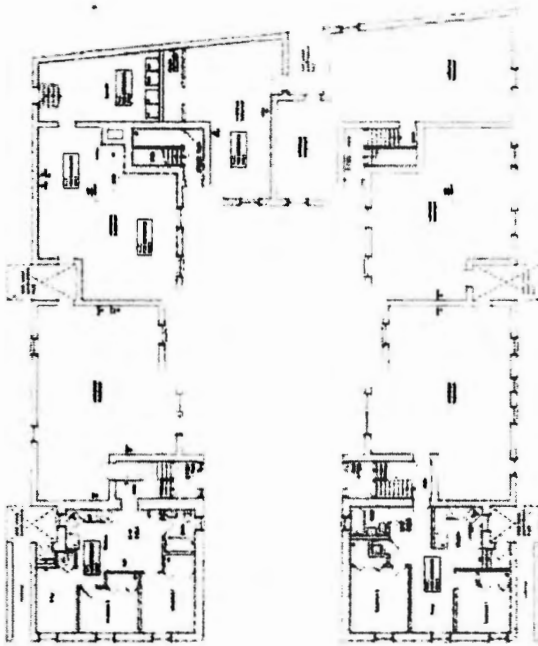
Applicant also seeks as part of the Type I rezoning per Section 17-13-0303-D: 1) an Administrative Adjustment reducing the required off-street parking spaces from 4 spaces to zero as authorized for transit-served locations under Section 17-13-1003-EE; and 2) an Administrative Adjustment authorizing alternative compliance with the required on-site open space by allowing the existing courtyard containing 2,141.58 sq. ft. to serve as an alternative off-setting the required 144 sq. ft. of on-site open space as authorized under Section 17-13-1003-W.

The following are the relevant zoning parameters for the proposed project:

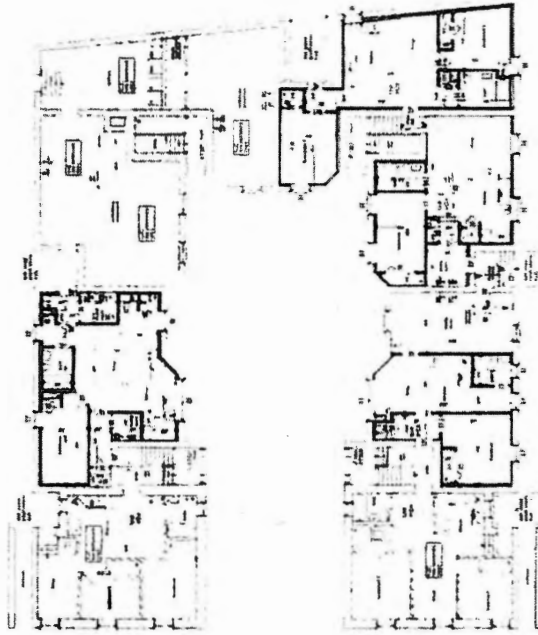
Lot Area:	10,295.02 square feet	
Floor Area:	24,904.00 square feet (existing)	
Maximum FAR:	2.42 (existing)	
Residential Dwelling Units:	30	
MLA Density:	343.16 square feet	
Height (existing):	40.00 feet (existing)	
Bicycle Parking:	4 spaces	
Automobile Parking:	None	
Setbacks:	Front (North Honore):	11.77 feet (existing)
	North Side:	None (existing)
	South Side:	None (existing)
	Rear (Alley):	None (existing)

\*A set of plans, including a site plan and a map showing the TSL distance of 306 feet to North Clark Street.

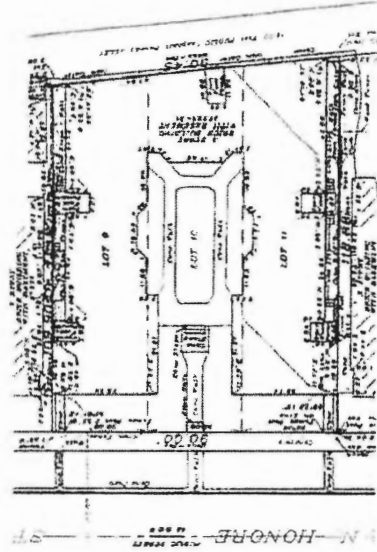
Final for Publication



Existing basement plan



Proposed basement plan



Architectural Site Plan



Street view



<p>LEADER ARCHITECTS, INC. 1000 N. HONORE ST., SUITE 100 DENVER, CO 80202 TEL: 303.733.1111 WWW.LEADERARCHITECTS.COM</p>	<p>25 DU BUILDING WITH ADDITIONAL 1 DWELLING WITH 3 UNITS ALTERNATION SHEETS: 25 DU BUILDING SHEETS SHEETS: 25 DU BUILDING SHEETS</p>	<p>DATE: 7/17/2024 DRAWN BY: [Name] CHECKED BY: [Name] SCALE: AS SHOWN</p>	<p>A-1</p>
	<p>PROJECT: 25 DU BUILDING WITH ADDITIONAL 1 DWELLING WITH 3 UNITS ALTERNATION</p>	<p>DATE: 7/17/2024 DRAWN BY: [Name] CHECKED BY: [Name] SCALE: AS SHOWN</p>	<p>DATE: 7/17/2024 DRAWN BY: [Name] CHECKED BY: [Name] SCALE: AS SHOWN</p>

Final for Publication



Front of Building



Rear of Building

*Reclassification Of Area Shown On Map No. 28-G.*  
(Application No. 22447T1)  
(Common Address: 11416 S. Throop St.)

[O2024-0009468]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the RS2 Residential Single-Unit (Detached House) District symbols as shown on Map Number 28-G in the area bounded by:

a line 108.50 feet north of and parallel to West 114<sup>th</sup> Place; South Throop Street; a line 83.5 feet north of and parallel to West 114<sup>th</sup> Place; and the public alley next west of and parallel to South Throop Street,

to those of an RT3.5 Residential Two-Flat, Townhouse and Multi-Unit District.

SECTION 2. This ordinance takes effect after its passage and due publication.

[Cover Sheet; Basement and First Floor Demolition Plans;  
Proposed Basement and First Floor Layout; and  
North, East and West Building Elevations  
attached to this ordinance printed on  
pages 15148 through 15151  
of this *Journal*.]

Type 1 Narrative Rezoning Analysis attached to this ordinance reads as follows:

## Final for Publication

### A NARRATIVE AND PLANS FOR TYPE 1 ZONING AMENDMENT FOR 11416 SOUTH THROOP STREET, CHICAGO

The subject property is currently improved with a 1-story residential building with 2 dwelling units, which the Applicant proposes to preserve. The Applicant needs a zoning change to comply with the use table and the standards and the bulk and density requirements of the RT3.5 District to continue the use of the building as a two-unit residential building.

<b>Project Description:</b>	Zoning Change from an RS2 Residential Single-Unit (Detached House) District to an RT3.5 Residential Two-Flat, Townhouse and Multi-Unit District.
<b>Use:</b>	Residential Building with 2 dwelling units
<b>Lot Area:</b>	25' x 125.12' = 3,128 SF (recorded measurements)
<b>Floor Area Ratio:</b>	Existing: 0.6
<b>Floor Area:</b>	Existing: 1,802 SF
<b>Density:</b>	1,564 Square Feet per DU Unit
<b>Off- Street parking:</b>	Parking spaces: 2
<b>Setbacks:</b>	Front: 8' * Existing Side Setbacks: south: 3-9" and north 0.71' Existing Rear: 65.09' Existing Rear Yard Open Space: 660.21 SF
<b>Building Height:</b>	Existing: 16 Feet 2 Inches

\* *Optional Relief*

## Final for Publication

Optional Relief for Adjustment and Variation under Section 17-13-0303-D – a Type 1 map amendment pursuant to Section 17-13-0300, may include relief available pursuant to Section 17-13-1000 or 17-13-1100; in such instances, City Council approval of a Type-1 application containing said elements shall preclude subsequent review otherwise required pursuant to Sections 17-13-1000 or 17-13-1100, provided that no Type 1 application permits issued may be in violation of Section 17-13-0310:

- (1) With this Type 1 Rezoning, the Applicant also seeks relief for variation from Section 17-2-0305 Front Setbacks, to reduce the minimum required front setback from 18.04' to 8' to allow replacement of the front porch and stairs which provide the required and primary ingress and egress to the building located at the subject property.

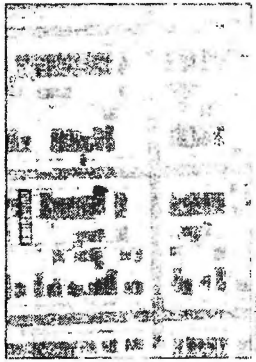
With this request, the Applicant states the following:

- (A) Strict compliance with the regulations and standards of this Zoning Ordinance would create practical difficulties and hardships for the subject property, since the subject property is improved with an existing old residential building, which was built 100 years ago with these existing setbacks, which under the current Ordinance became non-conforming.
- (B) The requested front setback variation is consistent with the stated purpose and intent of this Zoning Ordinance since this proposed rehab project and its corresponding variation seek to preserve the existing older residential building. Also, the proposed variation relief is compatible with the existing land use pattern within the subject neighborhood, where most of the zoning lots provide front porches with stairs.
- (C) Evidence of the Practical Difficulties or Particular Hardship is as follows:
  1. The property in question cannot yield a reasonable return if permitted to be used only in accordance with the strict front setback standards of this Zoning Ordinance. The Applicant is seeking to preserve the status quo at the property. Strict compliance would require demolition of the existing non-conforming conditions.
  2. The practical difficulties and hardships are due to unique circumstances and are not generally applicable to other similarly situated property. The Applicant proposes to preserve and rehab the existing older, non-conforming residential building as the Ordinance promotes and encourages owners to do. Allowing a front porch and stairs, which will provide Building Code compliant, safe and primary ingress and egress from the building, is necessary for the safety and convenience of the residents of the property.
  3. The front setback variation will not alter the essential character of the neighborhood, since per the zoning map, the existing building lines up with the other existing structures on the block and there are multiple other buildings within the subject neighborhood improved with front porches, which also do not strictly comply with the front setback requirements. This rehab project follows the existing land use patterns on the block.

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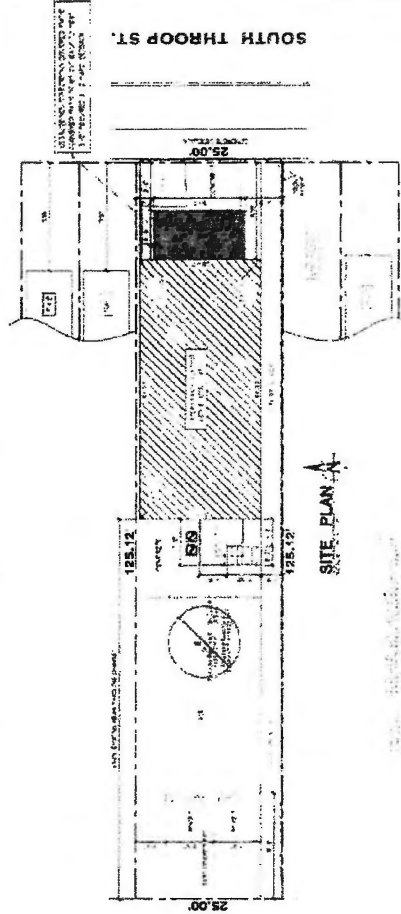
PLANS FOR ZONING REVIEW

11416 S THROOP STREET, CHICAGO, IL, 60643 PIN: 25-20-123-038-0000



**SCOPE OF WORK:**  
 INSTALL AN EXTERIOR REAR TO ADD A NEW RESIDENTIAL UNIT IN THE REAR DEVELOPER ZONING CHANGE. REPLACE THE REAR OPENING WITH A NEW AND CHANGE THE FRONT DOOR CONFORMING TO THE 2019 IBC CODES AND MEET THE CITY OF CHICAGO REQUIREMENTS FOR A ONE-UNIT RESIDENTIAL BUILDING. THE SCOPE OF WORK INCLUDES ARCHITECTURE, INTERIOR FINISHES, MECHANICAL, ELECTRICAL, AND PLUMBING.

DATE: 07/17/2024  
 PROJECT: 11416 S THROOP STREET  
 SHEET: 1 OF 1  
 PREPARED: GJR 2/24



**AD**  
 ARCHITECTS  
 11416 S THROOP STREET  
 CHICAGO, IL 60643  
 TEL: 773-555-1234  
 FAX: 773-555-5678  
 www.adarchitects.com



11416 South Throop St.

Cover Sheet

CS-100

Final for Publication

**LEGEND**

**DEMOLITION NOTES**

**FIRST FLOOR DEMOLITION PLAN A**

**BASEMENT DEMOLITION PLAN A**

**11416 South Throop St**

**Basement And First Floor Demolition Plan**

**D-100**

**Architect: Alan S. King**

**Chicago, Ill. 60605**

Final for Publication

**FIRST FLOOR PROPOSED LAYOUT**

**BASEMENT PROPOSED LAYOUT**

11416 South Throop St.  
CHICAGO, ILLINOIS

Basement And First Floor Proposed Layout

A-100

**Architect:** Davis Brody Bond  
**Project:** 11416 South Throop St.  
**Architect's License No.:** 000000000000000000  
**Professional Seal:** [Seal]

**Architect:** Davis & Riley  
**Architect's License No.:** 000000000000000000

**Notes:**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO BUILDING CODE AND ALL APPLICABLE ORDINANCES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
4. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF CHICAGO.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
6. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
7. ALL FINISHES SHALL BE AS NOTED ON THE DRAWINGS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO.
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12. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
13. ALL FINISHES SHALL BE AS NOTED ON THE DRAWINGS.

Final for Publication

**EAST ELEVATION**

**WEST ELEVATION**

**NORTH ELEVATION**

11416 South Throop St.  
 DECAV. RUMS  
 Building Elevations  
 A-200

AD  
 Architectural Design  
 11416 South Throop St.  
 DECAV. RUMS  
 Building Elevations  
 A-200

11416 South Throop St.  
 DECAV. RUMS  
 Building Elevations  
 A-200

*Reclassification Of Area Shown On Map No. 30-G.*

(As Amended)

(Application No. 22399)

(Common Address: 1001 -- 1235 W. 119<sup>th</sup> St. And 1000 -- 1234 W. 120<sup>th</sup> St.)

[SO2024-0008804]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all of the Planned Manufacturing District Number 10 symbols and indications as shown on Map Number 30-G in the area bounded by:

West 119<sup>th</sup> Street; South Morgan Street; West 120<sup>th</sup> Street; and a line 1,776.69 feet west of and parallel to South Morgan Street,

to those of an Industrial Planned Development.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

*Industrial Planned Development No. \_\_\_\_\_.*

*Planned Development Statements.*

1. The area delineated herein as Industrial Planned Development Number \_\_\_\_\_ (the "Planned Development" or "P.D.") consists of approximately 1,062,050 square feet of property which is depicted on the attached Planned Development Boundary and Property Line Map ("Property"). West Pullman Development Partners LLC, is the "Applicant" for this Planned Development pursuant to authorization from the owners of the Property.
2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time of application for amendments, modifications or changes (administrative, legislative or otherwise) to this

Planned Development are made, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400.

3. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustment of the right-of-way shall require a separate submittal to the Department of Transportation on behalf of the Applicant or its successors, assigns or grantees.

Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the Planned Development.

Ingress or egress shall be pursuant to the Plans and may be subject to the review and approval of the Departments of Housing and Economic Development and Transportation. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of the Department of Transportation.

Pursuant to a negotiated and executed Perimeter Restoration Agreement ("Agreement") by and between the Department of Transportation's Division of Infrastructure Management and the Applicant, the Applicant shall provide improvements and restoration of all public way adjacent to the Property, which may include, but not be limited to, the following as shall be reviewed and determined by the Department of Transportation's Division of Infrastructure Management:

- Full width of streets
- Full width of alleys
- Curb and gutter
- Pavement markings
- Sidewalks
- ADA crosswalk ramps
- Parkway and landscaping

The Perimeter Restoration Agreement must be executed prior to any Department of Transportation and Planned Development Part II review permitting. The Agreement shall reflect that all work must comply with current Rules and Regulations and must be designed and constructed in accordance with the Department of Transportation's Construction Standards for Work in the Public Way and in compliance with the Municipal Code of Chicago Chapter 10-20. Design of said improvements should follow the Department of Transportation's Rules and Regulations for Construction in the

Public Way as well as The Street and Site Plan Design Guidelines. Any variation in scope or design of public way improvements and restoration must be approved by the Department of Transportation.

Notwithstanding the foregoing, the Applicant shall not be responsible for addressing the deteriorated condition of Morgan Street, and the Applicant's obligation to construct curb, gutter, and sidewalk improvements on the west side of Morgan Street shall be subject to the City's provision of funds sufficient to address the deteriorated condition of Morgan Street, including any curb and gutter and other conditions or improvements required by CDOT on the east side of Morgan Street.

All work proposed in the public way must comply with current Rules and Regulations and must be designed and constructed in accordance with the Department of Transportation's Construction Standards for Work in the Public Way and in compliance with the Municipal Code of Chicago Chapter 10-20. Design of said improvements should follow the Department of Transportation's Rules and Regulations for Construction in the Public Way as well as The Street and Site Plan Design Guidelines. Any variation in scope or design of public way improvements and restoration must be approved by the Department of Transportation.

4. This plan of development consists of these 16 Statements and a Bulk Regulations Table; an Existing Land-Use Map, an Existing Zoning Map, a P.D. Boundary and Property Line Map, a Site Plan, a Landscape Plan, and Building Elevations, all prepared by Ware Malcomb and dated June 20, 2024, submitted herein. In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance, and all requirements thereto, and satisfies the established criteria for approval as a Planned Development. In case of a conflict between the terms of this Planned Development ordinance and the Chicago Zoning Ordinance, this Planned Development shall control.
5. The following uses are permitted in the area delineated herein as Industrial Planned Development: manufacturing, production and industrial service (artisan, limited, and general); warehousing, wholesaling, and freight movement (excluding container storage as principal uses, and outdoor storage of raw materials as a principal use); office (not larger than 9,000 square feet, unless accessory to a permitted industrial use); general retail sales (limited to accessory sales of goods produced on-site and not larger than 3,000 square feet); communication service establishments; business support services (except day labor employment agency; copying and reproduction services as a principal use shall not be larger than 3,000 square feet); urban farm (indoor, outdoor, and rooftop operation; retail sales limited to sales of goods produced on-site, and sales space shall not occupy more than 3,000 square feet); building maintenance services; construction sales and service (building material sales uses shall have a maximum customer accessible retail sales area of not more than 20 percent of gross floor area); eating and drinking establishments (not larger than 4,000 square feet and shall not provide entertainment); financial services (excluding

- consumer loan establishment, payday/title secured loan store, and pawn shop; not larger than 3,000 square feet); personal service (not larger than 3,000 square feet); consumer repair or laundry service (not larger than 3,000 square feet); participant sports and recreation (excluding shooting range facility); vehicle sales and service (heavy equipment sales/rental and motor vehicle repair shop, not including body work, painting or commercial vehicle repairs); co-located and freestanding wireless communication facilities; incidental and accessory uses; and accessory parking.
6. On-premises signs, Off-premises signs, and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development, subject to the review and approval of the Department of Planning and Development ("DPD").
  7. For purposes of height measurement, the definitions in the Chicago Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by the Federal Aviation Administration.
  8. The maximum permitted floor area ratio (FAR) for the Property shall be in accordance with the attached Bulk Regulations and Data Table. For the purpose of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply. The permitted FAR identified in the Bulk Regulations and Data Table has been determined using a net site area of 1,062,050 square feet and a base FAR of 3.0.
  9. Upon review and determination, Part II review, pursuant to Section 17-13-0610, a Part II review fee shall be assessed by DPD. The fee, as determined by staff at the time, is final and binding on the Applicant and must be paid to the Department of Revenue prior to the issuance of any Part II approval.
  10. The Site and Landscape Plans shall be in substantial conformance with the Landscape Ordinance and any other corresponding regulations and guidelines, including Section 17-13-0800. Final landscape plan review and approval will be by DPD. Any interim reviews associated with site plan review or Part II reviews, are conditional until final Part II approval.
  11. The Applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Fleet and Facility Management and Buildings, under Section 13-32-085, or any other provision of the Municipal Code of Chicago.
  12. The terms and conditions of development under this Planned Development ordinance may be modified administratively, pursuant to Section 17-13-0611-A, by the Zoning Administrator upon the application for such a modification by the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors.
  13. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal

access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.

14. The Applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources. The Applicant shall obtain the number of points necessary to meet the requirements of the Chicago Sustainable Development Policy, in effect at the time the Part II review process is initiated for each improvement that is subject to the aforementioned policy and must provide documentation verifying compliance.
15. The Applicant acknowledges that it is the policy of the City to maximize opportunities for Minority- and Women-owned Business Enterprises ("M/WBEs") and city residents to compete for contracts and jobs on construction projects approved through the planned development process. To assist the City in promoting and tracking such M/WBE and city resident participation, an applicant for planned development approval shall provide information at three points in the city approval process. First, the applicant must submit to DPD, as part of its application for planned development approval, an M/WBE Participation Proposal. The M/WBE Participation Proposal must identify the applicant's goals for participation of certified M/WBE firms in the design, engineering and construction of the project, and of city residents in the construction work. The City encourages goals of 26 percent MBE and 6 percent WBE participation (measured against the total construction budget for the project or any phase thereof), and \*(ii) 50 percent city resident hiring (measured against the total construction work hours for the project or any phase thereof). The M/WBE Participation Proposal must include a description of the applicant's proposed outreach plan designed to inform M/WBEs and city residents of job and contracting opportunities. Second, at the time of the applicant's submission for Part II permit review for the project or any phase thereof, the applicant must submit to DPD: (a) updates (if any) to the applicant's preliminary outreach plan; (b) a description of the applicant's outreach efforts and evidence of such outreach, including, without limitation, copies of certified letters to M/WBE contractor associations and the ward office of the alderman in which the project is located and receipts thereof; (c) responses to the applicant's outreach efforts; and (d) updates (if any) to the applicant's M/WBE and city resident participation goals. Third, prior to issuance of a Certificate of Occupancy for the project or any phase thereof, the applicant must provide DPD with the actual level of M/WBE and city resident participation in the project or any phase thereof, and evidence of such participation. In addition to the foregoing, DPD may request such additional information

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\* Editor's Note: Numbering sequence error; (i) missing in original document.

as the department determines may be necessary or useful in evaluating the extent to which M/WBEs and city residents are informed of and utilized in planned development projects. All such information will be provided in a form acceptable to the Zoning Administrator. DPD will report the data it collects regarding projected and actual employment of M/WBEs and city residents in planned development projects twice yearly to the Chicago Plan Commission and annually to the Chicago City Council and the Mayor.

16. This Planned Development shall be governed by Section 17-13-0612. Should this Planned Development ordinance lapse, the Commissioner of DPD shall initiate a zoning map amendment to rezone the Property to Planned Manufacturing District Number 10.

[Overall Landscape Plan; Landscape Plans; Landscape Details; and North, South, East and West Building Elevations referred to in these Plan of Development Statements printed on pages 15158 through 15165 of this *Journal*.]

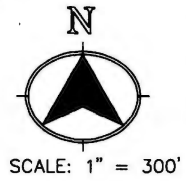
Bulk Regulations and Data Table referred to in these Plan of Development Statements read as follows:

*Industrial Planned Development No. \_\_\_\_\_.*

*Bulk Regulations And Data Table.*

Gross Site Area (square feet):	1,195,728
Area of Public Rights-of-Way (square feet):	133,678
Net Site Area (square feet):	1,062,050
Maximum Floor Area Ratio:	3.0
Minimum Parking Spaces:	1 space per 4 employees
Minimum Bicycle Parking:	1 per 10 auto spaces
Minimum Loading Berths:	Six -- 10 feet by 50 feet
Maximum Building Height:	40 feet
Minimum Setbacks:	In accordance with plans

**FINAL FOR PUBLICATION**



**LEGEND**

- OVERSTORY TREE
- ORNAMENTAL TREE
- EVERGREEN TREES
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- PERENNIALS

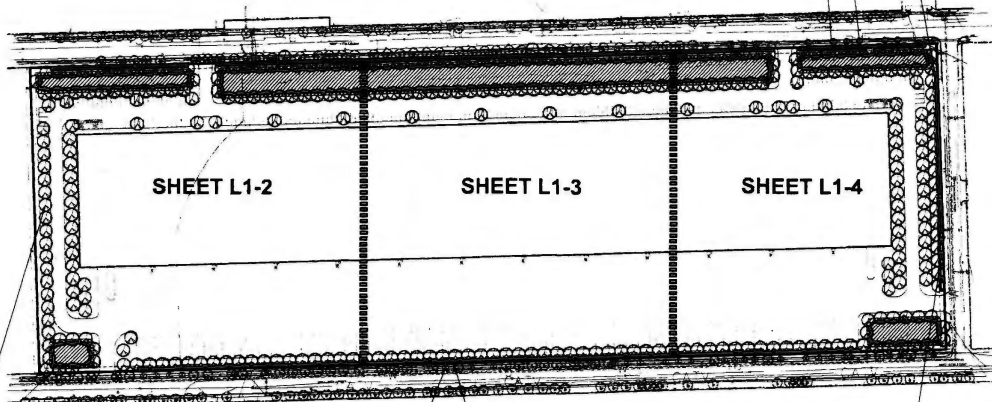
**GENERAL LANDSCAPE NOTES**

1. Contractor shall verify underground utility lines and is responsible for any damage.
2. Contractor shall verify all existing conditions in the field prior to construction and shall notify landscape architect of any variance.
3. Material quantities shown are for contractors convenience only. The Contractor must verify all material and supply sufficient materials to complete the job per plan.
4. The landscape architect reserves the right to inspect plant materials either at place of growth or at site before planting, for compliance with requirements of variety, size and quality.
5. Work shall conform to American Standard for Nursery Stock, State of Illinois Horticultural Standards, and Local Municipal requirements.
6. Contractor shall secure and pay for all permits, fees, and inspections necessary for the proper execution of this work and comply with all codes applicable to this work.
7. See General Conditions and Specifications for landscape work for additional requirements.
8. New topsoil is required throughout the fullest dimensions of all aforementioned planters or parkway 2 1/2" deep. All construction spill such as debris, garbage, barricades, limestone, black top, and all other non-topsoil items must be removed from each planter prior to soil installation.
9. All required landscaping within public right-of-way to be replaced, if needed, for a minimum of five (5) years by the original applicant and any subsequent owners.

**PARKING LOT SCREENING FROM STREET (17-11-0202-B, 17-11-0202-C): 413 LF**  
 LANDSCAPING REQUIRED:  
 1 TREE PER 25 LF = 17 TREES  
 1 SHRUB EVERY 36" = 138 SHRUBS  
 5' ORNAMENTAL FENCE  
 LANDSCAPING PROVIDED:  
 17 TREES  
 138 SHRUBS  
 413 LF ORNAMENTAL FENCE

**PARKWAY TREES (17-11-0103-A): 1,665 LF**  
 LANDSCAPING REQUIRED:  
 1 PARKWAY TREE PER 25 LF OF STREET FRONTAGE = 67 PARKWAY TREES  
 LANDSCAPING PROVIDED:  
 38 EXISTING PARKWAY TREES  
 2 PROPOSED SHADE TREES  
 20 PROPOSED ORNAMENTAL TREES

**PARKING LOT SCREENING FROM STREET (17-11-0202-B, 17-11-0202-C): 1,611 LF**  
 LANDSCAPING REQUIRED:  
 1 TREE PER 25 LF = 65 TREES  
 1 SHRUB EVERY 36" = 537 SHRUBS  
 LANDSCAPING PROVIDED:  
 65 TREES  
 537 SHRUBS



**INTERIOR LANDSCAPING (17-11-203-B): 389,460 SF**  
 LANDSCAPING REQUIRED:  
 LANDSCAPE AREA @ 10% = 38,946 SF  
 1 TREE PER EVERY 125 SF = 312 TREES  
 LANDSCAPING PROVIDED:  
 LANDSCAPE AREA 38,946 SF  
 SHADE TREES 183

**PARKWAY TREES (17-11-0103-A): 520 LF**  
 LANDSCAPING REQUIRED:  
 1 PARKWAY TREE PER 25 LF OF STREET FRONTAGE = 21 PARKWAY TREES  
 LANDSCAPING PROVIDED:  
 0 PARKWAY TREES\*  
 \*NOTE: THE EXISTING PARKWAY IS FILLED WITH AGGREGATE AND ASPHALT AND IS NOT A SUITABLE LOCATION FOR TREES

**PARKWAY TREES (17-11-0103-A): 1,711 LF**  
 LANDSCAPING REQUIRED:  
 1 PARKWAY TREE PER 25 LF OF STREET FRONTAGE = 69 PARKWAY TREES  
 LANDSCAPING PROVIDED:  
 34 EXISTING TREES  
 28 PROPOSED ORNAMENTAL TREES

**PARKING LOT SCREENING FROM STREET (17-11-0202-B, 17-11-0202-C): 1,416 LF**  
 LANDSCAPING REQUIRED:  
 1 TREE PER 25 LF = 57 TREES  
 1 SHRUB EVERY 36" = 472 SHRUBS  
 5' ORNAMENTAL FENCE  
 LANDSCAPING PROVIDED:  
 57 TREES  
 472 SHRUBS  
 1,416 LF ORNAMENTAL FENCE

**OVERALL LANDSCAPE PLAN**

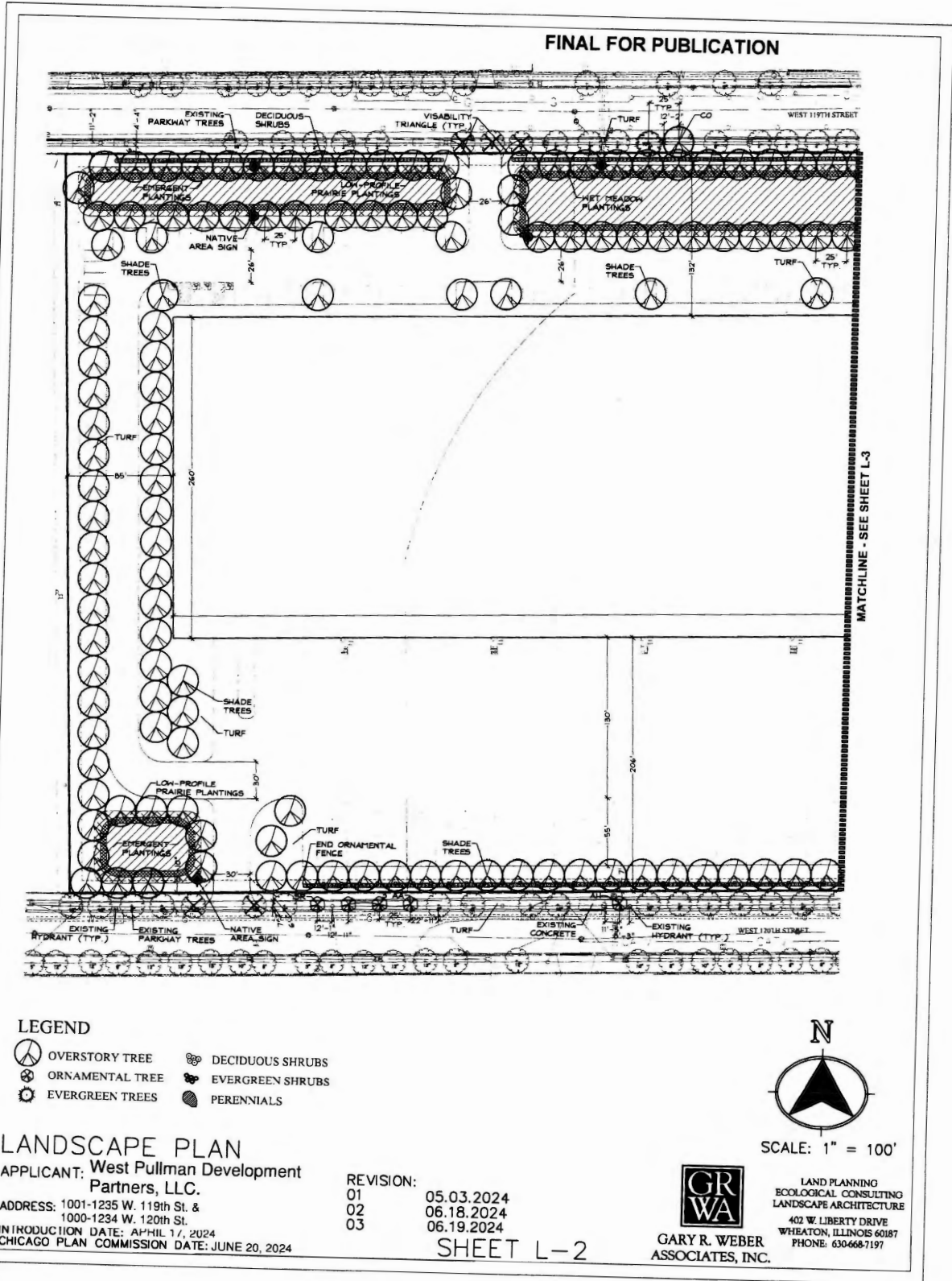
APPLICANT: West Pullman Development Partners, LLC.  
 ADDRESS: 1001-1235 W. 119th St. & 1000-1234 W. 120th St.  
 INTRODUCTION DATE: APRIL 17, 2024  
 CHICAGO PLAN COMMISSION DATE: JUNE 20, 2024

REVISION:  
 01 05.03.2024  
 02 06.18.2024  
 03 06.19.2024

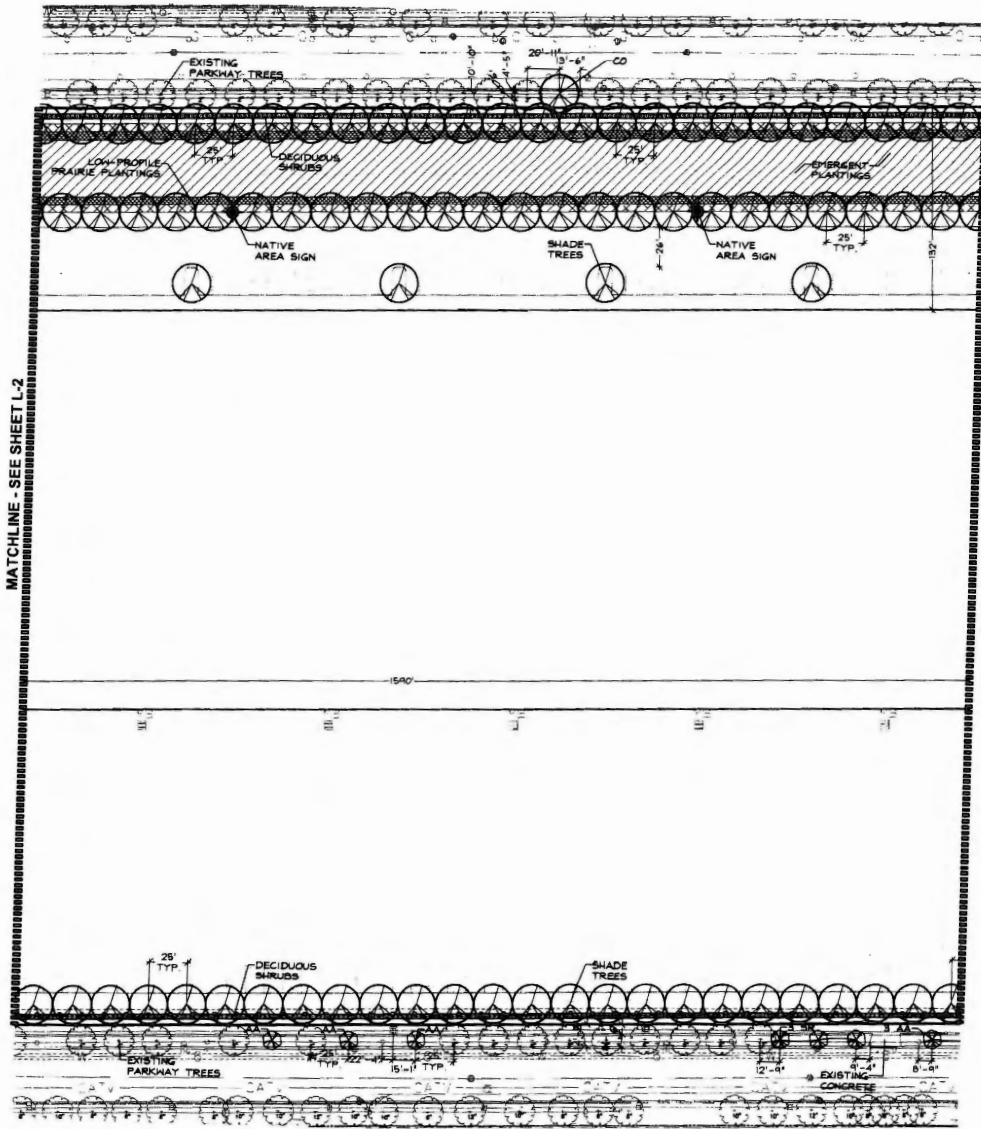


GARY R. WEBER ASSOCIATES, INC.

LAND PLANNING  
 ECOLOGICAL CONSULTING  
 LANDSCAPE ARCHITECTURE  
 402 W. LIBERTY DRIVE  
 WHEATON, ILLINOIS 60187  
 PHONE: 630-668-7197

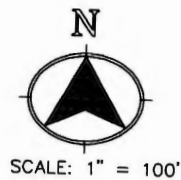


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LEGEND

- OVERSTORY TREE
- ORNAMENTAL TREE
- EVERGREEN TREES
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- PERENNIALS



LANDSCAPE PLAN

APPLICANT: West Pullman Development Partners, LLC.

ADDRESS: 1001-1235 W. 119th St. & 1000-1234 W. 120th St.

INTRODUCTION DATE: APRIL 17, 2024

CHICAGO PLAN COMMISSION DATE: JUNE 20, 2024

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01	05.03.2024
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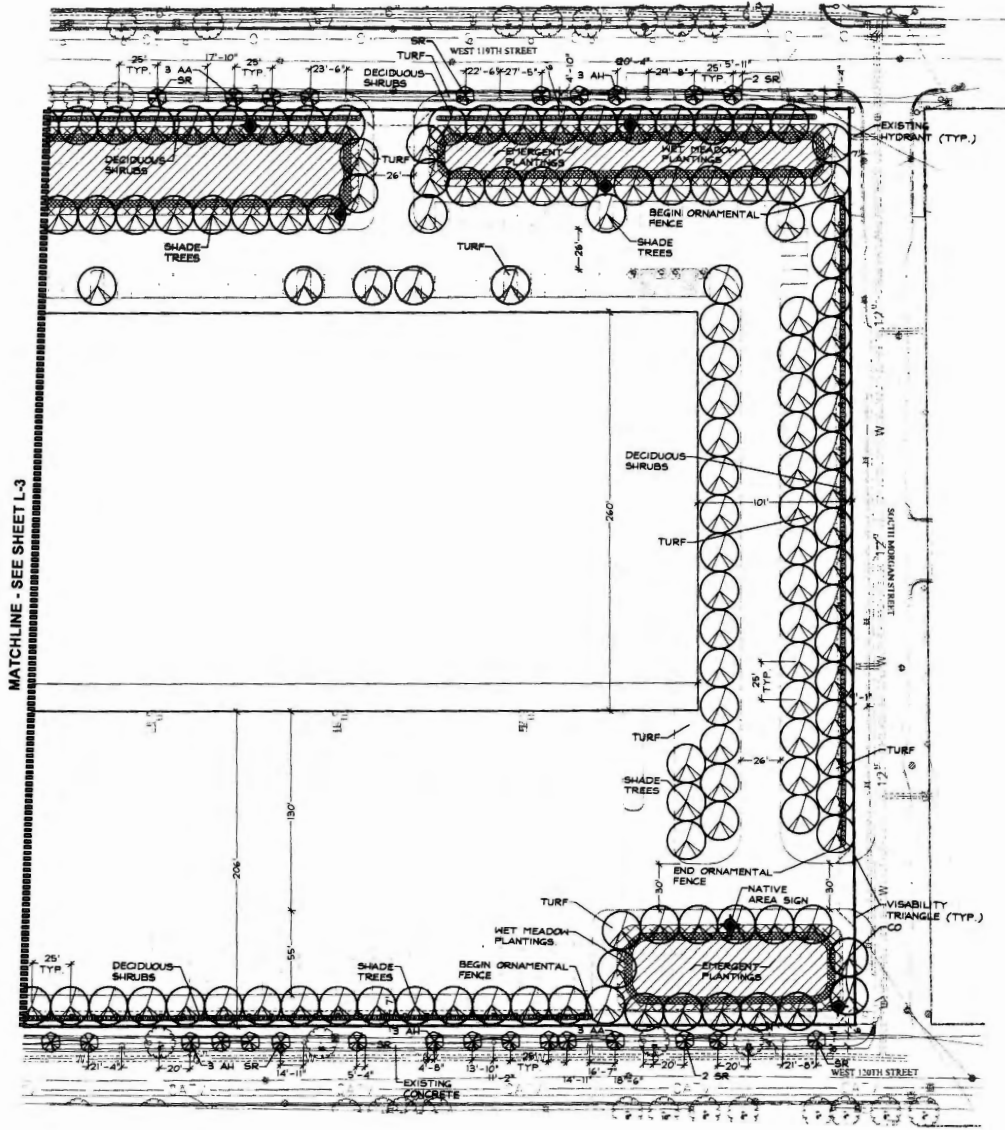
SHEET L-3



GARY R. WEBER ASSOCIATES, INC.

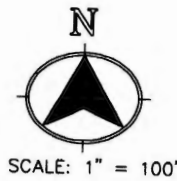
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LEGEND

- OVERSTORY TREE
- ORNAMENTAL TREE
- EVERGREEN TREES
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- PERENNIALS



LANDSCAPE PLAN

APPLICANT: West Pullman Development Partners, LLC.

ADDRESS: 1001-1235 W. 119th St. & 1000-1234 W. 120th St.

INTRODUCTION DATE: APRIL 17, 2024

CHICAGO PLAN COMMISSION DATE: JUNE 20, 2024

REVISION:

- 01 05.03.2024
- 02 06.18.2024
- 03 06.19.2024

SHEET L-4



GARY R. WEBER ASSOCIATES, INC.

LAND PLANNING  
 ECOLOGICAL CONSULTING  
 LANDSCAPE ARCHITECTURE  
 402 W. LIBERTY DRIVE  
 WHEATON, ILLINOIS 60187  
 PHONE: 630-668-7197

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**SIGN NOTES:**

- SIGN BACKGROUND COLOR:  
C=40, M=70, Y=100, K=28  
SIGN FONT AND GRAPHIC COLOR: WHITE
- FONT STYLE: MYRIAD PRO  
FONT SIZE: 116 PT.
- SIGN ARTWORK SHALL BE PROVIDED BY  
GARY R. WEBER ASSOCIATES, INC.
- CONTRACTOR TO SUBMIT SHOP DRAWING AND  
COLOR SAMPLE FOR THE PROTECTED NATIVE  
VEGETATION SIGN FOR REVIEW AND  
APPROVAL BY THE LANDSCAPE ARCHITECT  
PRIOR TO FABRICATION AND INSTALLATION.

**NATIVE AREA SIGN DETAIL**  
NOT TO SCALE

**ORNAMENTAL FENCE DETAIL**  
NOT TO SCALE

**NATURALIZED STORMWATER BASIN SECTION**  
NOT TO SCALE

**DECIDUOUS TREES**  
NOT TO SCALE

**DECIDUOUS AND EVERGREEN SHRUBS**  
NOT TO SCALE

**LEGEND**

TREE TO REMAIN

TREE TO BE REMOVED

**LANDSCAPE DETAILS**

APPLICANT: West Pullman Development Partners, LLC.

ADDRESS: 1001-1235 W. 119th St. & 1000-1234 W. 120th St.

INTRODUCTION DATE: APRIL 17, 2024  
CHICAGO PLAN COMMISSION DATE: JUNE 20, 2024

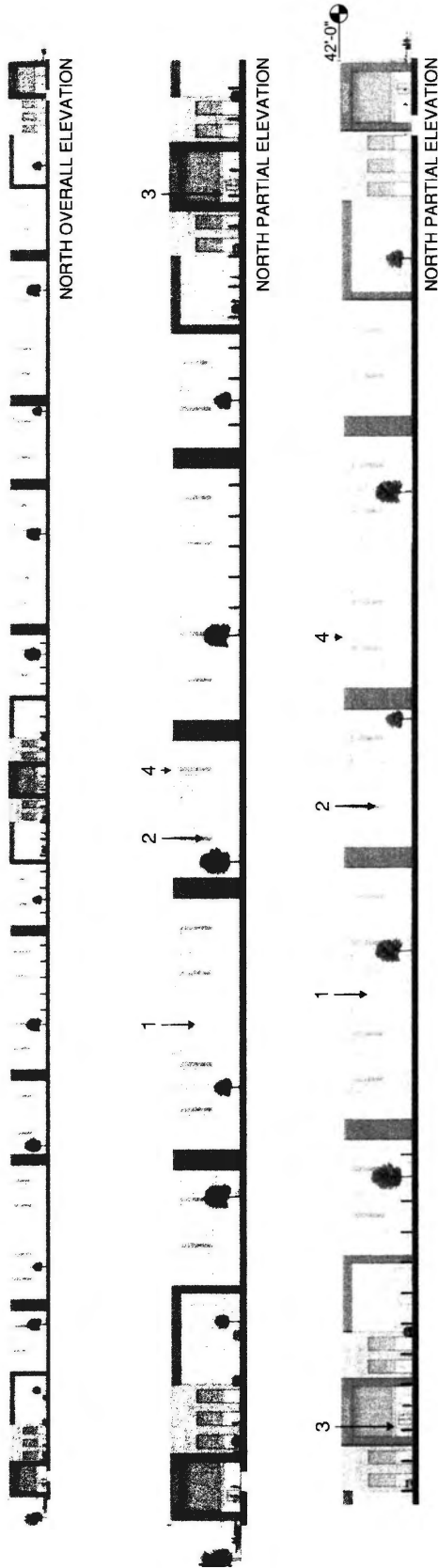
REVISION:

01	05.03.2024
02	06.18.2024
03	06.19.2024

**SHEET L-5**

**GARY R. WEBER ASSOCIATES, INC.**

LAND PLANNING  
ECOLOGICAL CONSULTING  
LANDSCAPE ARCHITECTURE  
402 W. LIBERTY DRIVE  
WHEATON, ILLINOIS 60187  
PHONE: 630-668-7197



**FINAL FOR PUBLICATION**

**KEYNOTES**

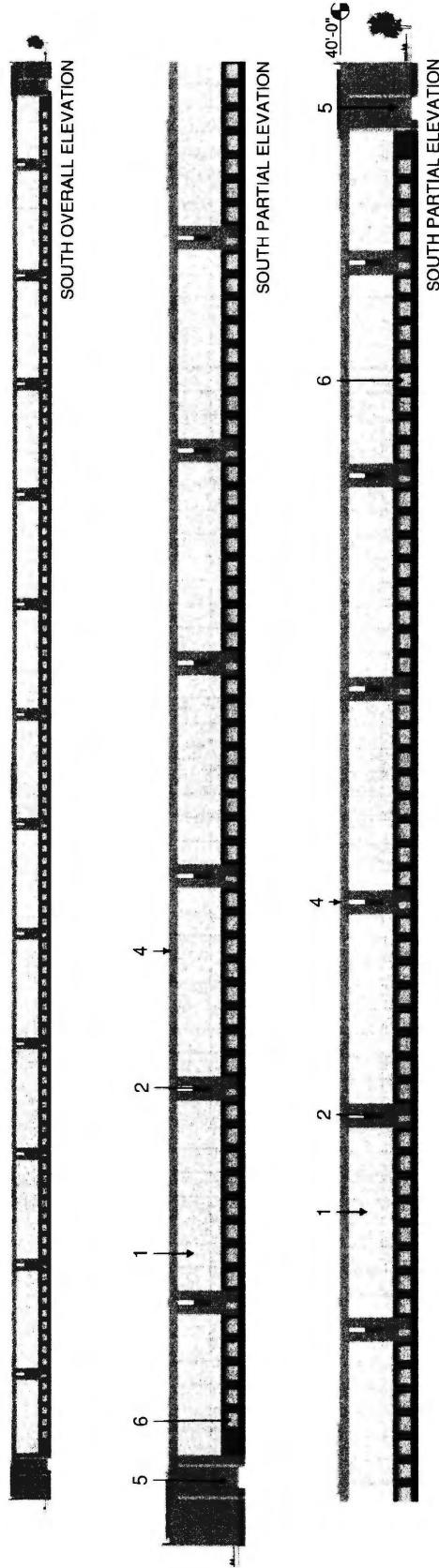
- 1 CONCRETE PANEL W/ REVEALS
- 2 HIGH PERFORMANCE GLAZING SYSTEM W/ ALUMINUM MULLIONS
- 3 ALUMINUM COMPOSITE METAL PANEL
- 4 METAL COPING TO MATCH ADJACENT PRECAST PANEL
- 5 12'X14' DRIVE-IN-DOOR
- 6 9'X10' DOCK DOOR WITH LEVELER SEAL AND BUMPERS

APPLICANT: WEST PULLMAN DEVELOPMENT PARTNERS, LLC  
 ADDRESS: 1001-1235 W. 119th Street and 1000-1234 W. 120th Street  
 INTRODUCED: April 17, 2024  
 PLAN COMMISSION: 06.20.2024



ELEVATIONS 119<sup>TH</sup> ST INDUSTRIAL - H1022 (02.20.2024)

WARF, MALCOMB 06.20.2024



FINAL FOR PUBLICATION

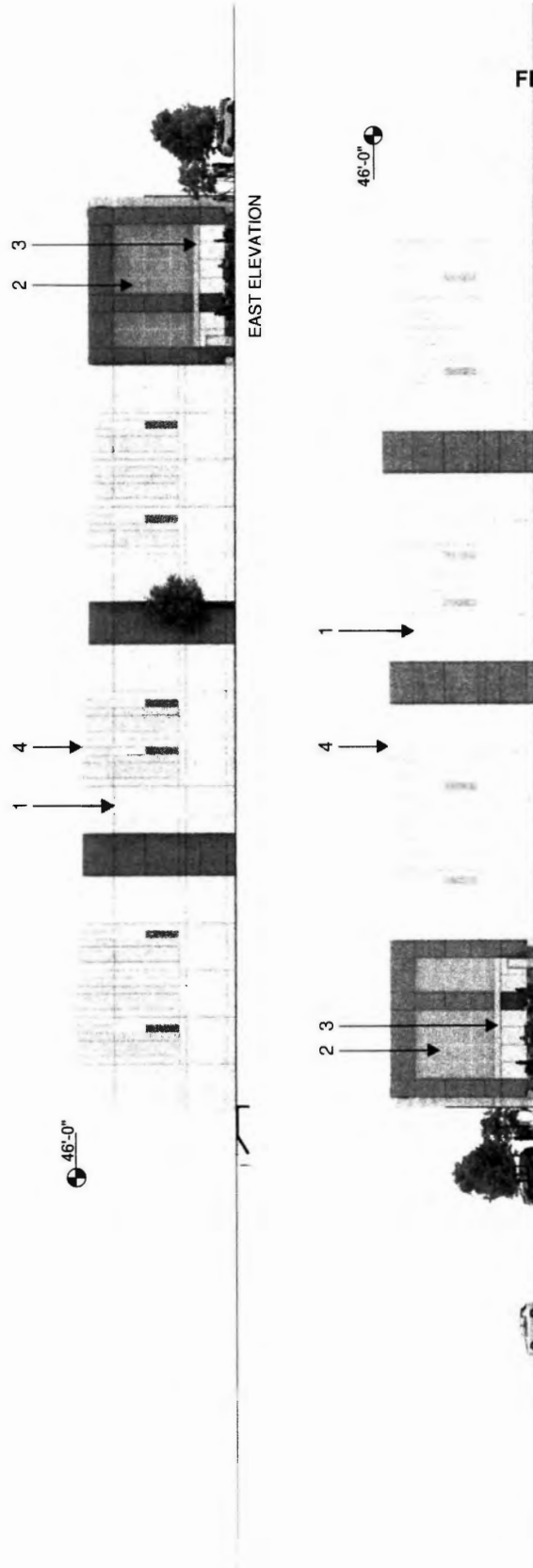
KEYNOTES

- 1 CONCRETE PANEL W/ REVEALS
- 2 HIGH PERFORMANCE GLAZING SYSTEM W/ ALUMINUM MULLIONS
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APPLICANT: WEST PULLMAN DEVELOPMENT PARTNERS, LLC  
 ADDRESS: 1001-1235 W. 119th Street and 1000-1234 W. 120th Street  
 INTRODUCED: April 17, 2024  
 PLAN COMMISSION: 06.20.2024



ELEVATIONS 119th ST INDUSTRIAL U.M.D. 22 0027 (1)  
 WARRI, MALCOMB 06.20.2024



FINAL FOR PUBLICATION

KEYNOTES

- 1 CONCRETE PANEL W/ REVEALS
- 2 HIGH PERFORMANCE GLAZING SYSTEM W/ ALUMINUM MULLIONS
- 3 ALUMINUM COMPOSITE METAL PANEL
- 4 METAL COPING TO MATCH ADJACENT PRECAST PANEL
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- 6 WITH LEVELER SEAL AND BUMPERS

APPLICANT: WEST PULLMAN DEVELOPMENT PARTNERS, LLC  
 ADDRESS: 1001-1235 W. 119th Street and 1000-1234 W. 120th Street  
 INTRODUCED: April 17, 2024  
 PLAN COMMISSION: 06.20.2024



ELEVATIONS  
 119th ST INDUSTRIAL - 1022-1027-10

WARH: MALCOMB 06.20.2024

*Reclassification Of Area Shown On Map No. 91-B.*

(As Amended)

(Application No. 22283)

(Common Address: 335 -- 375 N. Pulaski Rd.)

[SO2023-0005684]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all the Planned Manufacturing District Number 9 symbols and indications as shown on Map Number 91-B in the area bounded by:

the southern lot line of the Chicago Northwestern Railroad right-of-way; a line 627 feet, 99 inches east of North Pulaski Road; a line 93 feet, 78 inches south of the southern lot line of the Chicago Northwestern Railroad right-of-way; a line to the public alley parallel to and immediately west of North Avers Avenue; a line 560 feet south of the southern lot line of the Chicago Northwestern Railroad right-of-way; North Harding Avenue; a line 400 feet south of the southern lot line of the Chicago Northwestern Railroad right-of-way; the public alley parallel to and immediately east of North Pulaski Road; a line 488 feet south of the southern lot line of the Chicago Northwestern Railroad right-of-way; and North Pulaski Road,

to those of the designation of an Institutional Planned Development, which is hereby established in the area described above subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

*Institutional Planned Development No. \_\_\_\_\_.*

*Planned Development Statements.*

1. The area delineated herein as Institutional Planned Development Number \_\_\_\_\_ ("Planned Development") consists of approximately 339,292 square feet of property which is depicted on the attached Planned Development Boundary and Property Line Map ("Property") and is owned or controlled by the Applicant, the Chicago Transit Authority, and the Cook County Land Bank Authority.
2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors. All rights

granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time of application for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400.

3. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustment of the right-of-way shall require a separate submittal to the Department of Transportation on behalf of the Applicant or its successors, assigns or grantees.

Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the Planned Development.

Ingress or egress shall be pursuant to the Planned Development and may be subject to the review and approval of the Departments of Planning and Development and Transportation. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of the Department of Transportation.

Pursuant to a negotiated and executed Perimeter Restoration Agreement ("Agreement") by and between the Department of Transportation's Division of Infrastructure Management and the Applicant, the Applicant shall provide improvements and restoration of all public way adjacent to the Property, which may include, but not be limited to the following as shall be reviewed and determined by the Department of Transportation's Division of Infrastructure Management:

- Full width of streets
- Full width of alleys
- Curb and gutter
- Pavement markings
- Sidewalks
- ADA crosswalk ramps
- Parkway and landscaping

The Applicant will be required to review the Department of Transportation's Vision Zero recommendations, dated May 6, 2024, and obtain approval of any proposed improvements to North Pulaski Road from both the Illinois Department of Transportation and the Chicago Department of Transportation. The agreed upon

design improvements will be incorporated into the Perimeter Restoration Agreement which shall be executed prior to any Department of Transportation and Planned Development Part II review permitting. The Agreement shall reflect that all work must comply with current Rules and Regulations and must be designed and constructed in accordance with the Department of Transportation's Construction Standards for Work in the Public Way and in compliance with the Municipal Code of Chicago Chapter 10-20. Design of said improvements should follow the Department of Transportation's Rules and Regulations for Construction in the Public Way, as well as The Street and Site Plan Design Guidelines. Any variation in scope or design of public way improvements and restoration must be approved by the Department of Transportation.

4. This plan of development consists of 16 Statements: Bulk Regulations and Data Table; Existing Zoning Map; Existing Land-Use Map; Existing Site Survey; Planned Development Boundary Map; Site Aerial; Dedication and Vacation Map; Site Plan(s); Circulation Diagram(s); Planting Plan(s); Overall Floor Plan(s); Roof Plan; Building Elevations (North, South, East and West); Street Elevations; and Sustainable Design Matrix prepared by Lamar Johnson Collaborative and dated June 20, 2024 submitted herein. In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance, and all requirements thereto, and satisfies the established criteria for approval as a Planned Development. In case of a conflict between the terms of this Planned Development ordinance and the Chicago Zoning Ordinance, this Planned Development shall control.
5. The following uses are permitted in the area delineated herein as a Planned Development: office; utilities and services, minor; utilities and services, major wireless communication facility; and accessory parking.
6. On-premises signs and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development, subject to the review and approval of the Department of Planning and Development. Off-premises signs are prohibited within the boundary of the Planned Development.
7. For purposes of height measurement, the definitions in the Chicago Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by the Federal Aviation Administration.
8. The maximum permitted floor area ratio ("FAR") for the Property shall be in accordance with the attached Bulk Regulations and Data Table. For the purpose of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply. The permitted FAR identified in the Bulk Regulations and Data Table has been determined using a net site area of 339,292 square feet and a base FAR of 0.47.
9. Upon review and determination, "Part II review", pursuant to Section 17-13-0610, a Part II review fee shall be assessed by the Department of Planning and Development.

The fee, as determined by staff at the time, is final and binding on the Applicant and must be paid to the Department of Revenue prior to the issuance of any Part II approval.

10. The Site and Planting Plans shall be in substantial conformance with the Landscape Ordinance and any other corresponding regulations and guidelines, including Section 17-13-0800. Final landscape plan review and approval will be by the Department of Planning and Development. Any interim reviews associated with site plan review or Part II reviews, are conditional until final Part II approval.
11. The Applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Fleet and Facility Management and Buildings, under Section 13-32-085 of the Municipal Code, or any other provision of the Municipal Code of Chicago.
12. The terms and conditions of development under this Planned Development ordinance may be modified administratively, pursuant to Section 17-13-0611-A by the Zoning Administrator upon the application for such a modification by the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors.
13. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
14. The Applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources. The Applicant shall obtain the number of points necessary to meet the requirements of the Chicago Sustainable Development Policy, in effect at the time the Part II review process is initiated for each improvement that is subject to the aforementioned policy and must provide documentation verifying compliance.
15. The Applicant acknowledges that it is the policy of the City to maximize opportunities for Minority- and Women-owned Business Enterprises ("M/WBEs") and city residents to compete for contracts and jobs on construction projects approved through the planned development process. The Applicant, in accordance with the regulations associated with its funding, provides for a Disadvantaged Business Enterprise ("DBE") program that is based on similar goals and will be assessed on design and construction contract procurements. For this project, DBE participation will be inclusive of firms who are also M/WBEs. For this development, the Applicant will be assessed a 28 percent DBE and M/WBE goal within the design-build contract excluding any technology purchases.

The Applicant also has established the following workforce goals on this project: Careers Opportunity Goal 10 percent, Apprentice Goal 10 percent, Service Area Economically Disadvantaged Area ("EDA") Goal: 35 percent. Please note that all workforce goals are a percentage of total labor hours anticipated to be performed on the contract. The Careers Opportunity Goal is designed to provide opportunities for individuals who are Workforce Innovation and Opportunity Act ("WIOA") eligible or Section 3 Workers. The Apprentice Goal is designed to assist current building trades apprentices in earning their hours to become journey workers and create opportunities for new apprentices who have previously faced challenges in attaining journey worker status due to economic hardship, race or gender. The Service Area EDA Goal is designed to provide opportunities for individuals who reside in zip codes within the CTA Service Area with a median household income of \$45,000 or less. It is anticipated that the majority of work hours that meet this goal will come from individuals who reside within the City of Chicago and/or the six-county area identified in the City M/WBE program.

To assist the City in promoting and tracking such M/WBE and city resident participation, an applicant for planned development approval shall provide information at three points in the City approval process. First, the Applicant will submit to DPD, as part of its application for planned development approval, a DBE and M/WBE Participation Proposal. The DBE and M/WBE Participation Proposal will identify the applicant's goals for participation of certified DBE firms in the design, engineering and construction of the project, and of city residents in the construction work. The DBE and M/WBE Participation Proposal must include a description of the applicant's proposed outreach plan designed to inform DBEs, M/WBEs and city residents of job and contracting opportunities. Second, at the time of the applicant's submission for Part II permit review for the project or any phase thereof, the applicant must submit to DPD: (a) updates (if any) to the applicant's preliminary outreach plan; (b) a description of the applicant's outreach efforts and evidence of such outreach, including, without limitation, copies of certified letters to DBE and M/WBE contractor associations and the ward office of the alderman in which the project is located and receipts thereof; (c) responses to the applicant's outreach efforts; and (d) updates (if any) to the applicant's DBE, M/WBE, and city resident participation goals. Third, prior to issuance of a Certificate of Occupancy for the project or any phase thereof, the applicant must provide DPD with the actual level of DBE, M/WBE and city resident participation in the project or any phase thereof, and evidence of such participation. In addition to the foregoing, DPD may request such additional information as the department determines may be necessary or useful in evaluating the extent to which DBEs and city residents are informed of and utilized in planned development projects. All such information will be provided in a form acceptable to the Zoning Administrator. DPD will report the data it collects regarding projected and actual employment of M/WBEs and city residents in planned development projects twice yearly to the Chicago Plan Commission and annually to the Chicago City Council and the Mayor.

16. This Planned Development shall be governed by Section 17-13-0612. Should this Planned Development ordinance lapse, the Zoning Administrator shall initiate a zoning map amendment to rezone the Property to Planned Manufacturing District Number 9.

[Existing Zoning Map; Existing Land-Use Map; Existing Site Survey; Boundary Map; Site Aerial; Dimensioned Site Plan; Site Plan; Areas A and B -- Dimensioned Site Plans; Areas A and B -- Planting Plan; Planting Details; VUA Summary; Tree Summary; Grading Plan; Dimensioned Landscape Plan; Circulation Diagrams; Pedestrian Circulation; East and West Building Elevations; and Chicago Sustainable Development Policy 2017 referred to in these Plan of Development Statements printed on pages 15172 through 15193 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements read as follows:

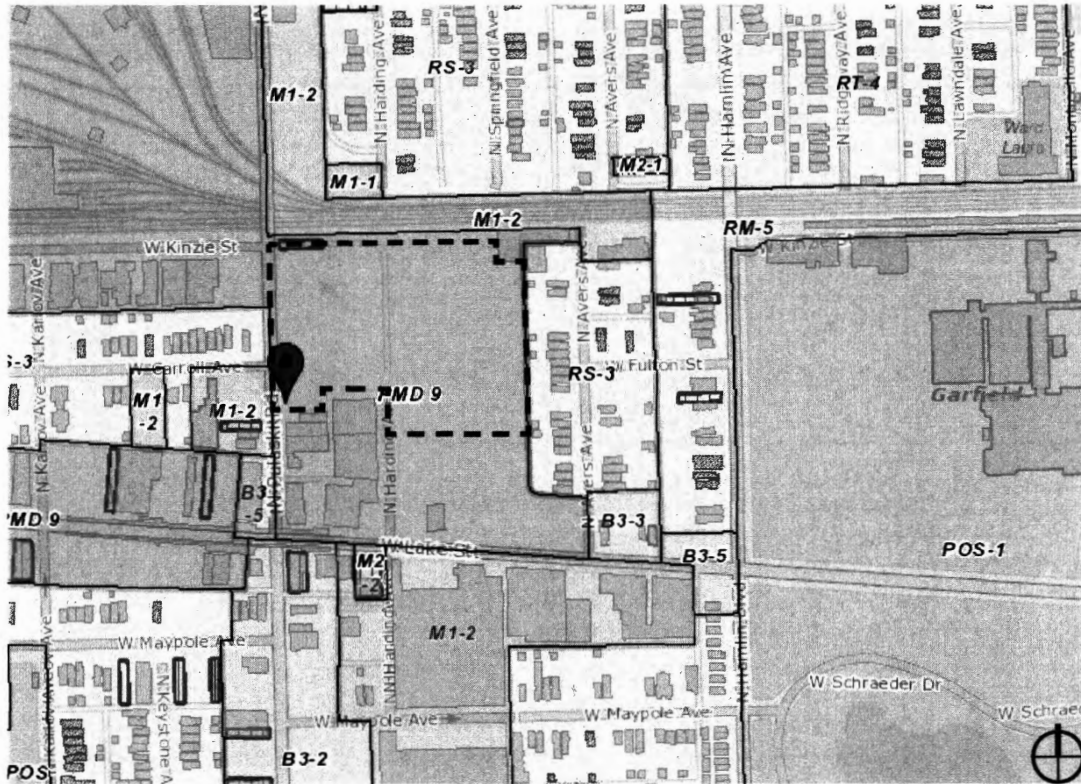
*Institutional Planned Development No. \_\_\_\_\_.*

*Bulk Regulations And Data Table.*

Gross Site Area (366,361 square feet) = Net Site Area (339,996 square feet) + Area Remaining in Public Rights-of-Way (26,635 square feet).

Permitted Uses:	Office and Utilities and Services, Major and Minor
Maximum Floor Area Ratio:	0.47
Maximum Number of Dwelling Units:	Not Applicable
Minimum Number of Required Accessory Off-Street Parking Spaces:	34 spaces
Minimum Number of Bicycle Spaces:	18 spaces
Minimum Number of Off-Street Loading Spaces:	2 spaces
Setbacks:	In substantial conformance with the Site and Landscape Plans
Maximum Building Height:	56 feet

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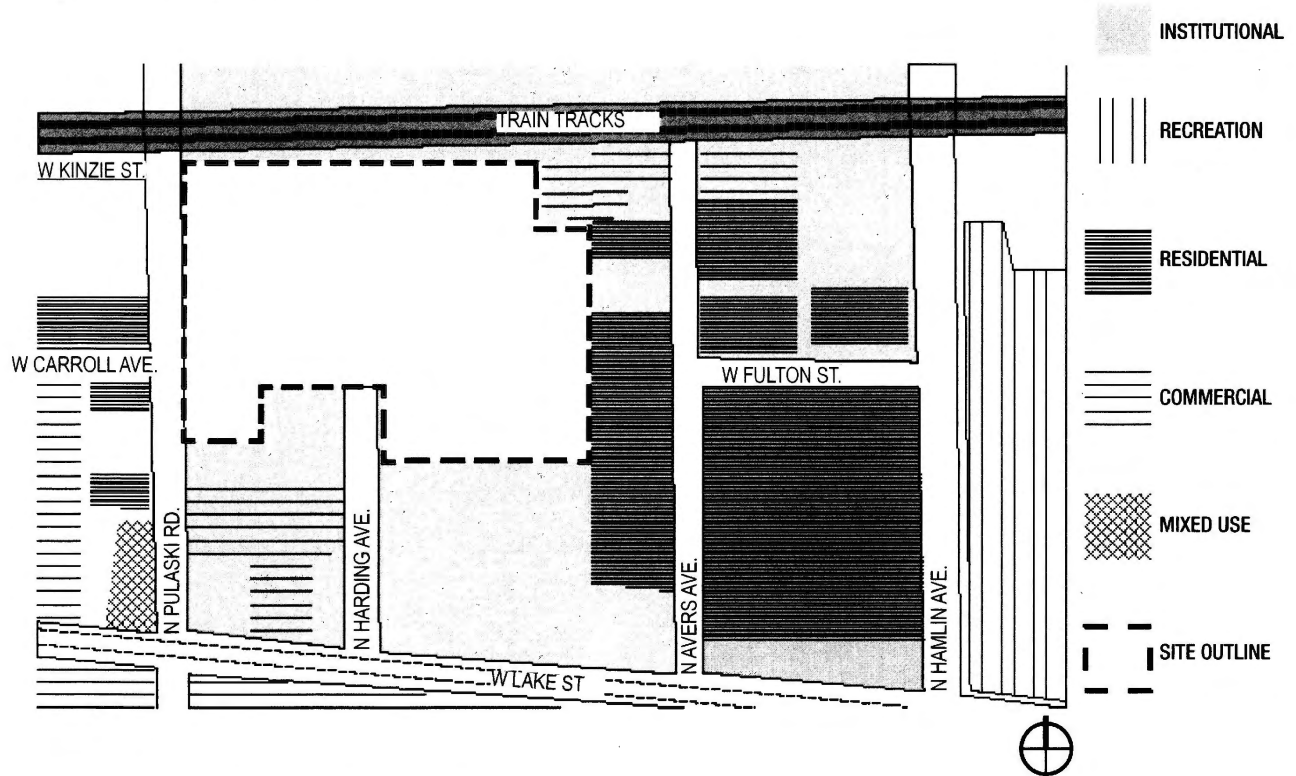
### EXISTING ZONING MAP

Applicant: Chicago Transit Authority  
 Address: 335-375 N. Pulaski Road  
 Introduced: November 1, 2023  
 Plan Commission: June 20, 2024  
 Page 1

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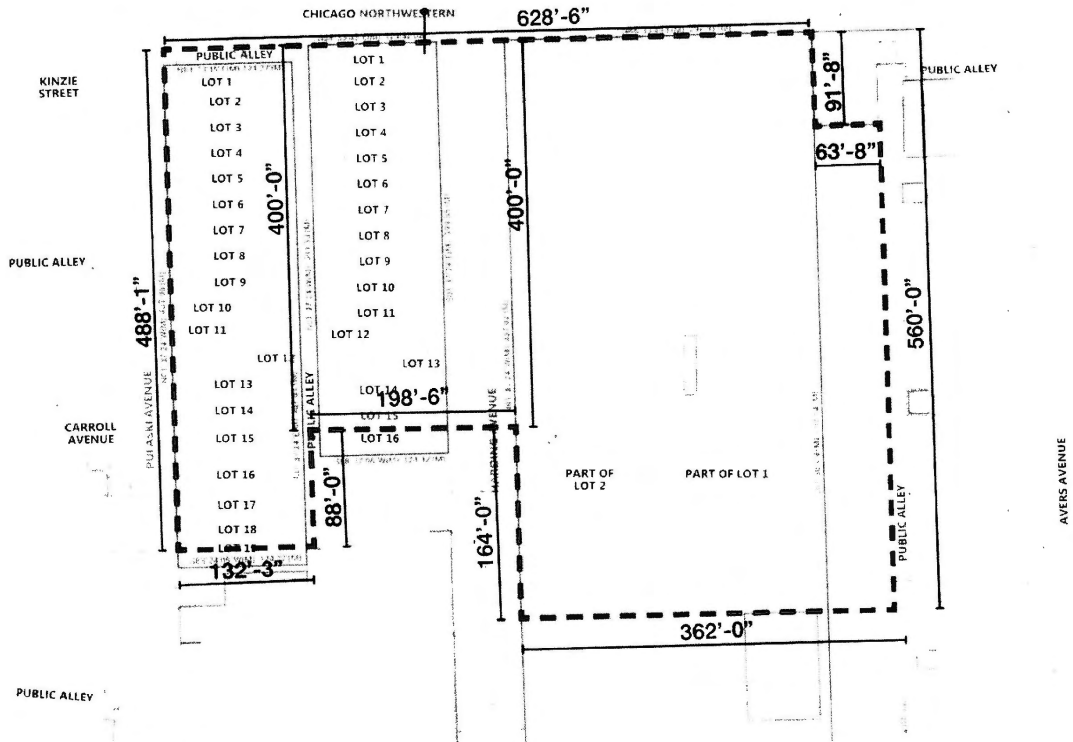
### EXISTING LAND USE MAP

Applicant: Chicago Transit Authority  
 Address: 335-375 N. Pulaski Road  
 Introduced: November 1, 2023  
 Plan Commission: June 20, 2024  
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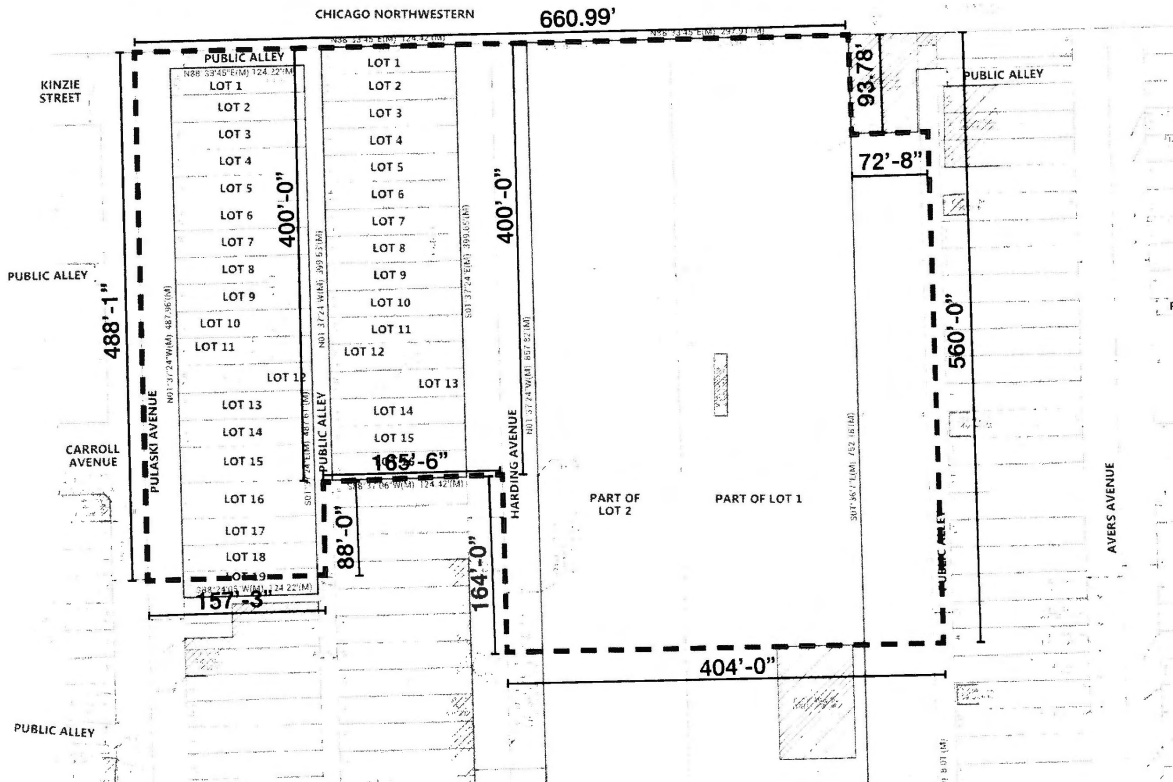
Existing Site Survey

Applicant: Chicago Transit Authority  
 Address: 335-375 N. Pulaski Road  
 Introduced: October 18, 2023  
 Plan Commission:  
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### PD BOUNDARY MAP

Applicant: Chicago Transit Authority  
 Address: 335-375 N. Pulaski Road  
 Introduced: November 1, 2023  
 Plan Commission: June 20, 2024  
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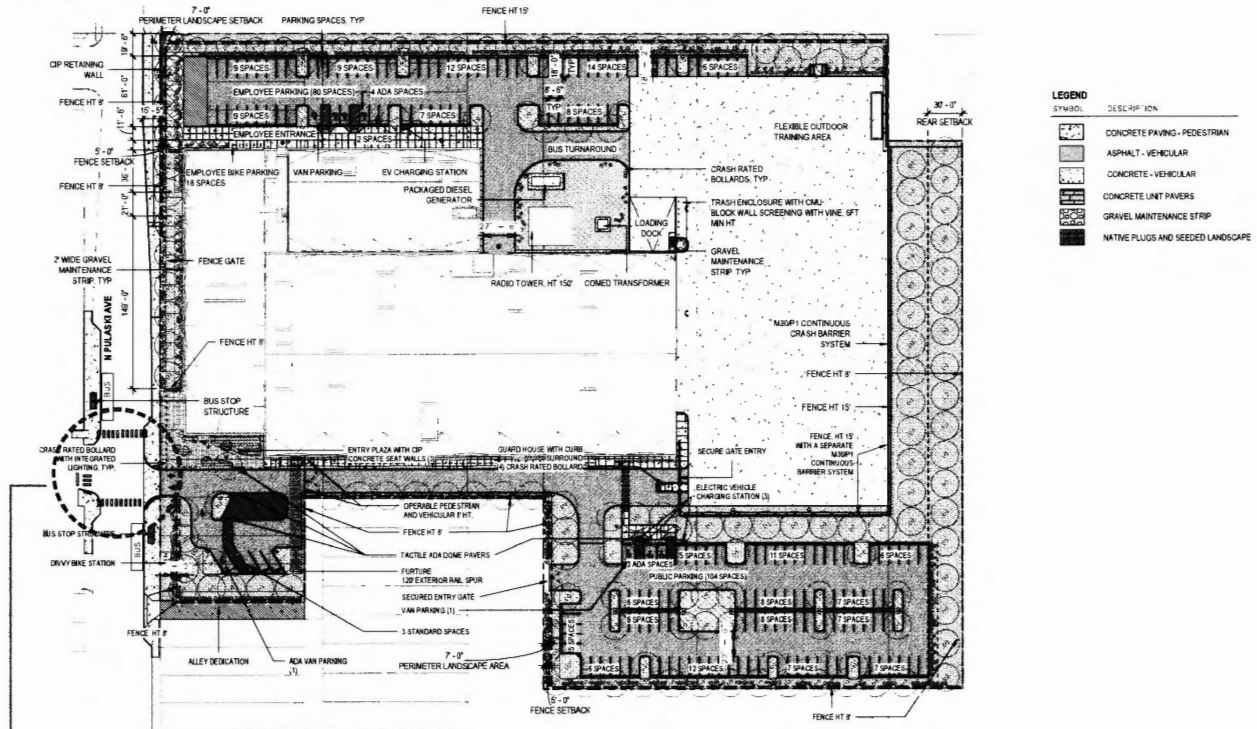
Site Aerial

Applicant: Chicago Transit Authority  
Address: 335-375 N. Pulaski Road  
Introduced: October 18, 2023  
Plan Commission:  
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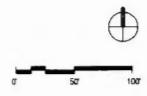
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The design improvements for the Pulaski Road and Carroll Avenue intersection must be coordinated with CDDT, PRC and approval of such improvements obtained from IDOT prior to building permits being issued.

### DIMENSIONED SITE PLAN

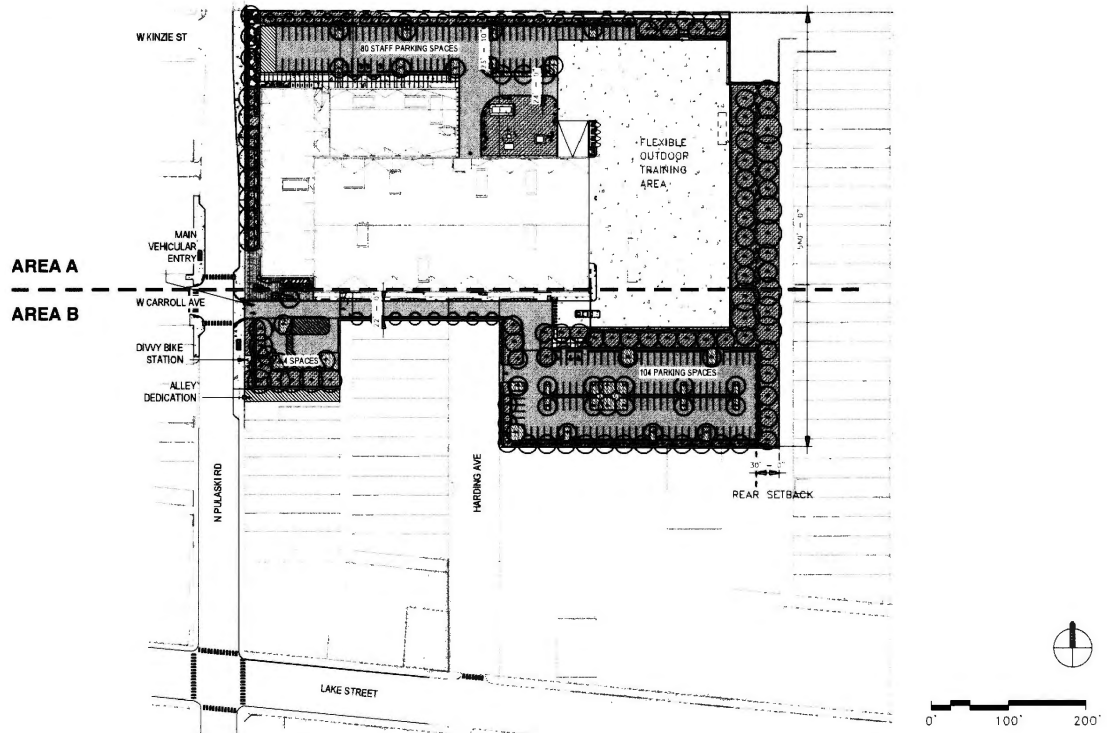


Applicant: Chicago Transit Authority  
 Address: 335-375 N. Pulaski Road  
 Introduced: November 1, 2023  
 Plan Commission: June 20, 2024  
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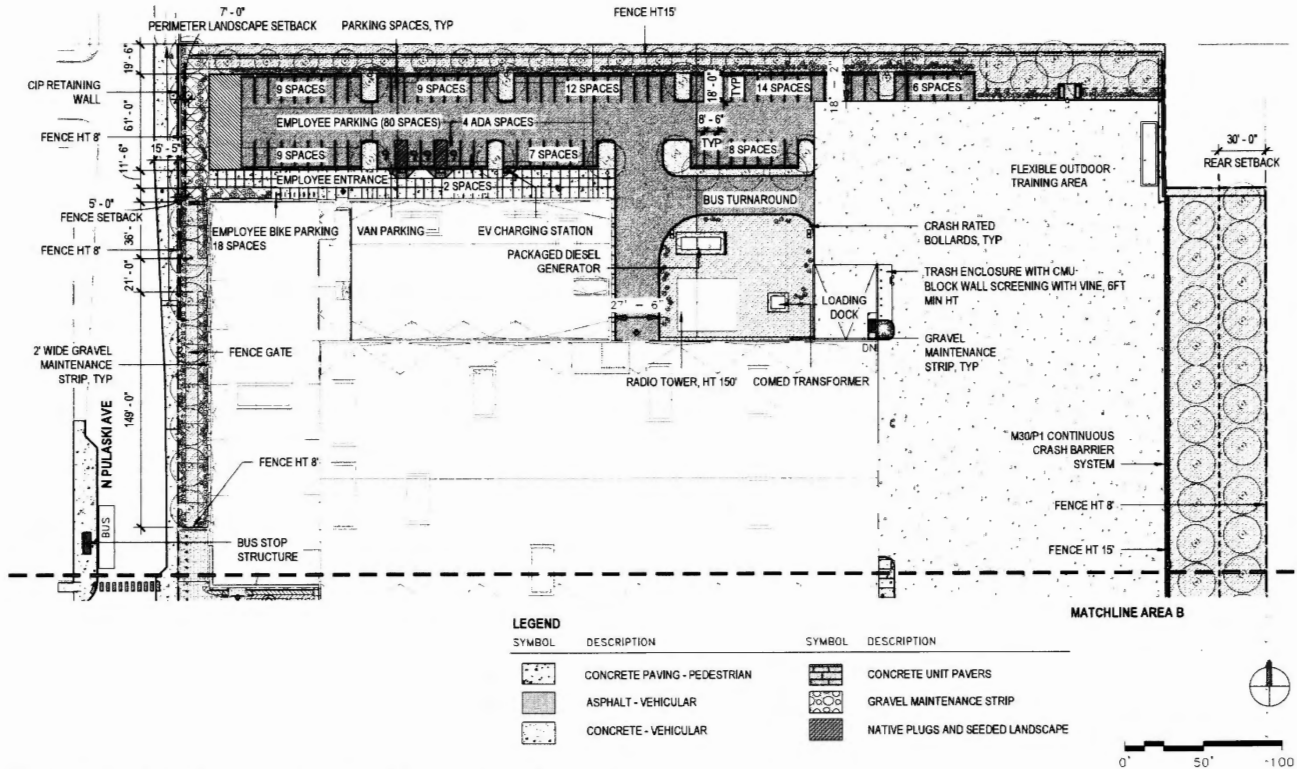
# SITE PLAN

Applicant: Chicago Transit Authority  
 Address: 335-375 N. Pulaski Road  
 Introduced: November 1, 2023  
 Plan Commission: June 20, 2024  
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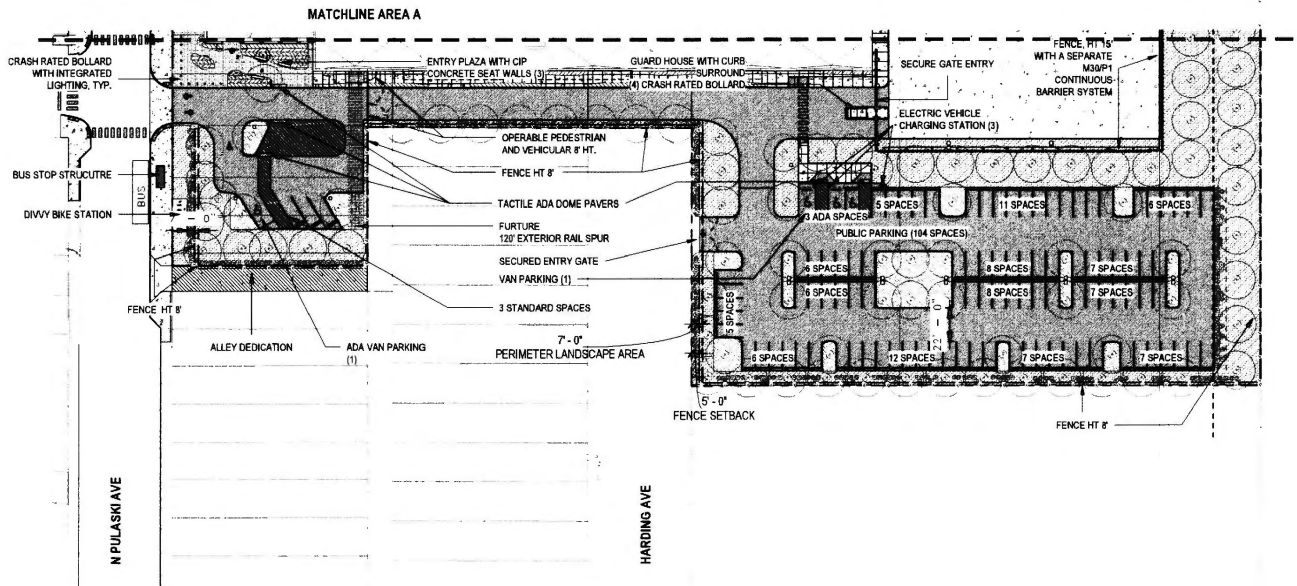
DIMENSIONED SITE PLAN - AREA A

Applicant: Chicago Transit Authority  
 Address: 335-375 N. Pulaski Road  
 Introduced: November 1, 2023  
 Plan Commission: June 20, 2024  
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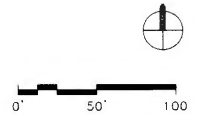
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LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
[Pattern]	CONCRETE PAVING - PEDESTRIAN	[Pattern]	CONCRETE UNIT PAVERS
[Pattern]	ASPHALT - VEHICULAR	[Pattern]	GRAVEL MAINTENANCE STRIP
[Pattern]	CONCRETE - VEHICULAR	[Pattern]	NATIVE PLUGS AND SEEDED LANDSCAPE



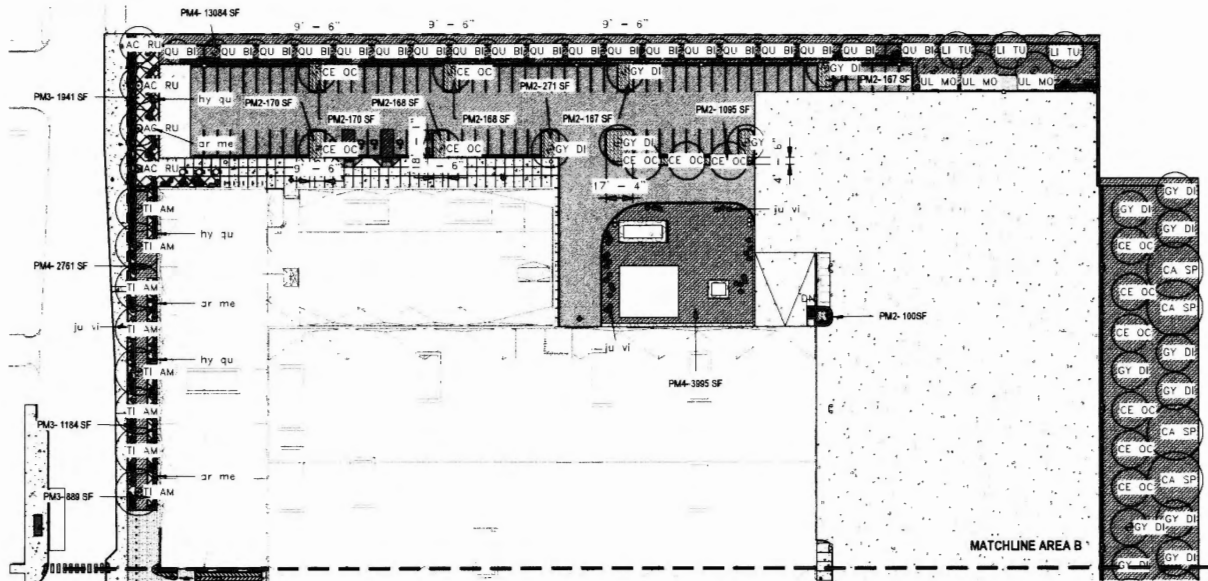
DIMENSIONED SITE PLAN - AREA B

Applicant: Chicago Transit Authority  
 Address: 335-375 N. Pulaski Road  
 Introduced: November 1, 2023  
 Plan Commission: June 20, 2024  
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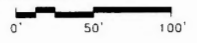
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FOMA; FPR [IB;OCTOPM



LEGEND		LEGEND		LEGEND	
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	DECIDUOUS CANOPY TREES - 2.5" CAL.		DECIDUOUS SHRUBS - 3 GAL.		PM-1 ORNAMENTAL PLANTING MIX
	EVERGREEN SHRUBS - 3 GAL.		PM-3 FOUNDATION PLANTING		PM-4 NATIVE PLUGS AND SEEDED LANDSCAPE



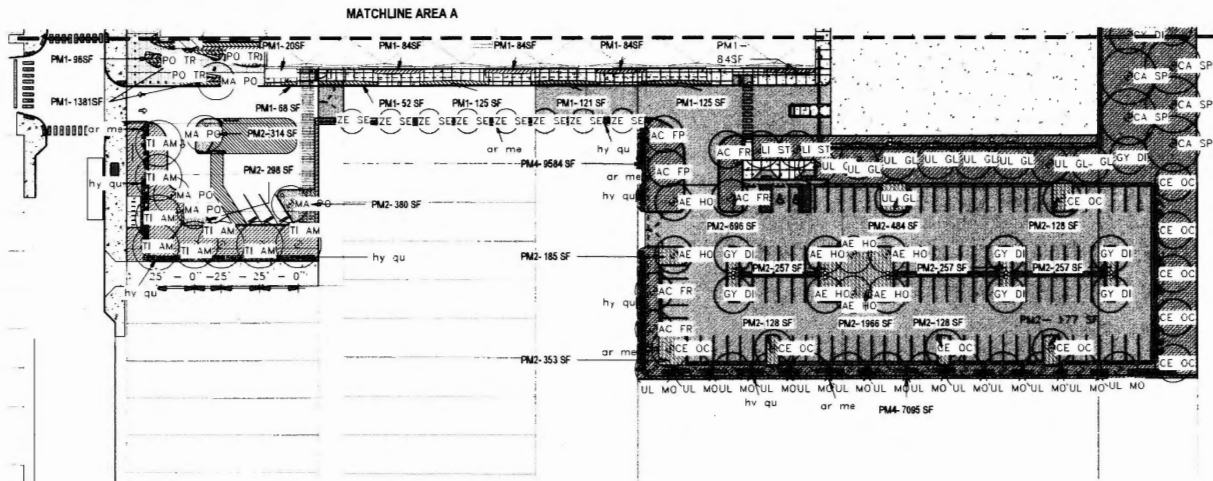
# PLANTING PLAN-AREA A

Applicant: Chicago Transit Authority  
 Address: 335-375 N. Pulaski Road  
 Introduced: November 1, 2023  
 Plan Commission: June 20, 2024  
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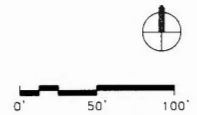
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LEGEND					
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	DECIDUOUS CANOPY TREES - 2.5' GAL.		DECIDUOUS SHRUBS - 3 GAL.		PM-1 ORNAMENTAL PLANTING MIX
	EVERGREEN SHRUBS - 3 GAL.				PM-2 MIXED PLANTING IN PARKING ISLANDS
					PM-3 FOUNDATION PLANTING
					PM-4 NATIVE PLUGS AND SEEDED LANDSCAPE



### PLANTING PLAN-AREA B

Applicant: Chicago Transit Authority  
 Address: 335-375 N. Pulaski Road  
 Introduced: November 1, 2023  
 Plan Commission: June 20, 2024  
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**PLANTING MIXES**

SYMBOL	COMMON NAME	LATIN NAME	
PM1	<b>PLANT MIX 1- ORNAMENTAL PLANTING MIX AT ENTRY</b>		
	<b>Ornamental Grasses and Sedges</b>		
	Prairie Dropseed	<i>Sporobolus heterolepis</i>	
	Fox Sedge	<i>Carex Vulpinoidea</i>	
	Switchgrass	<i>Panicum virgatum 'Shenandoah'</i>	
	<b>Herbaceous Perennials</b>		
	Black-Eyed Susan	<i>Rudbeckia 'American Goldrush'</i>	
	Summer Beauty	<i>Allium 'Summer Beauty'</i>	
	Catmint	<i>Nepeta 'Cat's Pajamas'</i>	
	Catmint	<i>Calamintha nepeta 'Montrose White'</i>	
	PM2	<b>PLANT MIX 2- PARKING LOT ISLANDS</b>	
		<b>Ornamental Grasses and Sedges</b>	
		Prairie Dropseed	<i>Sporobolus heterolepis</i>
		Palm Sedge	<i>Carex muskingumensis</i>
<b>Herbaceous Perennials</b>			
Black-Eyed Susan		<i>Rudbeckia 'American Goldrush'</i>	
Russian Sage		<i>Perovskia 'Blue Jean Baby'</i>	
PM3		<b>PLANT MIX 3- Foundation Planting</b>	
		<b>Ornamental Grasses and Sedges</b>	
		Switchgrass	<i>Panicum virgatum 'Northwind'</i>
	<b>Herbaceous Perennials</b>		
	Avondale Wood Aster	<i>Aster cordifolius 'Avondale'</i>	
	PM4	<b>PLANT MIX 4- Native Plants and Seeded Landscape</b>	
Low Profile Prairie Seed Mix			

**SHRUBS**

SYMBOL	COMMON NAME	LATIN NAME
ar me	Autumn Magic Black Chokeberry	<i>Aronia melanocarpa 'Autumn Magic'</i>
ju vi	Grey Owl Juniper	<i>Juniperus virginiana 'Grey Owl'</i>
hy qu	Sike's Dwarf Oakleaf Hydrangea	<i>Hydrangea quercifolia 'Sike's Dwarf'</i>

**DECIDUOUS TREES**

SYMBOL	COMMON NAME	LATIN NAME
AC FR	Marmo Maple	<i>Acer x freemanii 'Marmo'</i>
AC RU	Redpointe Maple	<i>Acer rubrum 'Frank Jr.'</i>
AE HO	Homestead Buckeye	<i>Aesculus Homestead Buckeye</i>
CA SP	Northern Cataipa	<i>Catalpa speciosa</i>
CE OC	Chicagoland Hackberry	<i>Celtis occidentalis 'Chicagoland'</i>
CE PS	Prairie Sentinel Hackberry	<i>Celtis occidentalis 'Prairie Sentinel'</i>
GY DI	Kentucky Coffeetree	<i>Gymnocladus dioica</i>
LI ST	Sweet Gum	<i>Liquidambar styraciflua</i>
LI TU	Columnar Tulip Tree	<i>Liriodendron tulipifera 'Fastigiatum'</i>
MA PD	White Shield Osage Orange	<i>Maclura pomifera 'White Shield'</i>
PO TR	Quaking Aspen	<i>Populus tremuloides</i>
QU BI	Beacon Oak	<i>Quercus bicolor 'Bonnie and Mike'</i>
RO PS	Black Locust	<i>Robinia pseudoacacia 'Chicago Blues'</i>
TI AM	American Sentry linden	<i>Tilia americana 'McKSentry'</i>
UL GL	Triumph Elm	<i>Ulmus Morton Glossy</i>
UL MO	Commemdation Elm	<i>Ulmus Morton Stalwart</i>
ZE SE	Musashino Japanese Zelkova	<i>Zelkova serrata 'Musashino'</i>

**EVERGREEN TREES**

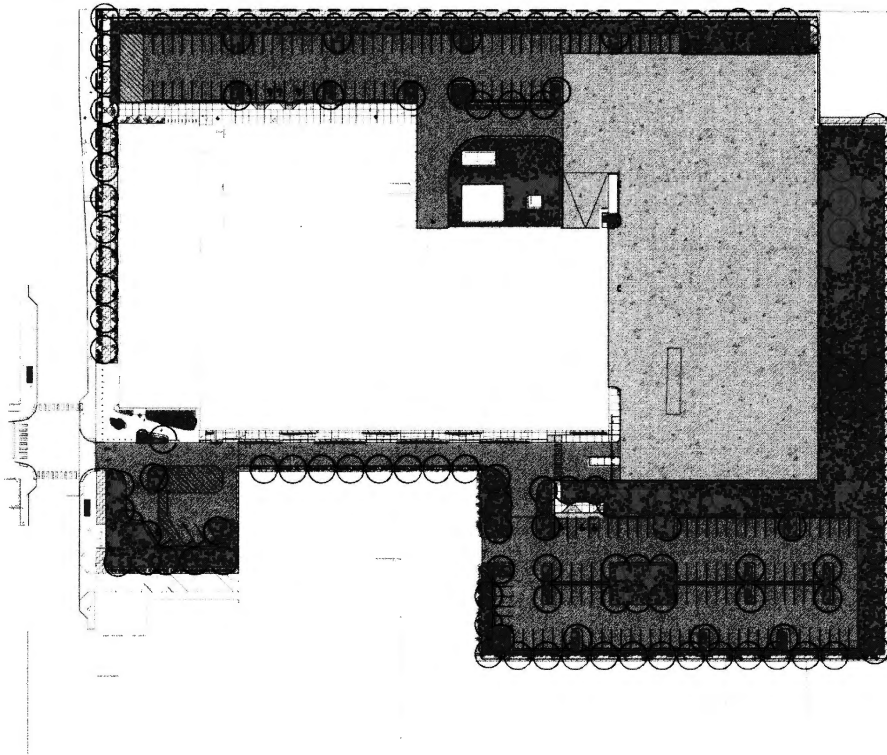
SYMBOL	COMMON NAME	LATIN NAME
JU CO	Emerald Sentinel Juniper	<i>Junipers virginiana 'Corcoran'</i>

Applicant: Chicago Transit Authority  
 Address: 335-375 N. Pulaski Road  
 Introduced: November 1, 2023  
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**SUMMARY**

Total Parking Lot Area + Total Vehicle Use Area (VUA)	150,543 SF
---	------------

**LANDSCAPE AREA**

Required landscape area 10% of parking and VUA (a)	15,054 SF
Provided landscape area	58,777 SF

**NUMBER OF TREES**

Required trees One tree per 125 SF of required landscape area (exclusive of perimeter tree planting)	(a) / 125 = 121 Trees
Provided trees	137 Trees

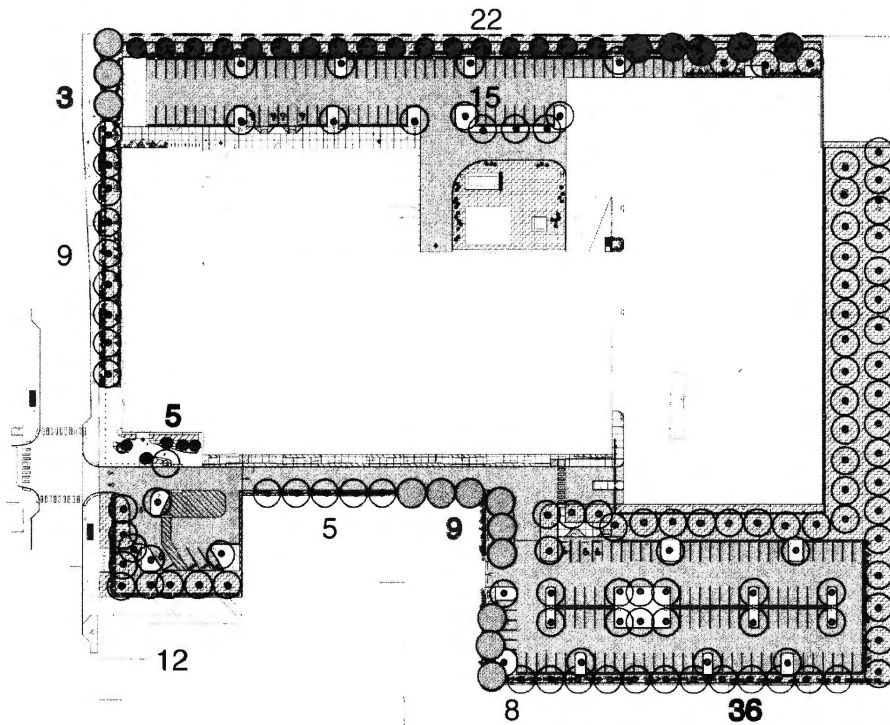
**LEGEND**

- Vehicle Use Area (VUA)
- Landscape Area if VUA is required

VUA SUMMARY

Applicant: Chicago Transit Authority  
 Address: 335-375 N. Pulaski Road  
 Introduced: November 1, 2023  
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**TREE SUMMARY**

All Trees	154
Perimeter ROW (a)	12
Multi stem (b)	5
<b>Final Tree Count</b>	<b>137</b>
All trees - (a) - (b)	

Columnar	22
----------	----

**LANDSCAPE AREA**

Required landscape area 10% of parking and VUA (x)	15,054 SF
Provided landscape area	58,777 SF

Required trees  
 One tree per 125 SF of required landscape area (exclusive of perimeter tree planting)

Provided trees 137 Trees

**Surplus trees**  
 Provided trees-required trees 137-121= 16 Trees

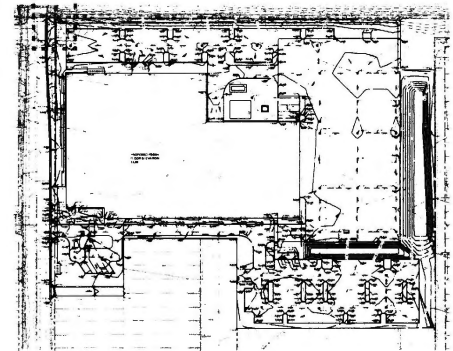
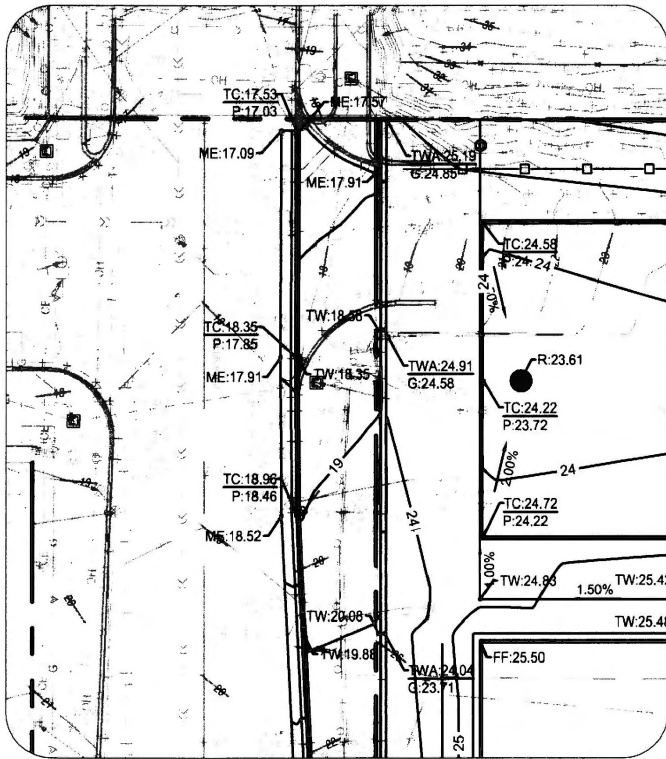
**TREE SUMMARY**

Applicant: Chicago Transit Authority  
 Address: 335-375 N. Pulaski Road  
 Introduced: November 1, 2023  
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Key Plan

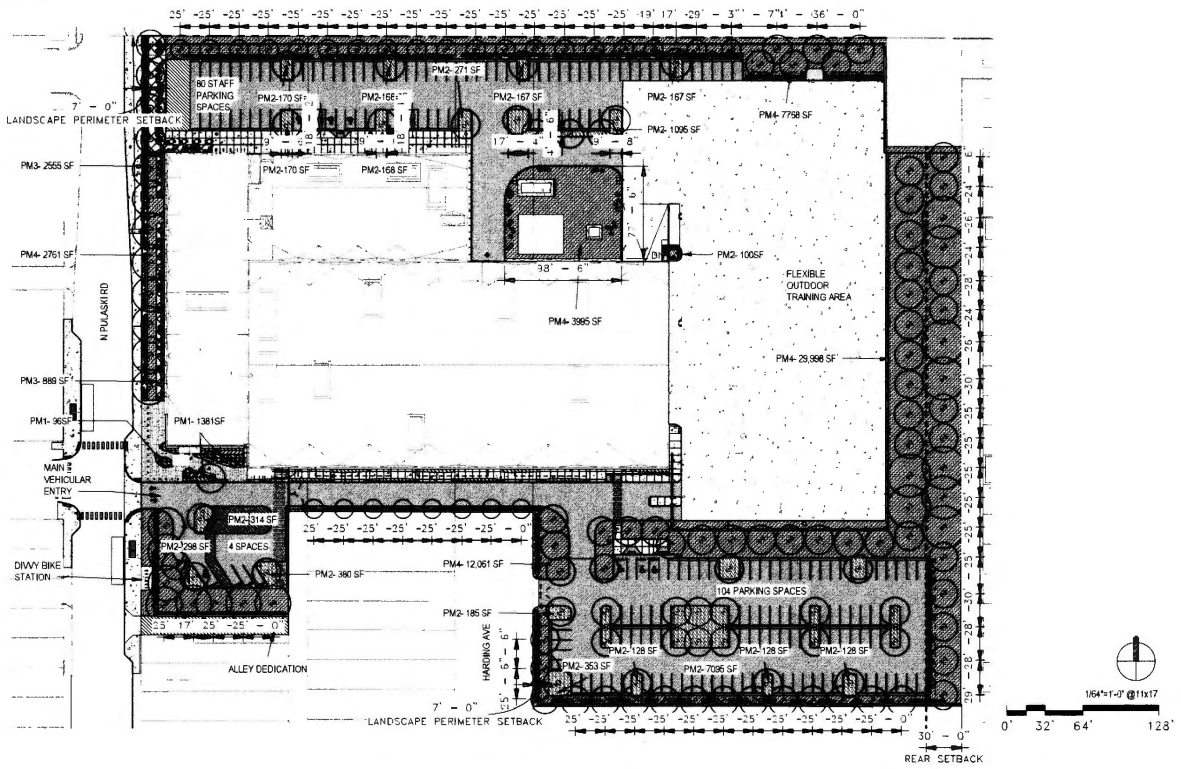
## GRADING PLAN- Sidewalk along Pulaski

Applicant: Chicago Transit Authority  
Address: 335-375 N. Pulaski Road  
Introduced: November 1, 2023  
Plan Commission: June 20, 2024  
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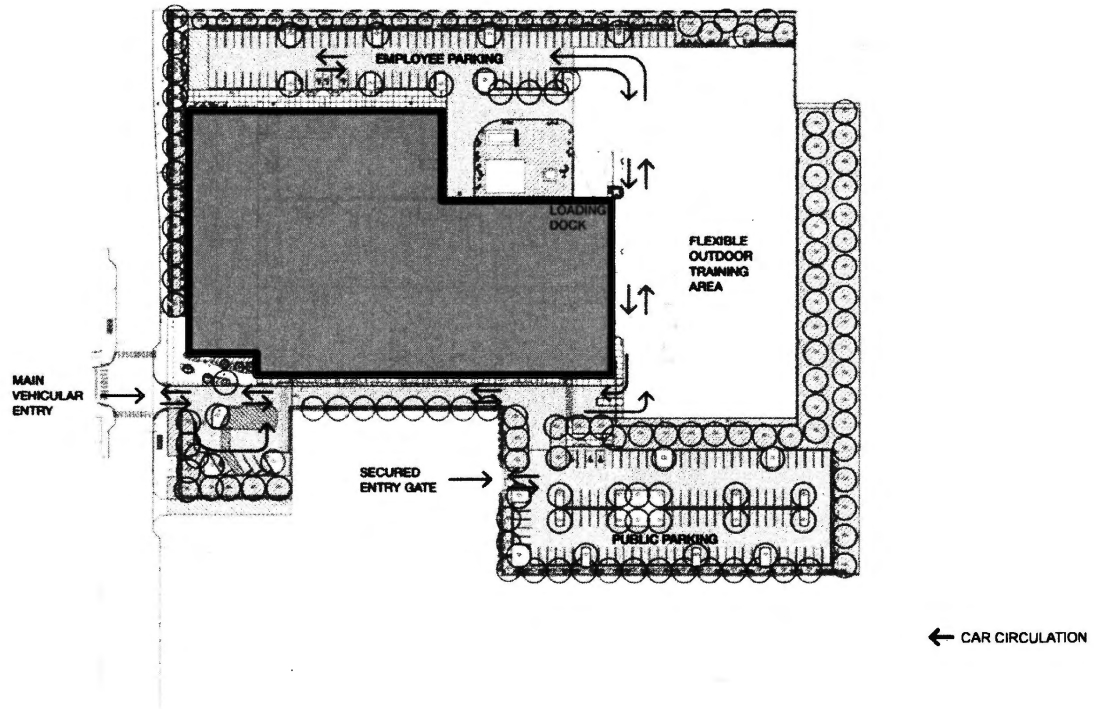
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DIMENSIONED LANDSCAPE PLAN

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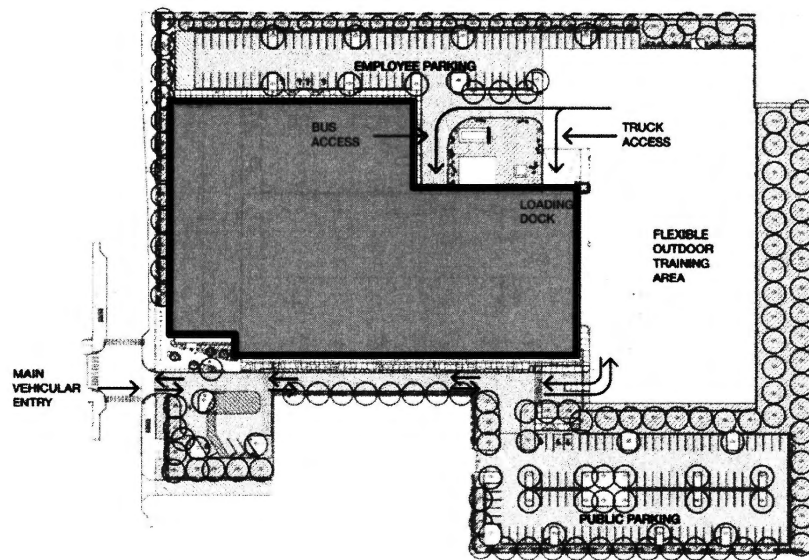
### Circulation Diagram

Applicant: Chicago Transit Authority  
Address: 335-375 N. Pulaski Road  
Introduced: October 18, 2023  
Plan Commission:  
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TRUCK/ BUS  
CIRCULATION

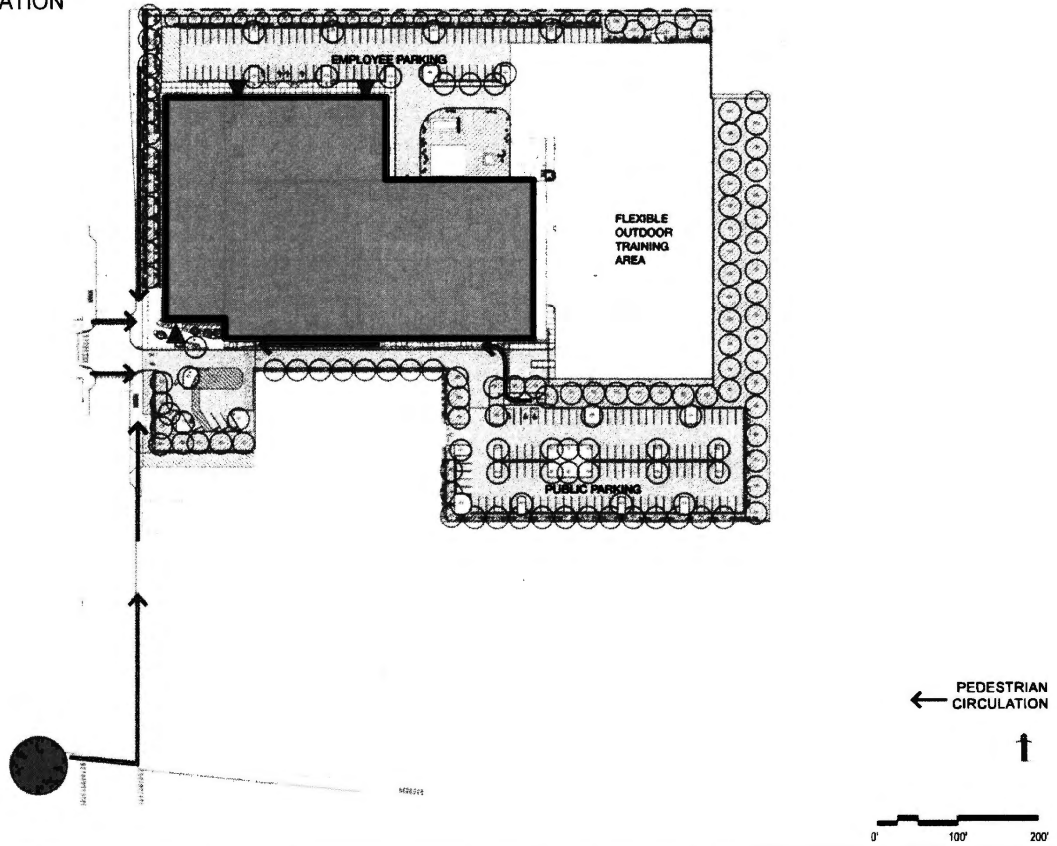
### Circulation Diagram

Applicant: Chicago Transit Authority  
Address: 335-375 N. Pulaski Road  
Introduced: October 18, 2023  
Plan Commission:  
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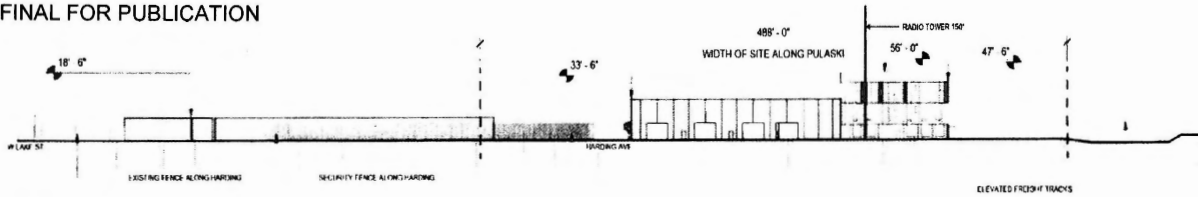


Applicant: Chicago Transit Authority  
Address: 335-375 N. Pulaski Road  
Introduced: October 18, 2023  
Plan Commission:  
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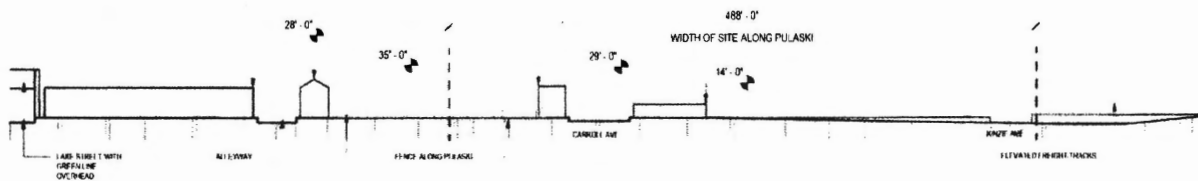
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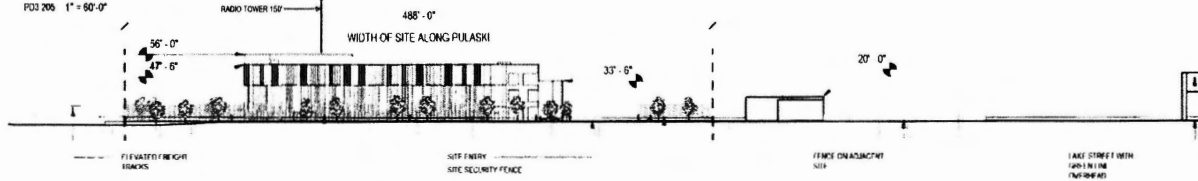
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1 EAST BUILDING ELEVATION LOOKING WEST  
PD3 205 1" = 50'-0"



2 PULASKI ELEVATION WEST  
PD3 205 1" = 50'-0"



1 WEST BUILDING ELEVATION LOOKING EAST  
PD3 205 1" = 50'-0"

## Street Elevations

Applicant: Chicago Transit Authority  
Address: 335-375 N. Pulaski Road  
Introduced: October 18, 2023  
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Chicago Sustainable Development Policy 2017 01.12



Compliance Options	Points Required	Sustainable Strategies Menu																																
		Health	Energy		Transportation	Landscapes	Green Roofs	Water	Transpiration	Solid Waste	Waste	Other																						
Compliance Paths	Starting Points Number of Openings - Joints Rough-in New Construction / Existing Building Rehabilitation	1.1 Achieve WELL Building Standard	1.2 Designed to earn the Energy Star	2.1 Exceed Energy Code (10%)	2.2 Exceed Energy Code (25%)	2.3 Exceed Energy Code (40%)	2.4 Onsite Renewable Energy (10%)	2.5 Onsite Renewable Energy (20%)	3.1 Exceed Sustainable Development 2016	3.2 LEED Silver Certification	3.3 LEED Gold Certification	3.4 LEED Platinum Certification	4.1 Green Roofs 25-100%	4.2 Green Roofs 100%	5.1 Indoor Water Use Reduction (25%)	5.2 Blue Roofs	6.1 Blue Roofs	7.1 Blue Roofs	8.1 65% Waste Diversion	8.2 Blue Roofs	9.1 Blue Roofs	9.2 Blue Roofs	9.3 Blue Roofs	9.4 Blue Roofs	9.5 Blue Roofs	9.6 Blue Roofs	9.7 Blue Roofs	9.8 Blue Roofs	9.9 Blue Roofs	9.10 Blue Roofs				
All Options Available	0	100	50	25	10	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	
LEED Platinum	95	5/13/0	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	
LEED Gold	90	10/16/0	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	
LEED Silver	80	20/18/0	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA
Green Globes 4-Globes	90	10/17/0	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA
Green Globes 3-Globes	80	10/17/0	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA
Green Globes 2-Globes	70	10/17/0	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA
Living Building Challenge	100	9/18/0	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA
Living Building Challenge Pilot	90	10/17/0	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA
Enterprise Green Communities*	80	10/17/0	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA
PastPerformance	70	10/17/0	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA

\*only available to affordable housing projects funded by DPD's Housing Bureau

Planned Development Projects (PDP) - New Construction	180 points required
TP Financial Management Programs (TFM) - New Construction	180 points required
DPD Housing, Health & Safety Programs (DHHS) - New Construction	180 points required
MD, TFM, PDP, EFM and Core L - Remediation Required	25 points required
Substantial Renovation Projects	30 points required

\*Does not apply to TFM assistance of less than \$1M (including but not limited to TFM, TFM Purchase Rehab Streamlined TFM and GBF programs)

Moderate Renovation Projects = projects involving partial or minor upgrades to building systems and minor repairs to the exterior envelope  
Substantial Renovation Projects = projects involving new and/or upgraded building systems and extensive repairs to the exterior envelope

DESIGNATION OF HYDE PARK UNION CHURCH AT 5600 S. WOODLAWN AVE.  
AS CHICAGO LANDMARK.

[O2024-0009806]

(Committee Meeting Held July 16, 2024)

The Committee on Zoning, Landmarks and Building Standards submitted the following report:

CHICAGO, July 17, 2024.

*To the President and Members of the City Council:*

Presenting a report for your Committee on Zoning, Landmarks and Building Standards which held a meeting on July 16, 2024, the following items were passed by a majority of the members present:

Page 1 contains the appointment of Swathi Staley as a member of the Zoning Board of Appeals.

Page 1 also contains the appointment of Helen Shiller as a member of the Zoning Board of Appeals.

Page 1 further contains Document Number SO2024-0010154 for the establishment of the Milwaukee Avenue Special Character Overlay District on North Milwaukee Avenue, between North Western Avenue and North Ridgeway Avenue.

Page 1 further contains Document Number SO2023-0005724 for the amendment of Municipal Code Title 17 by modifying various sections regarding indoor event venues.

Page 1 further contains the historical landmark designation for Hyde Park Union Church located in the 5<sup>th</sup> Ward at 5600 South Woodlawn Avenue.

Pages 1 through 8 contain various map amendments in the 6<sup>th</sup>, 8<sup>th</sup>, 21<sup>st</sup>, 25<sup>th</sup>, 27<sup>th</sup>, 29<sup>th</sup>, 32<sup>nd</sup>, 34<sup>th</sup>, 35<sup>th</sup>, 38<sup>th</sup>, 39<sup>th</sup>, 40<sup>th</sup>, 41<sup>st</sup>, 43<sup>rd</sup>, 47<sup>th</sup> and 48<sup>th</sup> Wards. Document Number O2024-0010038 will be held in committee and also noting that Alderperson Conway recused himself from voting under the provisions of Rule 14 on Document Number O2024-0010036.

Lastly, page 8 contains two large signs over 100 square feet in area and 24 feet above grade in the 2<sup>nd</sup> Ward.

I hereby move for passage of the proposed ordinance transmitted herewith.

Sincerely,

(Signed) BENNETT R. LAWSON,  
*Vice-Chair.*

On motion of Alderperson Lawson, the said proposed ordinance transmitted with the foregoing committee report was *Passed* by yeas and nays as follows:

*Yeas* -- Alderpersons La Spata, Hopkins, Dowell, Robinson, Yancy, Hall, Mitchell, Harris, Beale, Chico, Lee, Ramirez, Quinn, Gutiérrez, Lopez, Coleman, Moore, Curtis, O'Shea, Taylor, Mosley, Rodríguez, Tabares, Scott, Sigcho-Lopez, Fuentes, Burnett, Ervin, Taliaferro, Cruz, Cardona, Waguespack, Rodríguez-Sánchez, Conway, Ramirez-Rosa, Villegas, Mitts, Sposato, Nugent, Vasquez, Napolitano, Reilly, Knudsen, Lawson, Gardiner, Clay, Martin, Manaa-Hoppenworth, Hadden, Silverstein -- 50.

*Nays* -- None.

Alderperson Mitchell moved to reconsider the foregoing vote. The motion was lost.

The following is said ordinance as passed:

WHEREAS, Pursuant to the procedures set forth in the Municipal Code of Chicago (the "Municipal Code"), Sections 2-120-620 through -690, the Commission on Chicago Landmarks (the "Commission") has determined that Hyde Park Union Church located at 5600 South Woodlawn Avenue, Chicago, Illinois, as legally described in Exhibit 1 attached hereto (the "Building"), satisfies three (3) criteria for landmark designation as set forth in Section 2-120-620(1), (4), and (5) of the Municipal Code; and

WHEREAS, The Building reflects the history of the growth and development of the Hyde Park neighborhood, particularly the influence that the University of Chicago had on the area. The establishment of the university resulted in an influx of students and faculty to the neighborhood, which greatly bolstered the church's membership as many joined the congregation; and

WHEREAS, The church responsible for the Building was originally founded as the First Baptist Church of Hyde Park in 1874. The church experienced tandem growth with the secular part to their shared Baptist origins. As a result, many of the early faculty, including the first University President William Rainey Harper, were of the Baptist faith and became active members of the church; and

WHEREAS, Construction of the Building in 1906 was funded in part by business magnate John D. Rockefeller, a founder and major benefactor of the University of Chicago. Rockefeller, a member of the American Baptist Education Society, was deeply devoted to spreading Baptist ideals through education. He attributed his donation to his view that, as the nearest Baptist church to the University of Chicago, Hyde Park Union Church served an essential role by providing students and staff with moral and spiritual guidance; and

WHEREAS, The Building's 1906 sanctuary exemplifies the Richardsonian Romanesque architecture style. Its use of the style's distinctive characteristics, including heavy, rusticated stone walls, round-arched fenestration, a steep gable roof, and corner towers, imparted a sense of majesty and permanence, an appealing choice for church construction. The Richardsonian Romanesque style has had a significant influence on the history and visual character of Chicago's built environment, not only with churches but with many buildings constructed in this style in the late nineteenth and early twentieth centuries, including several current Chicago Landmarks such as the Auditorium Building and the Former Chicago Historical Society Building; and

WHEREAS, The Building's 1926 Education Wing addition was designed to blend harmoniously with the existing Richardsonian Romanesque 1906 sanctuary, while also incorporating subtly distinctive elements that display the influence of the Classical Revival style. This style was more common at the time of the Education Wing's construction and is reflected in the addition's smooth brick walls in place of rough-textured, rusticated stone, rectangular windows, and flat roofline with a dentilled, red-brick cornice; and

WHEREAS, The stained-glass windows at the Building are finely crafted works by the Tiffany, Charles J. Connick, and F. X. Zettler studios, internationally recognized creators of stained glass, each with distinctive construction techniques, use of materials, and design philosophies; and

WHEREAS, The Building's 1906 sanctuary was designed by James Gamble Rogers, a nationally renowned architect who is most well-known for his Collegiate Gothic buildings at universities such as Yale, Columbia, and Northwestern. His designs contributed to a distinct and cohesive architectural identity for these campuses that embodied tradition and gravitas; and

WHEREAS, James Gamble Rogers designed a complex of buildings for the University of Chicago's School of Education including Blaine Hall (1903; now the location of the University of Chicago Laboratory School). The selection of James Gambles Rogers as architect for the Building's 1906 sanctuary, an architect whose work was closely associated with high-prestige academic institutional buildings, further reflected and reinforced the link between Hyde Park Union Church and the University of Chicago; and

WHEREAS, Consistent with Section 2-120-630 of the Municipal Code, the Building has a significant historic, community, architectural, or aesthetic interest or value, the integrity of which is preserved in light of its location, design, setting, materials, workmanship, and ability to express such historic, community, architectural, or aesthetic interest or value; and

WHEREAS, On April 4, 2024, the Commission adopted a resolution recommending to the City Council of the City of Chicago (the "City Council") that the Building be designated a Chicago Landmark; now, therefore,

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. The above recitals are hereby adopted as the findings of the City Council.

SECTION 2. The Building is hereby designated a Chicago Landmark in accordance with Section 2-120-700 of the Municipal Code.

SECTION 3. For purposes of Sections 2-120-740 and 2-120-770 of the Municipal Code governing permit review, the significant historical and architectural features of the Building are identified as:

- All exterior elevations, including rooflines, of the Building; and
- The interior of the entrance vestibules and sanctuary, including but not limited to the overall historic spatial volume and historic decorative finishes and features. Specifically excluded as significant features of the interior are the pews, the organ,

and any non-historic elements including but not limited to the recreated hanging light fixtures.

SECTION 4. The Commission is hereby directed to create a suitable plaque appropriately identifying the Building as a Chicago Landmark.

SECTION 5. If any provision of this ordinance shall be held to be invalid or unenforceable for any reason, the invalidity or unenforceability of such provision shall not affect any of the other provisions of this ordinance.

SECTION 6. All ordinances, resolutions, motions or orders in conflict with this ordinance are hereby repealed to the extent of such conflict.

SECTION 7. This ordinance shall take effect upon the date of its passage and approval.

Exhibit 1 referred to in this ordinance reads as follows:

*Exhibit 1.*

*Legal Description.*

(Subject To Final Survey And Title Commitment)

The north 118.9 feet of Lot 1 in Block 6 in the County Clerk's division of the east 10 acres of the southeast quarter of the northeast quarter of the northwest quarter of Section 14, Township 38 North, Range 14, lying East of the Third Principal Meridian, in Cook County, Illinois.

Building Address:

5600 -- 5610 South Woodlawn Avenue (evens)  
Chicago, Illinois; and

1163 -- 1199 East 56<sup>th</sup> Street (odds)  
Chicago, Illinois.

Commonly Known As:

5600 South Woodlawn Avenue  
Chicago, Illinois.

Permanent Index Number:

20-14-112-011-0000.

**ISSUANCE OF PERMITS FOR SIGNS/SIGNBOARDS.**

(Committee Meeting Held July 16, 2024)

The Committee on Zoning, Landmarks and Building Standards submitted the following report:

CHICAGO, July 17, 2024.

*To the President and Members of the City Council:*

Presenting a report for your Committee on Zoning, Landmarks and Building Standards which held a meeting on July 16, 2024, the following items were passed by a majority of the members present:

Page 1 contains the appointment of Swathi Staley as a member of the Zoning Board of Appeals.

Page 1 also contains the appointment of Helen Shiller as a member of the Zoning Board of Appeals.

Page 1 further contains Document Number SO2024-0010154 for the establishment of the Milwaukee Avenue Special Character Overlay District on North Milwaukee Avenue, between North Western Avenue and North Ridgeway Avenue.

Page 1 further contains Document Number SO2023-0005724 for the amendment of Municipal Code Title 17 by modifying various sections regarding indoor event venues.

Page 1 further contains the historical landmark designation for Hyde Park Union Church located in the 5<sup>th</sup> Ward at 5600 South Woodlawn Avenue.

Pages 1 through 8 contain various map amendments in the 6<sup>th</sup>, 8<sup>th</sup>, 21<sup>st</sup>, 25<sup>th</sup>, 27<sup>th</sup>, 29<sup>th</sup>, 32<sup>nd</sup>, 34<sup>th</sup>, 35<sup>th</sup>, 38<sup>th</sup>, 39<sup>th</sup>, 40<sup>th</sup>, 41<sup>st</sup>, 43<sup>rd</sup>, 47<sup>th</sup> and 48<sup>th</sup> Wards. Document Number O2024-0010038 will be held in committee, and also noting that Alderperson Conway recused himself from voting under the provisions of Rule 14 on Document Number O2024-0010036.

Lastly, page 8 contains two large signs over 100 square feet in area and 24 feet above grade in the 2<sup>nd</sup> Ward.

I hereby move for passage of the proposed orders transmitted herewith.

Sincerely,

(Signed) BENNETT R. LAWSON,  
*Vice-Chair.*

On motion of Alderperson Lawson, the said proposed orders transmitted with the foregoing committee report were *Passed* by yeas and nays as follows:

Yeas -- Alderpersons La Spata, Hopkins, Dowell, Robinson, Yancy, Hall, Mitchell, Harris, Beale, Chico, Lee, Ramirez, Quinn, Gutiérrez, Lopez, Coleman, Moore, Curtis, O'Shea, Taylor, Mosley, Rodríguez, Tabares, Scott, Sigcho-Lopez, Fuentes, Burnett, Ervin, Taliaferro, Cruz, Cardona, Waguespack, Rodríguez-Sánchez, Conway, Ramirez-Rosa, Villegas, Mitts, Sposato, Nugent, Vasquez, Napolitano, Reilly, Knudsen, Lawson, Gardiner, Clay, Martin, Manaa-Hoppenworth, Hadden, Silverstein -- 50.

Nays -- None.

Alderperson Mitchell moved to reconsider the foregoing vote. The motion was lost.

The following are said orders as passed (the italic heading in each case not being a part of the order):

*216 E. Ontario St.*  
(66 Sq. Ft.)

[Or2024-0011089]

*Ordered*, That the City Council hereby approves the following sign application submitted by:

Applicant\*: ECD Streeterville Hotel De LLC

(\* The Applicant is the owner of the real property or the business tenant of the real property. Do not list the sign contractor, sign erector, sign company or advertising entity in the above space.)

This order approves the following sign in accordance with Municipal Code of Chicago Section 13-20-680:

Address of Sign: 216 East Ontario Street, Chicago, Illinois 60611

Zoning District: DX

DOB Sign Permit Application Number: 101051194

Sign Details:

1. On-premises:   X   Or Off-premises:
2. Static sign:        Or Dynamic-image display sign:   X
3. Number of sign faces:   2
4. Projecting over the public way (Yes or No): Yes  
If yes, Public Way Use Number: BACP1952253
5. Dimensions: length, 3 feet, 0 inches; height, 22 feet, 0 inches  
Total square feet in area: 66 feet,        inches

- 6. Height above grade: 71 feet, \_\_\_\_\_ inches
- 7. Elevation (side of building or lot where the sign will be erected): Southeast
- 8. Name of Sign Contractor/Erector: Clover Signs

To be legal, such sign shall comply with all provisions of Title 17 of the Chicago Municipal Code ("Zoning Ordinance") and all other provisions of the Municipal Code governing the permitting, construction and maintenance and removal of signs and sign structures. Failure of the applicant and the applicant's successors to comply shall be grounds for invalidation or revocation of the sign permit.

\_\_\_\_\_  
 216 E. Ontario St.  
 (159 Sq. Ft.)

[Or2024-0011087]

Ordered, That the City Council hereby approves the following sign application submitted by:

Applicant\*: ECD Streeterville Hotel De LLC

(\* The Applicant is the owner of the real property or the business tenant of the real property. Do not list the sign contractor, sign erector, sign company or advertising entity in the above space.)

This order approves the following sign in accordance with Municipal Code of Chicago Section 13-20-680:

Address of Sign: 216 East Ontario Street, Chicago, Illinois 60611

Zoning District: DX

DOB Sign Permit Application Number: 101051194

Sign Details:

- 1. On-premises:   X   Or Off-premises: \_\_\_\_\_
- 2. Static sign: \_\_\_\_\_ Or Dynamic-image display sign:   X
- 3. Number of sign faces:   2
- 4. Projecting over the public way (Yes or No): Yes  
 If yes, Public Way Use Number: BACP1952253
- 5. Dimensions: length, 90 feet, 9 inches; height, 1 foot, 9 inches  
 Total square feet in area: 159 feet, \_\_\_\_\_ inches

6. Height above grade: 16 feet, \_\_\_\_\_ inches
7. Elevation (side of building or lot where the sign will be erected): Southeast
8. Name of Sign Contractor/Erector: Clover Signs

To be legal, such sign shall comply with all provisions of Title 17 of the Chicago Municipal Code ("Zoning Ordinance") and all other provisions of the Municipal Code governing the permitting, construction and maintenance and removal of signs and sign structures. Failure of the applicant and the applicant's successors to comply shall be grounds for invalidation or revocation of the sign permit.

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### ISSUANCE OF PERMITS FOR SIGNS/SIGNBOARDS.

(Committee Meeting Held June 25, 2024)

The Committee on Zoning, Landmarks and Building Standards submitted the following report:

CHICAGO, July 17, 2024.

*To the President and Members of the City Council:*

Presenting a report for your Committee on Zoning, Landmarks and Building Standards which held a meeting on June 25, 2024, the following items were passed by a majority of the members present:

Page 1 contains the rereferral of Document Number O2024-00010037 to the Committee on Transportation and Public Way.

Pages 1 through 12 contain various map amendments in the 2<sup>nd</sup>, 3<sup>rd</sup>, 11<sup>th</sup>, 12<sup>th</sup>, 17<sup>th</sup>, 21<sup>st</sup>, 22<sup>nd</sup>, 27<sup>th</sup>, 30<sup>th</sup>, 32<sup>nd</sup>, 34<sup>th</sup>, 36<sup>th</sup>, 37<sup>th</sup>, 38<sup>th</sup>, 40<sup>th</sup>, 43<sup>rd</sup>, 44<sup>th</sup>, 45<sup>th</sup>, 47<sup>th</sup>, 48<sup>th</sup> and 49<sup>th</sup> Wards.

Lastly, page 13 contains various large signs over 100 square feet in area and 24 feet above grade.

I hereby move for passage of the proposed orders transmitted herewith.

Sincerely,

(Signed) BENNETT R. LAWSON,  
*Vice-Chair.*



7. Elevation (side of building or lot where the sign will be erected): North

8. Name of Sign Contractor/Erector: All-Right Sign

To be legal, such sign shall comply with all provisions of Title 17 of the Chicago Municipal Code ("Zoning Ordinance") and all other provisions of the Municipal Code governing the permitting, construction and maintenance and removal of signs and sign structures. Failure of the applicant and the applicant's successors to comply shall be grounds for invalidation or revocation of the sign permit.

\_\_\_\_\_  
360 N. Green St.  
(Permit No. 101050094)

[Or2024-0009769]

Ordered, That the City Council hereby approves the following sign application submitted by:

Applicant\*: BCG -- 360 North Green LLC

(\* The Applicant is the owner of the real property or the business tenant of the real property. Do not list the sign contractor, sign erector, sign company or advertising entity in the above space.)

This order approves the following sign in accordance with Municipal Code of Chicago Section 13-20-680:

Address of Sign: 360 North Green Street, Chicago, Illinois 60607

Zoning District: Planned Development Number 1407

DOB Sign Permit Application Number: 101050094

Sign Details:

1. On-premises:   X   Or Off-premises: \_\_\_\_\_
2. Static sign:   X   Or Dynamic-image display sign: \_\_\_\_\_
3. Number of sign faces:   1
4. Projecting over the public way (Yes or No): No  
If yes, Public Way Use Number: \_\_\_\_\_
5. Dimensions: length, 16 feet, 0¾ inches; height, 6 feet, 6 inches  
Total square feet in area: 104 feet, \_\_\_\_\_ inches
6. Height above grade: 53 feet, 6 inches
7. Elevation (side of building or lot where the sign will be erected): South
8. Name of Sign Contractor/Erector: All-Right Sign

To be legal, such sign shall comply with all provisions of Title 17 of the Chicago Municipal Code ("Zoning Ordinance") and all other provisions of the Municipal Code governing the permitting, construction and maintenance and removal of signs and sign structures. Failure of the applicant and the applicant's successors to comply shall be grounds for invalidation or revocation of the sign permit.

\_\_\_\_\_  
7159 W. Higgins Ave.

[Or2024-0010135]

Ordered, That the City Council hereby approves the following sign application submitted by:

Applicant\*: BP

(\* The Applicant is the owner of the real property or the business tenant of the real property. Do not list the sign contractor, sign erector, sign company or advertising entity in the above space.)

This order approves the following sign in accordance with Municipal Code of Chicago Section 13-20-680:

Address of Sign: 7159 West Higgins Avenue, Chicago, Illinois 60656

Zoning District: B3-1

DOB Sign Permit Application Number: 101053021

Sign Details:

1. On-premises:  X  Or Off-premises:
2. Static sign:   Or Dynamic-image display sign:  X
3. Number of sign faces:  2
4. Projecting over the public way (Yes or No): No  
If yes, Public Way Use Number:
5. Dimensions: length, 5 feet, 9 inches; height, 17 feet, 10 inches  
Total square feet in area: 95
6. Height above grade: 29 feet, 10 inches to top of sign or sign structure
7. Elevation (side of building or lot where the sign will be erected): Northwest (West Higgins Avenue/  
North Harlem Avenue)
8. Name of Sign Contractor/Erector: James D. Ahern & Company Signs

To be legal, such sign shall comply with all provisions of Title 17 of the Chicago Municipal Code ("Zoning Ordinance") and all other provisions of the Municipal Code governing the permitting, construction and maintenance and removal of signs and sign structures. Failure of the applicant and the applicant's successors to comply shall be grounds for invalidation or revocation of the sign permit.

—  
*1601 N. Milwaukee Ave.*  
(Permit No. 101051019)

[Or2024-0009811]

*Ordered*, That the City Council hereby approves the following sign application submitted by:

Applicant\*: Barnes & Noble Book Sellers, Inc.

(\* The Applicant is the owner of the real property or the business tenant of the real property. Do not list the sign contractor, sign erector, sign company or advertising entity in the above space.)

This order approves the following sign in accordance with Municipal Code of Chicago Section 13-20-680:

Address of Sign: 1601 North Milwaukee Avenue, Chicago, Illinois 60647

Zoning District: B3-2

DOB Sign Permit Application Number: 101051019

Sign Details:

1. On-premises:  Or Off-premises:
2. Static sign:  Or Dynamic-image display sign:
3. Number of sign faces: 1
4. Projecting over the public way (Yes or No): No  
If yes, Public Way Use Number: \_\_\_\_\_
5. Dimensions: length, 22 feet, 5 inches; height, 0 feet, 18 inches  
Total square feet in area: 36 feet, \_\_\_\_\_ inches
6. Height above grade: 33 feet, 6 inches
7. Elevation (side of building or lot where the sign will be erected): South/West
8. Name of Sign Contractor/Erector: Gallant Building Solutions

To be legal, such sign shall comply with all provisions of Title 17 of the Chicago Municipal Code ("Zoning Ordinance") and all other provisions of the Municipal Code governing the permitting, construction and maintenance and removal of signs and sign structures. Failure of the applicant and the applicant's successors to comply shall be grounds for invalidation or revocation of the sign permit.

\_\_\_\_\_  
1601 N. Milwaukee Ave.  
(Permit No. 101051142)

[Or2024-0009812]

*Ordered,* That the City Council hereby approves the following sign application submitted by:

Applicant\*: Barnes & Noble Book Sellers, Inc.

(\* The Applicant is the owner of the real property or the business tenant of the real property. Do not list the sign contractor, sign erector, sign company or advertising entity in the above space.)

This order approves the following sign in accordance with Municipal Code of Chicago Section 13-20-680:

Address of Sign: 1601 North Milwaukee Avenue, Chicago, Illinois 60647

Zoning District: B3-2

DOB Sign Permit Application Number: 101051142

Sign Details:

1. On-premises:  Or Off-premises:
2. Static sign:  Or Dynamic-image display sign:
3. Number of sign faces:   1
4. Projecting over the public way (Yes or No): No  
If yes, Public Way Use Number: \_\_\_\_\_
5. Dimensions: length, 5 feet, 11 inches; height, 0 feet, 26 inches  
Total square feet in area: 109.9 feet,        inches
6. Height above grade: 12 feet, 6 inches
7. Elevation (side of building or lot where the sign will be erected): North/West
8. Name of Sign Contractor/Erector: Gallant Building Solutions

To be legal, such sign shall comply with all provisions of Title 17 of the Chicago Municipal Code ("Zoning Ordinance") and all other provisions of the Municipal Code governing the permitting, construction and maintenance and removal of signs and sign structures. Failure of the applicant and the applicant's successors to comply shall be grounds for invalidation or revocation of the sign permit.

—  
*550 N. State St.*  
(Permit No. 101043681)

[Or2024-0010147]

*Ordered*, That the City Council hereby approves the following sign application submitted by:

Applicant\*: Jewel Osco

(\* The Applicant is the owner of the real property or the business tenant of the real property. Do not list the sign contractor, sign erector, sign company or advertising entity in the above space.)

This order approves the following sign in accordance with Municipal Code of Chicago Section 13-20-680:

Address of Sign: 550 North State Street, Chicago, Illinois 60654

Zoning District: Planned Development Number 739

DOB Sign Permit Application Number: 101043681

Sign Details:

1. On-premises:   X   Or Off-premises:
2. Static sign:   X   Or Dynamic-image display sign:
3. Number of sign faces:   1
4. Projecting over the public way (Yes or No): Yes  
If yes, Public Way Use Number: BACP1909357
5. Dimensions: length, 17 feet, 6 inches; height, 5 feet, 10 inches  
Total square feet in area: 102 feet,        inches
6. Height above grade: 11 feet,        inches
7. Elevation (side of building or lot where the sign will be erected): North Corner  
Elevation
8. Name of Sign Contractor/Erector: Doyle Signs, Inc.

To be legal, such sign shall comply with all provisions of Title 17 of the Chicago Municipal Code ("Zoning Ordinance") and all other provisions of the Municipal Code governing the permitting, construction and maintenance and removal of signs and sign structures. Failure of the applicant and the applicant's successors to comply shall be grounds for invalidation or revocation of the sign permit.

\_\_\_\_\_  
550 N. State St.  
(Permit No. 101043682)

[Or2024-0010149]

Ordered, That the City Council hereby approves the following sign application submitted by:

Applicant\*: Jewel Osco

(\* The Applicant is the owner of the real property or the business tenant of the real property. Do not list the sign contractor, sign erector, sign company or advertising entity in the above space.)

This order approves the following sign in accordance with Municipal Code of Chicago Section 13-20-680:

Address of Sign: 550 North State Street, Chicago, Illinois 60654

Zoning District: Planned Development Number 739

DOB Sign Permit Application Number: 101043682

Sign Details:

1. On-premises:   X   Or Off-premises:
2. Static sign:   X   Or Dynamic-image display sign:
3. Number of sign faces:   1
4. Projecting over the public way (Yes or No): Yes  
If yes, Public Way Use Number: BACP1909357
5. Dimensions: length, 17 feet, 6 inches; height, 5 feet, 10 inches  
Total square feet in area: 102 feet,        inches
6. Height above grade: 11 feet,        inches
7. Elevation (side of building or lot where the sign will be erected): East Corner Elevation
8. Name of Sign Contractor/Erector: Doyle Signs, Inc.

To be legal, such sign shall comply with all provisions of Title 17 of the Chicago Municipal Code ("Zoning Ordinance") and all other provisions of the Municipal Code governing the permitting, construction and maintenance and removal of signs and sign structures. Failure of the applicant and the applicant's successors to comply shall be grounds for invalidation or revocation of the sign permit.

\_\_\_\_\_  
*550 N. State St.*  
(Permit No. 101043685)

[Or2024-0010146]

*Ordered*, That the City Council hereby approves the following sign application submitted by:

Applicant\*: Jewel Osco

(\* The Applicant is the owner of the real property or the business tenant of the real property. Do not list the sign contractor, sign erector, sign company or advertising entity in the above space.)

This order approves the following sign in accordance with Municipal Code of Chicago Section 13-20-680:

Address of Sign: 550 North State Street, Chicago, Illinois 60654

Zoning District: Planned Development Number 739

DOB Sign Permit Application Number: 101043685

Sign Details:

1. On-premises:   X   Or Off-premises:
2. Static sign:   X   Or Dynamic-image display sign:
3. Number of sign faces:   1
4. Projecting over the public way (Yes or No): Yes  
If yes, Public Way Use Number: BACP1909357
5. Dimensions: length, 17 feet, 6 inches; height, 5 feet, 10 inches  
Total square feet in area: 102 feet,        inches
6. Height above grade: 11 feet,        inches
7. Elevation (side of building or lot where the sign will be erected): State Street Elevation
8. Name of Sign Contractor/Erector: Doyle Signs, Inc.

To be legal, such sign shall comply with all provisions of Title 17 of the Chicago Municipal Code ("Zoning Ordinance") and all other provisions of the Municipal Code governing the permitting, construction and maintenance and removal of signs and sign structures. Failure of the applicant and the applicant's successors to comply shall be grounds for invalidation or revocation of the sign permit.

\_\_\_\_\_  
*70 E. Walton St.*

[Or2024-0010141]

*Ordered*, That the City Council hereby approves the following sign application submitted by:

Applicant\*: Paul Rehder Salon

(\* The Applicant is the owner of the real property or the business tenant of the real property. Do not list the sign contractor, sign erector, sign company or advertising entity in the above space.)

This order approves the following sign in accordance with Municipal Code of Chicago Section 13-20-680:

Address of Sign: 70 East Walton Street, Chicago, Illinois 60611

Zoning District: DX-7

DOB Sign Permit Application Number: 101052191

Sign Details:

1. On-premises:   X   Or Off-premises: \_\_\_\_\_
2. Static sign:   X   Or Dynamic-image display sign: \_\_\_\_\_
3. Number of sign faces:   1
4. Projecting over the public way (Yes or No): No  
If yes, Public Way Use Number: \_\_\_\_\_
5. Dimensions: length, 6 feet, 0 inches; height, 0 feet, 8 inches  
Total square feet in area: 3
6. Height above grade: 28 feet, 8 inches to top of sign or sign structure
7. Elevation (side of building or lot where the sign will be erected): South
8. Name of Sign Contractor/Erector: Bevel & Brush LLC

To be legal, such sign shall comply with all provisions of Title 17 of the Chicago Municipal Code ("Zoning Ordinance") and all other provisions of the Municipal Code governing the permitting, construction and maintenance and removal of signs and sign structures. Failure of the applicant and the applicant's successors to comply shall be grounds for invalidation or revocation of the sign permit.

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*Re-Referred* – APPROVAL OF PLAT OF CENTRAL EIGHT RESUBDIVISION.  
[O2024-0010037]

(Committee Meeting Held June 25, 2024)

The Committee on Zoning, Landmarks and Building Standards submitted the following report:

CHICAGO, July 17, 2024.

*To the President and Members of the City Council:*

Presenting a report for your Committee on Zoning, Landmarks and Building Standards which held a meeting on January 25, 2024, the following items were passed by a majority of the members present:

Page 1 contains the rereferral of Document Number O2024-00010037 to the Committee on Transportation and the Public Way.

Pages 1 through 12 contain various map amendments in the 2<sup>nd</sup>, 3<sup>rd</sup>, 11<sup>th</sup>, 12<sup>th</sup>, 17<sup>th</sup>, 21<sup>st</sup>, 22<sup>nd</sup>, 27<sup>th</sup>, 30<sup>th</sup>, 32<sup>nd</sup>, 34<sup>th</sup>, 36<sup>th</sup>, 37<sup>th</sup>, 38<sup>th</sup>, 40<sup>th</sup>, 43<sup>rd</sup>, 44<sup>th</sup>, 45<sup>th</sup>, 47<sup>th</sup>, 48<sup>th</sup> and 49<sup>th</sup> Wards.

Lastly page 13 contains various large signs over 100 square feet in area and 24 feet above grade.

(Signed) BENNETT R. LAWSON,  
*Vice-Chairman.*

On motion of Alderperson Lawson, the said proposed ordinance transmitted with the foregoing committee report was *Re-Referred to Committee on Transportation and Public Way* by yeas and nays as follows:

*Yeas* -- Alderpersons La Spata, Hopkins, Dowell, Robinson, Yancy, Hall, Mitchell, Harris, Beale, Chico, Lee, Ramirez, Quinn, Gutiérrez, Lopez, Coleman, Moore, Curtis, O'Shea, Taylor, Mosley, Rodríguez, Tabares, Scott, Sigcho-Lopez, Fuentes, Burnett, Ervin, Taliaferro, Cruz, Cardona, Waguespack, Rodríguez-Sánchez, Conway, Ramirez-Rosa, Villegas, Mitts, Sposato, Nugent, Vasquez, Napolitano, Reilly, Knudsen, Lawson, Gardiner, Clay, Martin, Manaa-Hoppenworth, Hadden, Silverstein -- 50.

*Nays* -- None.

Alderperson Mitchell moved to reconsider the foregoing vote. The motion was lost.

**AGREED CALENDAR.**

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On motion of Alderperson Harris, the proposed resolutions presented through the Agreed Calendar were *Adopted* by yeas and nays as follows:

Yeas -- Alderpersons La Spata, Hopkins, Dowell, Robinson, Yancy, Hall, Mitchell, Harris, Beale, Chico, Lee, Ramirez, Quinn, Gutiérrez, Lopez, Coleman, Moore, Curtis, O'Shea, Taylor, Mosley, Rodríguez, Tabares, Scott, Sigcho-Lopez, Fuentes, Burnett, Ervin, Taliaferro, Cruz, Cardona, Waguespack, Rodríguez-Sánchez, Conway, Ramirez-Rosa, Villegas, Mitts, Sposato, Nugent, Vasquez, Napolitano, Reilly, Knudsen, Lawson, Gardiner, Clay, Martin, Manaa-Hoppenworth, Hadden, Silverstein -- 50.

Nays -- None.

Alderperson Mitchell moved to reconsider the foregoing vote. The motion was lost.

Sponsored by the alderpersons named below, respectively, said Agreed Calendar resolutions, as adopted, read as follows (the italic heading in each case not being a part of the resolution):

*Presented By*

***THE HONORABLE ANDREA M. VALENCIA, CITY CLERK:***

***CONGRATULATIONS EXTENDED TO SHERRY JANUS ON RETIREMENT FROM CHICAGO CITY CLERK'S OFFICE.***

[R2024-0010648]

WHEREAS, Sherry Janus, a longtime public servant with the City of Chicago, is retiring from her role as a payment service representative on July 31, 2024, after three decades of dedicated service with the Office of the City Clerk; and

WHEREAS, The Chicago City Council has been informed of this milestone by the Honorable Anna M. Valencia, City Clerk; and

WHEREAS, Sherry is a proud native of the City of Chicago. She was born and raised on the Southwest Side of Chicago and has lived in the Clearing neighborhood her entire life; and

WHEREAS, Sherry graduated from Dore Elementary and then graduated high school from Mount Assisi Academy; and

WHEREAS, Sherry is a proud daughter of Sam and Arleen Gammicchia, proud mother to Kyle Janus, proud sister to Sal Gammicchia, sister-in-law to Julie Gammicchia, and loving partner to James Davey; and

WHEREAS, Sherry began her employment with the City of Chicago on July 1, 1996 as a legislative assistant II, then later became a payment service representative January 16, 2000; and

WHEREAS, Sherry took pride in her work and consistently provided diligent and efficient customer service; and

WHEREAS, Sherry's hobbies include long road trips, watching sunsets and cheering on her Cubs. Sherry looks forward to further exploring her hobbies and enjoying life with more road trips, trying new food and drinks with good company and moving to Wisconsin as she moves on to her next chapter in life; and

WHEREAS, Sherry is admired and will be missed by her friends and colleagues throughout the departments and offices of the City of Chicago; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the City Council of the City of Chicago, gathered here this 17<sup>th</sup> day of July 2024, do hereby express our sincere appreciation to Sherry Janus for her outstanding service to the City of Chicago, and extend to her our very best wishes for a wonderful retirement, continued happiness and good fortune as she begins this new chapter in her life; and

*Be It Further Resolved*, That a suitable copy of this resolution be prepared and presented to Sherry Janus.

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*Presented By*

**ALDERPERSON HOPKINS (2<sup>nd</sup> Ward):**

**TRIBUTE TO LATE ANN LURIE.**

[R2024-0010592]

WHEREAS, The City of Chicago mourns the loss of one of the most prolific philanthropists in the history of the city, Ann Lurie, who passed away on June 24, 2024 at the age of 79; and

WHEREAS, The City of Chicago has been notified of Ann's passing by the Honorable Brian Hopkins, Alderperson of the 2<sup>nd</sup> Ward; and

WHEREAS, Born and raised in Florida as the only child of a single mother, Ann earned a nursing degree from the University of Florida before relocating to Chicago in 1973, where she worked as a pediatric intensive care nurse at Children's Memorial Hospital; and

WHEREAS, Following the death of her late husband, Robert H. Lurie, in 1990, Ann devoted her life to raising her six children and becoming a major benefactor to various causes in healthcare, education, social services and the arts, leaving an indelible mark on the city's cultural and social landscape; and

WHEREAS, As a board member and patron, Ann made transformative contributions to the Ann & Robert H. Lurie Children's Hospital of Chicago, including an unprecedented \$100 Million gift in 2007 to build a new state-of-the-art building in Streeterville, ensuring that children receive world-class medical care and supporting groundbreaking pediatric research; and

WHEREAS, In addition to her support of pediatric healthcare, Ann generously funded initiatives at Northwestern University as a life trustee, including the Robert H. Lurie Comprehensive Cancer Center, which advances cancer research and provides cutting-edge treatments; and

WHEREAS, Ann's commitment to education was evident through her support of the University of Chicago, University of Michigan, the Field Museum and various other educational and cultural institutions, helping to expand knowledge, foster innovation and enrich the lives of countless individuals; and

WHEREAS, Ann's philanthropic efforts extend far beyond healthcare and education, including a \$5 Million gift to the Greater Chicago Food Depository, a major donation to support the founding of Gilda's Club Chicago, funding to PAWS Chicago to create the Lurie Clinic in Little Village and a \$10 Million endowment to build and maintain the Lurie Garden in Millennium Park; and

WHEREAS, As an acknowledgement for her philanthropic leadership, Ann received numerous awards and honors, including honorary degrees from Erikson Institute, University of Florida, University of Michigan and Northwestern University, reflecting her dedication to making a positive and lasting impact on society; and

WHEREAS, Ann is survived by her husband, Mark Muheim; her six children; 16 grandchildren; and Muheim's two sons; and

WHEREAS, The City of Chicago celebrates the vision, generosity and compassion of civic leaders like Ann Lurie, whose selfless contributions inspire others and help build a stronger, healthier and more vibrant community; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the City Council of the City of Chicago, do hereby honor the memory of Ann Lurie for her extraordinary contributions to our city and extend our deepest sympathies to her family and friends; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to the family of Ann Lurie as a symbol of our gratitude and appreciation for her remarkable impact on the City of Chicago.

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**CONGRATULATIONS EXTENDED TO AMERICAN COLLEGE OF MORTGAGE ATTORNEYS ON 50<sup>TH</sup> ANNIVERSARY AND DESIGNATION OF SEPTEMBER 19, 2024 AS "ACMA DAY".**

[R2024-0010882]

WHEREAS, The American College of Mortgage Attorneys ("ACMA"), formed in 1972, is an organization of over 500 lawyers in North America ("ACMA Fellows"), including many based in Chicago, who have distinguished themselves as practitioners in the field of commercial real estate mortgage law through their legal expertise and practice experience, bar association activities, lecturing, authoring articles, participating in the legislative process and writing briefs and/or arguing cases that are significant to mortgage transactions; and

WHEREAS, The Chicago City Council has been informed of this milestone by the Honorable Brian Hopkins, Alderperson of the 2<sup>nd</sup> Ward; and

WHEREAS, ACMA Fellows share a commitment to giving back to their profession, improving and reforming laws and procedures affecting real estate secured transactions, raising the level of professionalism of lawyers practicing in this field and recognizing the critical importance of diversity, inclusion, equity and justice within ACMA and in our democracy; and

WHEREAS, Over the last 50 years, ACMA Fellows have contributed as legal counsel to preeminent financial institutions in Chicago and all of North America in financing transactions that have helped to develop the City of Chicago's skyline; and

WHEREAS, ACMA has chosen the dynamic City of Chicago as the location to celebrate its 50<sup>th</sup> anniversary with a gathering of ACMA Fellows and guests from across the United States, Canada and Mexico; now, therefore,

*Be It Resolved*, That the Mayor of the City of Chicago, along with the City Council of Chicago, do hereby congratulate ACMA on this milestone and hereby designate September 19, 2024 as "ACMA Day" in recognition of ACMA's 50-year anniversary; and

*Be It Further Resolved*, That a suitable copy of this resolution be prepared and presented to ACMA.

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*Presented By*

**ALDERPERSON DOWELL (3<sup>rd</sup> Ward):**

**RECOGNITION OF NASCAR CHICAGO FOR CONTRIBUTIONS AND COMMITMENT TO COMMUNITY OUTREACH.**

[R2024-0010888]

WHEREAS, On November 9, 2022, NASCAR opened an office in Downtown Chicago with a full-time team that has grown to nearly two dozen NASCAR veterans and new team members from the Chicago community, demonstrating its desire to be a strong local partner year-round throughout the city; and

WHEREAS, NASCAR Chicago has participated in over 150 community events throughout Chicagoland; and

WHEREAS, NASCAR Chicago has hosted a NASCAR Diversity Supplier Summit in Chicago in partnership with the Business Leadership Council, Chicago Minority Supplier Development Council, Choose Chicago and the Illinois Hispanic Chamber of Commerce to engage with minority businesses within the city; and

WHEREAS, NASCAR Chicago has donated over \$600,000 to local charitable events and organizations, including over \$200,000 raised through The NASCAR Foundation Celebrity Golf Tournament benefitting Special Olympics Illinois, \$100,000 to YWCA Metropolitan Chicago during the "Gear Up for Good" race week event and \$155,000 to nine Chicago-area hospitals; and

WHEREAS, NASCAR Chicago and Blue Cross Blue Shield of Illinois partnered to donate over \$200,000 to local community organizations, which have included local organizations focused on mental health, men's health and Thanksgiving turkey donations; and

WHEREAS, NASCAR Chicago has partnered with Chicago Public Schools (CPS) to inspire youth throughout the city by developing a NASCAR-themed STEAM curriculum reaching more than 22,000 students in the city; hosting STEAM Fest, an event that brought more than 1,100 students from 47 STEM and STEAM schools to the Field Museum for a unique motorsports-themed educational program; developing a new NASCAR Force and Motion Curriculum in 2024, reaching an additional 17,000 eighth-grade CPS students; creating "Drive for Success", a program which provides CPS students with the opportunity

to earn two tickets to the NASCAR Chicago Street Race as an incentive for academic performance, attendance, behavior and reflecting NASCAR's core values of being authentic, courageous, drive, inclusive and stewarding; and donating 200 bikes and helmets across eight CPS elementary schools in partnership with All Kids Bike; and

WHEREAS, NASCAR hosted Daniel's Amigos at Harrison Park in 2024 and Bubba's Block Party at Washington Park in 2023 and Douglass Park in 2024, two neighborhood community initiatives that bring NASCAR into the local Black and Hispanic communities to drive awareness, access and engagement to the sport while generating excitement around the race weekend; and

WHEREAS, NASCAR Chicago donations to the Chicago Parks District (CPD) have supported 10 teen centers in securing new esports equipment; sponsored CPD's Go Skate Day in Grant Park; and sponsored 220 Chicago youth to be able to attend CPD's Summer Camp; and

WHEREAS, NASCAR Chicago has partnered with 11 Boys & Girls Clubhouses and YMCA locations in the Chicagoland area, which has included developing a NASCAR Street Course design competition for youth, donating two full-size race simulators, and hosting career panels and pit stops programs; and

WHEREAS, NASCAR Chicago has built partnerships with local colleges, including the City Colleges of Chicago, DePaul University, Loyola University and Columbia College, to develop programs for college students to get hands-on professional experience; and

WHEREAS, NASCAR Chicago partnered with After School Matters to commission a 200-foot mural and two merchandise pieces produced by 12 local Chicago teens in 2023, as well as a 200-foot banner displayed at the 2024 Chicago Street Race; and

WHEREAS, NASCAR Chicago partnered with two sculpture artists from Chicago to create the two trophies awarded to the two Chicago Street Race winners; and

WHEREAS, NASCAR Chicago has established partnerships with Chicago's world-class cultural institutions, including with the Field Museum, Art Institute of Chicago, Chicago History Museum, DuSable Black History Museum, Museum of Science and Industry, Navy Pier, Grant Park Music Festival and Adler Planetarium, to help promote tourism to the city and showcase the community's rich cultural history; and

WHEREAS, NASCAR Chicago donated 5,000 NASCAR toys to children of new arrival families during the 2023 holiday season; and

WHEREAS, NASCAR Chicago has partnered with Chicago Animal Care & Control to support pet adoptions within the city; now, therefore,

*Be It Resolved*, That we, the Mayor and the members of the Chicago City Council, assembled this 17<sup>th</sup> day of July 2024, do hereby recognize NASCAR for its efforts to support programs and initiatives that have created meaningful economic and cultural opportunities

and contributed to and enhanced the quality of life for so many Chicagoans across the city;  
and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Julie Giese, President of NASCAR Chicago Street Race, in recognition of NASCAR Chicago's commitment to supporting community initiatives across the City of Chicago.

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*Presented By*

**ALDERPERSON ROBINSON (4<sup>th</sup> Ward),  
ALDERPERSON DOWELL (3<sup>rd</sup> Ward),  
ALDERPERSON GUTIÉRREZ (14<sup>th</sup> Ward)  
And OTHERS:**

**PROCLAMATION OF AUGUST 10, 2024 AS "BUD BILIKEN® DAY" IN CHICAGO.**  
[R2024-0010555]

A resolution presented by Alderpersons Robinson, Dowell, Gutiérrez, Moore, Mosley, Rodríguez, Sigcho-Lopez, Cruz, Rodríguez-Sánchez, Conway, Ramirez-Rosa, Nugent, Vasquez, Manaa-Hoppenworth and Hadden reading as follows:

WHEREAS, Chicago's Black community has long been celebrated by the Chicago Defender Charities for its rich history, culture and accomplishments, while simultaneously bringing together families and communities through celebration and commemoration; and

WHEREAS, Chicago Defender Charities, Inc. has produced the pillar of Chicago history that is the Bud Billiken® Parade and Picnic. Through this programming and more, they have proved their commitment to promoting Black joy, unity and enrichment; and

WHEREAS, They have centered the value of education and child and career development, particularly through their scholarship program. Every year, the Bud Billiken® Parade Scholarship selects deserving students to honor and assist in furthering their education. Over \$25,000 in scholarships is awarded to honor Chicago's history and empower its future leaders; and

WHEREAS, This year, the Annual Bud Billiken® Parade and Picnic reaches the momentous milestone of 95 years serving as one of Chicago's prestigious Black legacy events. This long-standing tradition is the oldest African American parade in the United States and the largest in the world; and

WHEREAS, Chicago Defender Charities, Inc. and organizations like it touch lives in so many ways, beyond parades, showcases and scholarships. They lead by example in the Black community, providing support and relief funds, as well as fostering financial and spiritual reinvestment. They manage to celebrate African American culture while connecting the community to resources that promote education and empowerment; and

WHEREAS, This year, the 95<sup>th</sup> Annual Bud Billiken® Parade will take place on August 10, 2024 as a commemoration of our past and a celebration of our future, ushering in the back-to-school season in Chicago and welcoming another school year of service to the city, its students, their families and all school communities; and

WHEREAS, The Chicago City Council has been made aware of this occasion by Alderperson Lamont J. Robinson; now, therefore,

*Be It Resolved*, That we, the Mayor and the members of the Chicago City Council, do hereby proclaim August 10, 2024 to be "Bud Biliken® Day" in Chicago, and encourage all Chicagoans to celebrate this grand tradition as we continue to honor the rich history of Black Chicago and prepare to ring in another successful and prosperous school year.

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*Presented By*

**ALDERPERSON YANCY (5<sup>th</sup> Ward):**

**CONGRATULATIONS EXTENDED TO JOAN GRAY ON ACCOMPLISHMENTS IN PERFORMING ARTS.**

[R2024-0010399]

WHEREAS, Joan Gray was born in Chicago, Illinois on July 29, 1949; and

WHEREAS, She attended Willard Elementary School, Vincennes Upper-Grade School, Hyde Park Academy High School, North Central College and Roosevelt University; and

WHEREAS, In 1968, while attending Roosevelt University, she joined the Illinois Chapter of the Black Panther Party; and

WHEREAS, She rose to the rank of field lieutenant, conducted investigations for political prisoners, helped build the Free Breakfast for Children Program and was responsible for the edict forbidding misogynistic treatment and marginalization of women in the party; and

WHEREAS, In 1977, Joan became affiliated with Muntu Dance Theatre in Chicago, which was founded in 1972 by a group of artists, but did not immediately join, and from 1979 to 1986, worked as an administrative assistant at South Shore Bank; and

WHEREAS, In 1984, Joan Gray joined Muntu Dance Theatre in Chicago as a principal dancer; and

WHEREAS, Just three years later, she became president of Muntu Dance Theatre in 1987; and

WHEREAS, Under Joan's 30-year leadership, Muntu Dance Theatre became world-renowned as a professional dance company; and

WHEREAS, In 1997, the Illinois Arts Alliance awarded her the Sidney R. Yates Award; and

WHEREAS, In 1997, Joan was a founder and served on the board of directors of the African American Arts Alliance, also known as the Black Arts and Culture Alliance, and was awarded the Paul Robeson Award; and

WHEREAS, In 2002, she was awarded a Stanford University fellowship for her leadership in the arts; and

WHEREAS, In 2009, Joan received an honorary doctorate degree in fine arts from her alma mater, North Central College in Naperville, Illinois; and

WHEREAS, In 2017, Joan Gray was honored by the City of Chicago in a mural adorning the Chicago Cultural Center by artist Kerry James Marshall; and

WHEREAS, In 2022, she was the Legacy Award winner for See Chicago Dance; and

WHEREAS, In 2023, she was inducted into the Chicago Black Arts Hall of Fame; and

WHEREAS, In 2023, Joan received a People's Service Award from the Historical Preservation Society of the Illinois Chapter of the Black Panther Party for her outstanding service and dedication to the people; and

WHEREAS, She served as a chairperson of the Chicago Dance Coalition and on the board of the International Association of Blacks in Dance; and

WHEREAS, Joan was on the board of the National Endowment of the Arts and thereby reviewed grant proposals, recommended projects and influenced funding to artists; and

WHEREAS, Joan Gray's dance mastery and professional accomplishments inspire her country, her state, her city and her mentees. As Regina Cary-Carr writes, "Joan's legacy of excellence, mentorship and passion for dance will forever inspire those who had the privilege to know her"; now, therefore,

*Be It Resolved*, That Joan Gray will be honored by the citizens of Chicago, Illinois from this day forward, approved and adopted on the 17<sup>th</sup> day of July 2024.

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*TRIBUTE TO LATE HELEN STEEN SAFFOLD-WOOTEN KELLER AND  
DECLARATION OF JUNE 9, 2024 AS "HELEN WOOTEN DAY" IN CHICAGO.*

[R2024-0010551]

WHEREAS, Helen Steen Saffold was born June 9, 1949 in Black Hawk, Mississippi, was an entertainment consultant, talent manager, investor, producer, disc jockey, music promoter, entrepreneur, club owner, trailblazer and the Godmother of the Midwest Entertainment Business; and

WHEREAS, Helen's parents relocated to Chicago in 1959, and at 13 years of age, Helen was featured by legendary disc jockey, Herb Kent, as a teen DJ on 1450 WVON AM radio; and

WHEREAS, Helen attended John Marshall High School on Chicago's West Side where Helen organized the Teen Jamborees, surrounding herself with young up-and-coming singers, songwriters and producers; and

WHEREAS, Helen enrolled in real estate school and perfected her business, investor and management skills; and

WHEREAS, Helen served as a supervisor/phlebotomist at Rush Presbyterian Hospital and while working nights, built her career as a concert promoter, talent booker, manager and nightclub investor; and

WHEREAS, Helen collected entry fees to nightclubs such as High Chaparral and began booking talent for Perv's House, owned by Pervis Staples, a member of Chicago's legendary musical group "The Staple Singers". Helen also produced shows at many venues around Chicago, including VFW halls on the West Side of Chicago; and

WHEREAS, Helen worked her way up to club manager/promoter at the High Chaparral and was the first to feature the Jackson 5. Helen also booked The Mighty Dells, The Chi-Lites, The Radiants and many other famous groups of the 60s and 70s; and

WHEREAS, Helen proved to the community through her driven determination that the "show must go on", doing it all for love, not even allowing a gunshot wound to slow her down. Helen sneaked out of the intensive care unit after being shot to resolve talent issues for her Valentine's show with Harold Melvin and the Blue Notes. Marshall Thompson and The Chi-Lites stepped in at Helen's request and saved the show; and

WHEREAS, Helen Wooten began to book talent in other states and grew her talent roster to include acts such as Minnie Ripperton, Gene Chandler, James Brown, Teddy Pendergrass, The Dells and The Dramatics, just to name a few; and

WHEREAS, Helen was approached by Pervis Spann of WVON to invest in a new radio station. Helen and her business partner invested \$40,000 which, unbeknownst to Helen, went to develop the Jackson 5, making Helen Wooten a stakeholder in the success of the Jackson 5, who went on to sign with Steeltown Records, owned by Gordon Keith, followed by Motown, and the rest is entertainment history; and

WHEREAS, Helen established her own production company, HK & Associates and record label Toinek Records, named after her daughter Toyia Nicole Wooten, a Kenwood Academy alumnus who was tragically killed in 1988; and

WHEREAS, Helen began to develop artists, teaching them how to produce and write songs, including her own son, Charlie McFerren, Jr., aka Don Charlieon. It was under Helen's tutelage that Chicago's own Da Brat (goddaughter) and singer Donell Jones developed as artists; and

WHEREAS, Helen Wooten established her own nightclub, The Godfather. Thinking with the mind of a movie mogul, The Godfather had multiple locations, Godfather 1, 2 and 3; and

WHEREAS, Helen was the first to manage singer/songwriter, Robert Kelly, aka R. Kelly, and provided him a space to perform as a reoccurring talent at The Godfather, even going as far as to put a shower in the nightclub so artists could polish their acts without any interruptions; and

WHEREAS, Helen became one of the most successful concert and tour promoters for some of the largest names in the music industry, such as Earth, Wind, and Fire, Lionel Ritchie & The Commodores, Teddy Riley, Keith Sweat, En Vogue and Frankie Beverly and Maze. Helen's daughter, little Toyia, at the age of 8 had learned to be a firecracker of a negotiator like her mother. She approached Michael Jackson at an event Helen was involved in and told him "My mama helped you and your brothers when you were younger, so you need to talk to her" and Michael Jackson said, "Go get your mother and bring her to me". In this chance meeting, Michael Jackson connected Helen to partner with concert promoter, Mr. Leonard Rowe, for an opportunity to earn back her investment in the Jackson 5 by signing on to promote the Jacksons Victory Tour Concert in 1984 which grossed over \$75 Million; and

WHEREAS, Helen also worked on various projects with Michael Jordan, Will Smith and LL Cool J and began working on film and television projects. Helen had knowledge of set design and wardrobe. Her input laid the blueprint for many productions. Helen was also the first to manage actress, Lisa Raye. Helen also casted her artist in many touring plays across the country; and

WHEREAS, Helen was officially given the title by Warner Bros. Records executive and television producer of the Stellar Awards, Mr. Jun Mhoon, as the official "Godmother of Midwest Entertainment Business", also known as The Godmother of the Chicago Entertainment Industry; and

WHEREAS, Helen was working on her own autobiography at the time of her transition about her life which will be produced in part by close family and entertainment colleagues; now, therefore,

*Be It Resolved*, That the City Council of Chicago declares, in honor of the 75<sup>th</sup> anniversary of the birth of Helen Steen Saffold-Wooten Keller, that June 9, 2024 shall be the official "Godmother of Midwest Entertainment Business", "Helen Wooten Day" in the City of Chicago; and

*Be It Further Resolved*, That a suitable copy of this resolution be prepared and presented to the family of Ms. Helen Wooten.

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*Presented By*

**ALDERPERSON HALL (6<sup>th</sup> Ward):**

**TRIBUTE TO LATE MARY ELIZABETH ARMSTRONG.**

[R2024-0010599]

WHEREAS, In His infinite wisdom, God has granted eternal rest to Mary Elizabeth Armstrong on May 27, 2024, at the age of 91; and

WHEREAS, Mary Elizabeth Armstrong started life on December 28, 1932 in Indianola, Mississippi as the daughter of the late Oscar, Sr. and Allen Moore Smith. She was the beloved third-born of nine siblings, all except one who preceded her in death: Oscar, Jr., Dorothy Lee, Monroe, Eloise, Allen, Addie Jean and Randolph. She is survived by her cherished baby sister, Vernice "Vern" Link; and

WHEREAS, Mary's family relocated to Arkansas, where she worked in the cotton fields alongside her siblings and her grandmother, Lizzy Alexander Franks. Her grandmother's emphasis on education led Mary to excel academically, graduating as salutatorian from Turrell High School in Gilmore, Arkansas, and continuing her education at Le Moyne College in Memphis, Tennessee; and

WHEREAS, Mary met and married her high school sweetheart, Adolph Armstrong, who honorably served in the Korean War and, in 1993, preceded her in passing. Together, they

moved to Chicago and raised a loving family, including their children, the late Deborrah Ann (passed on in 2010), Phillip Darryl, the late Sharon Gail (passed on in 2020) and Rita Renee. They also raised her brother's three daughters, Carolyn, Felicia "Fee" and Glenda "Boo" Smith, making them the proud parents of seven children; and

WHEREAS, Affectionately known as "Baby Doll" by her family and friends, Mary was a beacon of wisdom, peace and strong judgment. She earned her bachelor of science in early childhood education from Chicago State University and her master of education from National Louis University; and

WHEREAS, Mary devoted 27 years to the Chicago Public Schools, beginning as a teacher's assistant at D. S. Wentworth Elementary School, and later becoming a certified teacher as well as a pioneering figure in the desegregation of Peter A. Reinberg Elementary School. After her retirement in 1999, Mary continued to contribute to the field of education as a substitute teacher and an early childhood education instructional leader, working with Easter Seals of Metropolitan Chicago; and

WHEREAS, A devout woman of faith, Mary was a dedicated member of Monumental Baptist Church for more than 70 years, where she played a significant role in various church activities and formed lifelong friendships, most notably with Eugenia Hardaway. She was also a committed community activist, regularly attending block club and aldermanic meetings to improve the quality of life in her neighborhood; and

WHEREAS, The Honorable William E. Hall, Alderperson of the 6<sup>th</sup> Ward, has informed this august body of the passing of this pillar of her community. She will long be remembered for her love of blues music, cooking, playing the piano and traveling as well as her passion for reading and sharing knowledge, particularly of philosophy and Greek mythology; and

WHEREAS, Mary Elizabeth Armstrong's legacy of love, education, community service and unwavering faith will continue to inspire all who knew her. She leaves behind to mourn her loss and celebrate her memory her son, Phillip Darryl Armstrong; daughter, Rita Renee Armstrong; special nieces, Carolyn, Felicia, Glenda, Vanessa, Valerie, Veronica, Cindy, Cheryl, Karen, Victoria, Sade and Francine; as well as her grandchildren, Omari, Cicely, Khalia Burgos and Cheryl, and great-grandchildren, Deborah, Harold, Zion, Milo, Marceaux Luca and Cyr. She also leaves behind a host of nieces, nephews, cousins, dear friends and special caregivers, Ms. Bobbie Ellis and Carolyn Barksdale, as well as special friends, Barbara, Ms. Lillie and CoCo; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the City of Chicago City Council, gathered here this 17<sup>th</sup> day of July 2024, do hereby extend our heartfelt condolences to the family of Mary Elizabeth Armstrong and express our deepest sympathies to all those whose lives she touched; and

*Be It Further Resolved*, That a suitable copy of this resolution be prepared and presented to the family of Mary Elizabeth Armstrong as a symbol of our respect and sympathy.

*TRIBUTE TO LATE CHRISTINE MUSE EVERETT.*

[R2024-0010516]

WHEREAS, In His infinite wisdom, God has granted eternal peace to Christine Muse Everett, an outstanding educator, loving mother, grandmother and great-grandmother, and a pillar of her community; and

WHEREAS, Christine started life on July 23, 1935 in Holly Springs, Mississippi as the beloved daughter of Elliott and Hattie Muse and the eldest of their children. The family migrated to Chicago in 1939, where Christine's legacy would take root and flourish; and

WHEREAS, From an early age, Christine was an academic achiever. She attended A.O. Sexton Elementary and Englewood High School, where she graduated from after only three years. Her passion for learning led her to Chicago Teachers College and later to the University of Illinois at Urbana-Champaign, where she earned a bachelor's degree in elementary education. At the University of Illinois, she also became an active member of the Alpha Kappa Alpha Sorority, Gamma Chapter; and

WHEREAS, While at university, Christine met John Edward Everett, and they were joined in holy matrimony on June 24, 1956. This union was blessed with three children: Carl John, Valerie Michele and Marlon Elliott. Her family was a cornerstone of her life, and she cherished her roles as a mother, grandmother and great-grandmother; and

WHEREAS, Christine's dedication to education was unparalleled, spanning more than 34 years with the Chicago Public Schools. Her roles as a teacher, adjustment teacher, counselor and anti-truancy officer at Wadsworth Elementary left a lasting impact on countless students and their families. Her commitment to nurturing young minds was evident throughout her career; and

WHEREAS, After her retirement in 1993, Christine continued to contribute to her community. She worked as a tax preparer at H&R Block and as a contract teacher at the Fran Center, where she taught computers to elementary school students. Her dedication to education and service extended well beyond her official career; and

WHEREAS, Christine's strong spiritual and civic commitment was demonstrated by volunteering at Trinity United Church of Christ's library, serving as treasurer at Salem Lutheran Church and participating in the 84<sup>th</sup> and Wabash Block Club. Her involvement with the AKA Sorority's Theta Omega Chapter, including chairing the AKARAMA annual holiday brunch, underscored her leadership and service; and

WHEREAS, Christine's adventurous spirit and zest for life were legendary. She actively participated in various sports and social groups, including tennis at Tuley Park, the South Shore Golf League and Trinity's Yoga Ministry. She embraced every opportunity to travel and explore, visiting destinations such as Australia, Hawai'i, Israel, England, France and Prague, and attending Grand Slam tennis tournaments around the world; and

WHEREAS, As a lover of the arts, Christine often went to musicals and plays at Chicago's esteemed live theater venues, including the Steppenwolf, the Court and the Goodman. She was a dedicated patron and season ticket holder at both the Goodman Theater and the Lyric Opera; and

WHEREAS, The Honorable William E. Hall, Alderperson of the 6<sup>th</sup> Ward, has apprised this august body of Christine Muse Everett's legacy marked by her unwavering commitment to education, community service, family and her adventurous spirit. She will be deeply missed by her many friends and large family, including her children, Carl, Valerie and Marlon; her grandchildren, Marcus, Mara, Christine, Christian, Zachary, Jeremy and Miracle; and her great-grandchildren, Dash, Zoe, Dior, Chloe and Drue; now, therefore,

*Be It Resolved*, That we, the members of the City Council of the City of Chicago, gathered this 17<sup>th</sup> day of July 2024, do hereby express our sincerest sorrow upon learning of the passing of Christine Muse Everett and extend our condolences to all those whose lives she has touched. Her enduring legacy of love, service and adventure has left an indelible mark on her community, and her memory will be cherished; and

*Be It Further Resolved*, That a suitable copy of this resolution be prepared and presented to the family of Christine Muse Everett.

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**CONGRATULATIONS EXTENDED TO BRIANA M. BREWER ON EARNING CERTIFICATION IN SUPPLY CHAIN MANAGEMENT AND LOGISTICS.**

[R2024-0010514]

WHEREAS, The Chicago City Council is pleased to recognize and commend exceptional individuals who demonstrate perseverance, adaptability and a commitment to personal and professional growth; and

WHEREAS, Briana M. Brewer, who graduated on June 8 from Olive-Harvey College as a member of the class of 2024, has earned her certification in supply chain management and logistics. She began her academic journey at the City Colleges of Chicago in 2018 after transferring from a four-year university that did not meet her needs. She initially enrolled in film and production classes at Kennedy-King College, but the onset of the pandemic in 2020 prompted her to reevaluate her career goals; and

WHEREAS, During this period of reassessment, Briana discovered a new path when her mother introduced her to a certified logistics and warehouse technician program with the Greater Chicago Food Depository. Recognizing her affinity for the supply chain industry, she decided to pursue this new direction and changed her major. She explored Olive-Harvey College, renowned for its focus on supply chain management education. There, she found a supportive and resource-rich environment that fostered her academic and professional ambitions; and

WHEREAS, Briana officially enrolled in Olive-Harvey College in the spring of 2022. She maximized the college's resources, securing a work-study position and spending considerable time in the Transportation, Distribution and Logistics (TDL) building. It was here that Dean of Careers Cheryl Freeman introduced her to a transformative summer internship opportunity at PepsiCo; and

WHEREAS, Briana's internship at PepsiCo allowed her to apply classroom knowledge to real-world scenarios, particularly in transportation logistics. The experience was pivotal in shaping her career trajectory, and a subsequent internship in the e-commerce division further expanded her practical experience and professional growth. The supportive and encouraging work culture at PepsiCo played a significant role in Briana's development. The mentorship and positive environment provided by her colleagues set a high standard for workplace excellence and contributed to her personal and professional advancement; and

WHEREAS, Through these opportunities, Briana has grown significantly, both personally and professionally. She has embraced challenges and stepped out of her comfort zone, gaining valuable skills and confidence in the process. Briana plans to continue her education by matriculating to a four-year college or university to earn a bachelor's degree in supply chain management. Her journey serves as an inspiring example of resilience, adaptability and the pursuit of excellence; and

WHEREAS, The Honorable William E. Hall, Alderperson of the 6<sup>th</sup> Ward, has apprised this august body of Briana's achievements and her contributions to the community through her dedication to education and professional development; now, therefore,

*Be It Resolved*, That we, the members of the Chicago City Council, assembled this 17<sup>th</sup> day of July 2024, do hereby extend our heartfelt congratulations to Briana M. Brewer for her remarkable accomplishments and express our best wishes for her continued success in all her future endeavors; and

*Be It Further Resolved*, That a suitable copy of this resolution be prepared and presented to Briana M. Brewer as a token of our esteem and with our best wishes for her continued growth and success.

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*Presented By*

**ALDERPERSON HARRIS (8<sup>th</sup> Ward):**

**CONGRATULATIONS EXTENDED TO GRUBHUB ON 20<sup>TH</sup> ANNIVERSARY.**

[R2024-0010553]

WHEREAS, This august Chicago City Council body has been informed of the 20<sup>th</sup> anniversary of Grubhub by the Honorable Michelle A. Harris, Alderperson of the 8<sup>th</sup> Ward; and

WHEREAS, Grubhub was founded in 2004 by Chicago-based software engineers, Matt Maloney and Mike Evans. Frustrated by the lack of food delivery information on the internet, they created Grubhub to organize restaurant delivery information and make ordering food online easier; and

WHEREAS, Grubhub is a pioneer in creating one of the first online food delivery platforms. Since opening their doors in Chicago in 2004, they have helped restaurants open their doors to new diners and diners open their doors to new cuisines; and

WHEREAS, They have helped delivery partners open their doors to flexible earning opportunities and giving back to the local communities that our restaurant partners, customers, employees and delivery partners call home; and

WHEREAS, They commemorate their 20<sup>th</sup> anniversary this year by recognizing what their business has accomplished. Over the next several months, they will celebrate in many different ways -- big and small -- to continue saying thank you to restaurants, delivery partners, diners and employees; and

WHEREAS, Grubhub will be hosting a food festival at Chicago's Daley Plaza in September to honor the restaurants that define the city's renowned food scene and treat diners to a complimentary lunch; and

WHEREAS, Grubhub is committed to staying true to their core belief that they exist to create opportunities for local businesses to thrive by connecting each neighborhood's best food with those who love it most; now, therefore,

*Be It Resolved*, That the Mayor and members of the City Council of the City of Chicago, do hereby express our congratulations on the 20<sup>th</sup> anniversary of Grubhub; and

*Be It Further Resolved*, That a suitable copy of this resolution be prepared and presented to the representatives of Grubhub.

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CONGRATULATIONS EXTENDED TO MOJIROLA T. ADEYEMO ON 65<sup>TH</sup> BIRTHDAY.

[R2024-0010167]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Mojirola T. Adeyemo in honor of his 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Mojirola T. Adeyemo on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Mojirola T. Adeyemo belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Mojirola T. Adeyemo on the occasion of his birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Mojirola T. Adeyemo for his continued good health, happiness and success following this, his 65<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Mojirola T. Adeyemo in honor of his 65<sup>th</sup> birthday as a token of our esteem and good wishes.

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CONGRATULATIONS EXTENDED TO EVELYN ALLEN ON 70<sup>TH</sup> BIRTHDAY.  
[R2024-0010168]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Evelyn Allen in honor of her 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Evelyn Allen on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Evelyn Allen belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Evelyn Allen on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Evelyn Allen for her continued good health, happiness and success following this, her 70<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Evelyn Allen in honor of her 70<sup>th</sup> birthday as a token of our esteem and good wishes.

*CONGRATULATIONS EXTENDED TO SYLVIA ATTERBERRY ON 75<sup>TH</sup> BIRTHDAY.*  
[R2024-0010218]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Sylvia Atterberry in honor of her 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Sylvia Atterberry on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Sylvia Atterberry belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Sylvia Atterberry on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Sylvia Atterberry for her continued good health, happiness and success following this, her 75<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Sylvia Atterberry in honor of her 75<sup>th</sup> birthday as a token of our esteem and good wishes.

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*CONGRATULATIONS EXTENDED TO SHARRON L. AUSTIN ON 70<sup>TH</sup> BIRTHDAY.*  
[R2024-0010169]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Sharron L. Austin in honor of her 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Sharron L. Austin on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Sharron L. Austin belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Sharron L. Austin on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Sharron L. Austin for her continued good health, happiness and success following this, her 70<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Sharron L. Austin in honor of her 70<sup>th</sup> birthday as a token of our esteem and good wishes.

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**CONGRATULATIONS EXTENDED TO CYNTHIA D. BANKS ON 65<sup>TH</sup> BIRTHDAY.**  
[R2024-0010170]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Cynthia D. Banks in honor of her 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Cynthia D. Banks on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Cynthia D. Banks belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Cynthia D. Banks on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Cynthia D. Banks for her continued good health, happiness and success following this, her 65<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Cynthia D. Banks in honor of her 65<sup>th</sup> birthday as a token of our esteem and good wishes.

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**CONGRATULATIONS EXTENDED TO MARION BROWN ON 75<sup>TH</sup> BIRTHDAY.**  
[R2024-0010219]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Marion Brown in honor of his 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Marion Brown on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Marion Brown belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Marion Brown on the occasion of his birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Marion Brown for his continued good health, happiness and success following this, his 75<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Marion Brown in honor of his 75<sup>th</sup> birthday as a token of our esteem and good wishes.

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**CONGRATULATIONS EXTENDED TO PATTY CARTER ON 65<sup>TH</sup> BIRTHDAY.**

[R2024-0010220]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Patty Carter in honor of her 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Patty Carter on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Patty Carter belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Patty Carter on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Patty Carter for her continued good health, happiness and success following this, her 65<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Patty Carter in honor of her 65<sup>th</sup> birthday as a token of our esteem and good wishes.

*CONGRATULATIONS EXTENDED TO PATRICIA DAVIS ON 70<sup>TH</sup> BIRTHDAY.*

[R2024-0010221]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Patricia Davis in honor of her 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Patricia Davis on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Patricia Davis belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Patricia Davis on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Patricia Davis for her continued good health, happiness and success following this, her 70<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Patricia Davis in honor of her 70<sup>th</sup> birthday as a token of our esteem and good wishes.

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*CONGRATULATIONS EXTENDED TO RUBY L. DAVIS ON 85<sup>TH</sup> BIRTHDAY.*

[R2024-0010222]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Ruby L. Davis in honor of her 85<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Ruby L. Davis on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Ruby L. Davis belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Ruby L. Davis on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Ruby L. Davis for her continued good health, happiness and success following this, her 85<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Ruby L. Davis in honor of her 85<sup>th</sup> birthday as a token of our esteem and good wishes.

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**CONGRATULATIONS EXTENDED TO MICHAEL S. ENGLISH ON 70<sup>TH</sup> BIRTHDAY.**  
[R2024-0010172]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Michael S. English in honor of his 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Michael S. English on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Michael S. English belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Michael S. English on the occasion of his birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Michael S. English for his continued good health, happiness and success following this, his 70<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Michael S. English in honor of his 70<sup>th</sup> birthday as a token of our esteem and good wishes.

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**CONGRATULATIONS EXTENDED TO MICHAEL FELTON ON 65<sup>TH</sup> BIRTHDAY.**  
[R2024-0010223]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Michael Felton in honor of his 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Michael Felton on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Michael Felton belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Michael Felton on the occasion of his birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Michael Felton for his continued good health, happiness and success following this, his 65<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Michael Felton in honor of his 65<sup>th</sup> birthday as a token of our esteem and good wishes.

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CONGRATULATIONS EXTENDED TO MACKUS FIKES, SR. ON 95<sup>TH</sup> BIRTHDAY.  
[R2024-0010224]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Mackus Fikes, Sr. in honor of his 95<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Mackus Fikes, Sr. on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Mackus Fikes, Sr. belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Mackus Fikes, Sr. on the occasion of his birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Mackus Fikes, Sr. for his continued good health, happiness and success following this, his 95<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Mackus Fikes, Sr. in honor of his 95<sup>th</sup> birthday as a token of our esteem and good wishes.

*CONGRATULATIONS EXTENDED TO JANET L. GANDY ON 80<sup>TH</sup> BIRTHDAY.*

[R2024-0010225]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Janet L. Gandy in honor of her 80<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Janet L. Gandy on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Janet L. Gandy belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Janet L. Gandy on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Janet L. Gandy for her continued good health, happiness and success following this, her 80<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Janet L. Gandy in honor of her 80<sup>th</sup> birthday as a token of our esteem and good wishes.

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*CONGRATULATIONS EXTENDED TO NORA J. GREEN ON 70<sup>TH</sup> BIRTHDAY.*

[R2024-0010227]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Nora J. Green in honor of her 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Nora J. Green on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Nora J. Green belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Nora J. Green on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Nora J. Green for her continued good health, happiness and success following this, her 70<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Nora J. Green in honor of her 70<sup>th</sup> birthday as a token of our esteem and good wishes.

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**CONGRATULATIONS EXTENDED TO PAULINE GREEN ON 75<sup>TH</sup> BIRTHDAY.**  
[R2024-0010229]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Pauline Green in honor of her 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Pauline Green on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Pauline Green belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Pauline Green on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Pauline Green for her continued good health, happiness and success following this, her 75<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Pauline Green in honor of her 75<sup>th</sup> birthday as a token of our esteem and good wishes.

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**CONGRATULATIONS EXTENDED TO DIANA L. GREGORY ON 65<sup>TH</sup> BIRTHDAY.**  
[R2024-0010231]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Diana L. Gregory in honor of her 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Diana L. Gregory on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Diana L. Gregory belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Diana L. Gregory on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Diana L. Gregory for her continued good health, happiness and success following this, her 65<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Diana L. Gregory in honor of her 65<sup>th</sup> birthday as a token of our esteem and good wishes.

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**CONGRATULATIONS EXTENDED TO BARBARA HARDY ON 75<sup>TH</sup> BIRTHDAY.**  
[R2024-0010233]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Barbara Hardy in honor of her 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Barbara Hardy on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Barbara Hardy belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Barbara Hardy on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Barbara Hardy for her continued good health, happiness and success following this, her 75<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Barbara Hardy in honor of her 75<sup>th</sup> birthday as a token of our esteem and good wishes.

*CONGRATULATIONS EXTENDED TO ANNIE HARSHAW ON 85<sup>TH</sup> BIRTHDAY.*  
[R2024-0010234]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Annie Harshaw in honor of her 85<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Annie Harshaw on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Annie Harshaw belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Annie Harshaw on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Annie Harshaw for her continued good health, happiness and success following this, her 85<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Annie Harshaw in honor of her 85<sup>th</sup> birthday as a token of our esteem and good wishes.

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*CONGRATULATIONS EXTENDED TO ANN E. HENRY ON 75<sup>TH</sup> BIRTHDAY.*  
[R2024-0010235]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Ann E. Henry in honor of her 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Ann E. Henry on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Ann E. Henry belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Ann E. Henry on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Ann E. Henry for her continued good health, happiness and success following this, her 75<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Ann E. Henry in honor of her 75<sup>th</sup> birthday as a token of our esteem and good wishes.

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**CONGRATULATIONS EXTENDED TO LORETTA M. HENRY ON 65<sup>TH</sup> BIRTHDAY.**  
[R2024-0010176]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Loretta M. Henry in honor of her 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Loretta M. Henry on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Loretta M. Henry belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Loretta M. Henry on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Loretta M. Henry for her continued good health, happiness and success following this, her 65<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Loretta M. Henry in honor of her 65<sup>th</sup> birthday as a token of our esteem and good wishes.

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**CONGRATULATIONS EXTENDED TO JOY Y. HESTER ON 65<sup>TH</sup> BIRTHDAY.**  
[R2024-0010236]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Joy Y. Hester in honor of her 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Joy Y. Hester on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Joy Y. Hester belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Joy Y. Hester on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Joy Y. Hester for her continued good health, happiness and success following this, her 65<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Joy Y. Hester in honor of her 65<sup>th</sup> birthday as a token of our esteem and good wishes.

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**CONGRATULATIONS EXTENDED TO LETHA HOLLEY ON 85<sup>TH</sup> BIRTHDAY.**  
[R2024-0010237]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Letha Holley in honor of her 85<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Letha Holley on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Letha Holley belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Letha Holley on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Letha Holley for her continued good health, happiness and success following this, her 85<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Letha Holley in honor of her 85<sup>th</sup> birthday as a token of our esteem and good wishes.

*CONGRATULATIONS EXTENDED TO BRENDA L. HOLMES ON 80<sup>TH</sup> BIRTHDAY.*  
[R2024-0010238]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Brenda L. Holmes in honor of her 80<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Brenda L. Holmes on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Brenda L. Holmes belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Brenda L. Holmes on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Brenda L. Holmes for her continued good health, happiness and success following this, her 80<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Brenda L. Holmes in honor of her 80<sup>th</sup> birthday as a token of our esteem and good wishes.

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*CONGRATULATIONS EXTENDED TO MARCIA A. HOLTON ON 75<sup>TH</sup> BIRTHDAY.*  
[R2024-0010239]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Marcia A. Holton in honor of her 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Marcia A. Holton on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Marcia A. Holton belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Marcia A. Holton on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Marcia A. Holton for her continued good health, happiness and success following this, her 75<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Marcia A. Holton in honor of her 75<sup>th</sup> birthday as a token of our esteem and good wishes.

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**CONGRATULATIONS EXTENDED TO MARY HUDSON ON 80<sup>TH</sup> BIRTHDAY.**  
[R2024-0010177]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Mary Hudson in honor of her 80<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Mary Hudson on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Mary Hudson belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Mary Hudson on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Mary Hudson for her continued good health, happiness and success following this, her 80<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Mary Hudson in honor of her 80<sup>th</sup> birthday as a token of our esteem and good wishes.

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**CONGRATULATIONS EXTENDED TO BARBARA ANN HURT ON 70<sup>TH</sup> BIRTHDAY.**  
[R2024-0010240]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Barbara Ann Hurt in honor of her 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Barbara Ann Hurt on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Barbara Ann Hurt belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Barbara Ann Hurt on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Barbara Ann Hurt for her continued good health, happiness and success following this, her 70<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Barbara Ann Hurt in honor of her 70<sup>th</sup> birthday as a token of our esteem and good wishes.

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CONGRATULATIONS EXTENDED TO LYNETTE INGRAM ON 75<sup>TH</sup> BIRTHDAY.

[R2024-0010217]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Lynette Ingram in honor of her 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Lynette Ingram on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Lynette Ingram belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Lynette Ingram on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Lynette Ingram for her continued good health, happiness and success following this, her 75<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Lynette Ingram in honor of her 75<sup>th</sup> birthday as a token of our esteem and good wishes.

*CONGRATULATIONS EXTENDED TO CAROLYN A. JONES ON 70<sup>TH</sup> BIRTHDAY.*  
[R2024-0010241]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Carolyn A. Jones in honor of her 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Carolyn A. Jones on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Carolyn A. Jones belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Carolyn A. Jones on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Carolyn A. Jones for her continued good health, happiness and success following this, her 70<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Carolyn A. Jones in honor of her 70<sup>th</sup> birthday as a token of our esteem and good wishes.

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*CONGRATULATIONS EXTENDED TO DENNIS M. JONES, SR. ON 75<sup>TH</sup> BIRTHDAY.*

[R2024-0010243]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Dennis M. Jones, Sr. in honor of his 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Dennis M. Jones, Sr. on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Dennis M. Jones, Sr. belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Dennis M. Jones, Sr. on the occasion of his birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Dennis M. Jones, Sr. for his continued good health, happiness and success following this, his 75<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Dennis M. Jones, Sr. in honor of his 75<sup>th</sup> birthday as a token of our esteem and good wishes.

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*CONGRATULATIONS EXTENDED TO HORACE JONES, SR. ON 80<sup>TH</sup> BIRTHDAY.*  
[R2024-0010178]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Horace Jones, Sr. in honor of his 80<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Horace Jones, Sr. on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Horace Jones, Sr. belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Horace Jones, Sr. on the occasion of his birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Horace Jones, Sr. for his continued good health, happiness and success following this, his 80<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Horace Jones, Sr. in honor of his 80<sup>th</sup> birthday as a token of our esteem and good wishes.

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*CONGRATULATIONS EXTENDED TO GREG W. KENNER ON 75<sup>TH</sup> BIRTHDAY.*  
[R2024-0010180]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Greg W. Kenner in honor of his 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Greg W. Kenner on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Greg W. Kenner belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Greg W. Kenner on the occasion of his birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Greg W. Kenner for his continued good health, happiness and success following this, his 75<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Greg W. Kenner in honor of his 75<sup>th</sup> birthday as a token of our esteem and good wishes.

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CONGRATULATIONS EXTENDED TO LINDA T. LATIMORE ON 65<sup>TH</sup> BIRTHDAY.  
[R2024-0010247]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Linda T. Latimore in honor of her 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Linda T. Latimore on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Linda T. Latimore belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Linda T. Latimore on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Linda T. Latimore for her continued good health, happiness and success following this, her 65<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Linda T. Latimore in honor of her 65<sup>th</sup> birthday as a token of our esteem and good wishes.

*CONGRATULATIONS EXTENDED TO CURLEY M. LUMPKIN ON 80<sup>TH</sup> BIRTHDAY.*  
[R2024-0010248]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Curley M. Lumpkin in honor of her 80<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Curley M. Lumpkin on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Curley M. Lumpkin belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Curley M. Lumpkin on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Curley M. Lumpkin for her continued good health, happiness and success following this, her 80<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Curley M. Lumpkin in honor of her 80<sup>th</sup> birthday as a token of our esteem and good wishes.

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*CONGRATULATIONS EXTENDED TO STEPHEN LUMPKIN ON 75<sup>TH</sup> BIRTHDAY.*  
[R2024-0010183]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Stephen Lumpkin in honor of his 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Stephen Lumpkin on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Stephen Lumpkin belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Stephen Lumpkin on the occasion of his birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Stephen Lumpkin for his continued good health, happiness and success following this, his 75<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Stephen Lumpkin in honor of his 75<sup>th</sup> birthday as a token of our esteem and good wishes.

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**CONGRATULATIONS EXTENDED TO ROSIE M. MC GEE ON 99<sup>TH</sup> BIRTHDAY.**  
[R2024-0010249]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Rosie M. McGee in honor of her 99<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Rosie M. McGee on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Rosie M. McGee belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Rosie M. McGee on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Rosie M. McGee for her continued good health, happiness and success following this, her 99<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Rosie M. McGee in honor of her 99<sup>th</sup> birthday as a token of our esteem and good wishes.

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**CONGRATULATIONS EXTENDED TO SUSAN L. MC KEE ON 65<sup>TH</sup> BIRTHDAY.**  
[R2024-0010206]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Susan L. McKee in honor of her 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Susan L. McKee on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Susan L. McKee belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Susan L. McKee on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Susan L. McKee for her continued good health, happiness and success following this, her 65<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Susan L. McKee in honor of her 65<sup>th</sup> birthday as a token of our esteem and good wishes.

—

*CONGRATULATIONS EXTENDED TO MORGAN MC KENZIE ON 95<sup>TH</sup> BIRTHDAY.*  
[R2024-0010252]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Morgan McKenzie in honor of his 95<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Morgan McKenzie on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Morgan McKenzie belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Morgan McKenzie on the occasion of his birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Morgan McKenzie for his continued good health, happiness and success following this, his 95<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Morgan McKenzie in honor of his 95<sup>th</sup> birthday as a token of our esteem and good wishes.

*CONGRATULATIONS EXTENDED TO SHIRLEY A. MCKENZIE ON 90<sup>TH</sup> BIRTHDAY.*

[R2024-0010251]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Shirley A. McKenzie in honor of her 90<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Shirley A. McKenzie on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Shirley A. McKenzie belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Shirley A. McKenzie on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Shirley A. McKenzie for her continued good health, happiness and success following this, her 90<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Shirley A. McKenzie in honor of her 90<sup>th</sup> birthday as a token of our esteem and good wishes.

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*CONGRATULATIONS EXTENDED TO EMMA MCKINNEY ON 70<sup>TH</sup> BIRTHDAY.*

[R2024-0010253]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Emma McKinney in honor of her 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Emma McKinney on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Emma McKinney belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Emma McKinney on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Emma McKinney for her continued good health, happiness and success following this, her 70<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Emma McKinney in honor of her 70<sup>th</sup> birthday as a token of our esteem and good wishes.

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CONGRATULATIONS EXTENDED TO LORETTA B. MCKINNEY ON 80<sup>TH</sup> BIRTHDAY.

[R2024-0010254]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Loretta B. McKinney in honor of her 80<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Loretta B. McKinney on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Loretta B. McKinney belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Loretta B. McKinney on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Loretta B. McKinney for her continued good health, happiness and success following this, her 80<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Loretta B. McKinney in honor of her 80<sup>th</sup> birthday as a token of our esteem and good wishes.

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CONGRATULATIONS EXTENDED TO DEBORAH A. MITCHELL ON 70<sup>TH</sup> BIRTHDAY.

[R2024-0010207]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Deborah A. Mitchell in honor of her 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Deborah A. Mitchell on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Deborah A. Mitchell belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Deborah A. Mitchell on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Deborah A. Mitchell for her continued good health, happiness and success following this, her 70<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Deborah A. Mitchell in honor of her 70<sup>th</sup> birthday as a token of our esteem and good wishes.

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CONGRATULATIONS EXTENDED TO MARLA M. NELSON ON 70<sup>TH</sup> BIRTHDAY.  
[R2024-0010255]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Marla M. Nelson in honor of her 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Marla M. Nelson on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Marla M. Nelson belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Marla M. Nelson on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Marla M. Nelson for her continued good health, happiness and success following this, her 70<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Marla M. Nelson in honor of her 70<sup>th</sup> birthday as a token of our esteem and good wishes.

*CONGRATULATIONS EXTENDED TO SHERRY NELSON ON 65<sup>TH</sup> BIRTHDAY.*

[R2024-0010256]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Sherry Nelson in honor of her 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Sherry Nelson on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Sherry Nelson belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Sherry Nelson on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Sherry Nelson for her continued good health, happiness and success following this, her 65<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Sherry Nelson in honor of her 65<sup>th</sup> birthday as a token of our esteem and good wishes.

—

*CONGRATULATIONS EXTENDED TO JOYCE A. OUSLEY ON 65<sup>TH</sup> BIRTHDAY.*

[R2024-0010257]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Joyce A. Ousley in honor of her 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Joyce A. Ousley on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Joyce A. Ousley belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Joyce A. Ousley on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Joyce A. Ousley for her continued good health, happiness and success following this, her 65<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Joyce A. Ousley in honor of her 65<sup>th</sup> birthday as a token of our esteem and good wishes.

---

**CONGRATULATIONS EXTENDED TO RITA PALMER ON 85<sup>TH</sup> BIRTHDAY.**  
[R2024-0010259]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Rita Palmer in honor of her 85<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Rita Palmer on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Rita Palmer belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Rita Palmer on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Rita Palmer for her continued good health, happiness and success following this, her 85<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Rita Palmer in honor of her 85<sup>th</sup> birthday as a token of our esteem and good wishes.

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**CONGRATULATIONS EXTENDED TO AURELIA PAYNE ON 85<sup>TH</sup> BIRTHDAY.**  
[R2024-0010260]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Aurelia Payne in honor of her 85<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Aurelia Payne on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Aurelia Payne belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Aurelia Payne on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Aurelia Payne for her continued good health, happiness and success following this, her 85<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Aurelia Payne in honor of her 85<sup>th</sup> birthday as a token of our esteem and good wishes.

—

**CONGRATULATIONS EXTENDED TO EARL PENNY, JR. ON 75<sup>TH</sup> BIRTHDAY.**

[R2024-0010208]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Earl Penny, Jr. in honor of his 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Earl Penny, Jr. on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Earl Penny, Jr. belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Earl Penny, Jr. on the occasion of his birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Earl Penny, Jr. for his continued good health, happiness and success following this, his 75<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Earl Penny, Jr. in honor of his 75<sup>th</sup> birthday as a token of our esteem and good wishes.

*CONGRATULATIONS EXTENDED TO WILDRET J. PICKETT ON 80<sup>TH</sup> BIRTHDAY.*  
[R2024-0010261]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Wildret J. Pickett in honor of her 80<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Wildret J. Pickett on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Wildret J. Pickett belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Wildret J. Pickett on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Wildret J. Pickett for her continued good health, happiness and success following this, her 80<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Wildret J. Pickett in honor of her 80<sup>th</sup> birthday as a token of our esteem and good wishes.

—

*CONGRATULATIONS EXTENDED TO BARBARA J. PIERSON ON 85<sup>TH</sup> BIRTHDAY.*  
[R2024-0010262]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Barbara J. Pierson in honor of her 85<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Barbara J. Pierson on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Barbara J. Pierson belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Barbara J. Pierson on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Barbara J. Pierson for her continued good health, happiness and success following this, her 85<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Barbara J. Pierson in honor of her 85<sup>th</sup> birthday as a token of our esteem and good wishes.

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**CONGRATULATIONS EXTENDED TO BETTY J. ROBERTS ON 90<sup>TH</sup> BIRTHDAY.**  
[R2024-0010263]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Betty J. Roberts in honor of her 90<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Betty J. Roberts on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Betty J. Roberts belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Betty J. Roberts on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Betty J. Roberts for her continued good health, happiness and success following this, her 90<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Betty J. Roberts in honor of her 90<sup>th</sup> birthday as a token of our esteem and good wishes.

---

**CONGRATULATIONS EXTENDED TO JOSEPHINE H. ROBINSON ON 70<sup>TH</sup> BIRTHDAY.**

[R2024-0010209]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Josephine H. Robinson in honor of her 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Josephine H. Robinson on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Josephine H. Robinson belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Josephine H. Robinson on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Josephine H. Robinson for her continued good health, happiness and success following this, her 70<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Josephine H. Robinson in honor of her 70<sup>th</sup> birthday as a token of our esteem and good wishes.

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CONGRATULATIONS EXTENDED TO RONALD D. ROBINSON ON  
65<sup>TH</sup> BIRTHDAY.

[R2024-0010264]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Ronald D. Robinson in honor of his 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Ronald D. Robinson on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Ronald D. Robinson belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Ronald D. Robinson on the occasion of his birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Ronald D. Robinson for his continued good health, happiness and success following this, his 65<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Ronald D. Robinson in honor of his 65<sup>th</sup> birthday as a token of our esteem and good wishes.

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**CONGRATULATIONS EXTENDED TO SYLVIA L. ROGERS ON 80<sup>TH</sup> BIRTHDAY.**  
[R2024-0010210]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Sylvia L. Rogers in honor of her 80<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Sylvia L. Rogers on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Sylvia L. Rogers belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Sylvia L. Rogers on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Sylvia L. Rogers for her continued good health, happiness and success following this, her 80<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Sylvia L. Rogers in honor of her 80<sup>th</sup> birthday as a token of our esteem and good wishes.

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**CONGRATULATIONS EXTENDED TO LENOISE C. SANFORD ON 80<sup>TH</sup> BIRTHDAY.**

[R2024-0010266]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Lenoise C. Sanford in honor of his 80<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Lenoise C. Sanford on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Lenoise C. Sanford belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Lenoise C. Sanford on the occasion of his birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Lenoise C. Sanford for his continued good health, happiness and success following this, his 80<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Lenoise C. Sanford in honor of his 80<sup>th</sup> birthday as a token of our esteem and good wishes.

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CONGRATULATIONS EXTENDED TO GENEVA O. SEXTION ON 80<sup>TH</sup> BIRTHDAY.  
[R2024-0010267]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Geneva O. Sextion in honor of her 80<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Geneva O. Sextion on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Geneva O. Sextion belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Geneva O. Sextion on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Geneva O. Sextion for her continued good health, happiness and success following this, her 80<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Geneva O. Sextion in honor of her 80<sup>th</sup> birthday as a token of our esteem and good wishes.

*CONGRATULATIONS EXTENDED TO JUANITA D. SIMMONS ON 80<sup>TH</sup> BIRTHDAY.*  
[R2024-0010269]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Juanita D. Simmons in honor of her 80<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Juanita D. Simmons on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Juanita D. Simmons belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Juanita D. Simmons on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Juanita D. Simmons for her continued good health, happiness and success following this, her 80<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Juanita D. Simmons in honor of her 80<sup>th</sup> birthday as a token of our esteem and good wishes.

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*CONGRATULATIONS EXTENDED TO CHARLES K. SNOWDEN ON 75<sup>TH</sup> BIRTHDAY.*

[R2024-0010271]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Charles K. Snowden in honor of his 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Charles K. Snowden on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Charles K. Snowden belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Charles K. Snowden on the occasion of his birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Charles K. Snowden for his continued good health, happiness and success following this, his 75<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Charles K. Snowden in honor of his 75<sup>th</sup> birthday as a token of our esteem and good wishes.

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*CONGRATULATIONS EXTENDED TO MARJORIE STROUD ON 75<sup>TH</sup> BIRTHDAY.*  
[R2024-0010273]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Marjorie Stroud in honor of her 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Marjorie Stroud on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Marjorie Stroud belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Marjorie Stroud on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Marjorie Stroud for her continued good health, happiness and success following this, her 75<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Marjorie Stroud in honor of her 75<sup>th</sup> birthday as a token of our esteem and good wishes.

---

*CONGRATULATIONS EXTENDED TO MACK J. SYKES ON 80<sup>TH</sup> BIRTHDAY.*  
[R2024-0010211]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Mack J. Sykes in honor of his 80<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Mack J. Sykes on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Mack J. Sykes belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Mack J. Sykes on the occasion of his birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Mack J. Sykes for his continued good health, happiness and success following this, his 80<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Mack J. Sykes in honor of his 80<sup>th</sup> birthday as a token of our esteem and good wishes.

---

**CONGRATULATIONS EXTENDED TO MICHAEL G. SYKES ON 70<sup>TH</sup> BIRTHDAY.**  
[R2024-0010274]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Michael G. Sykes in honor of his 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Michael G. Sykes on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Michael G. Sykes belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Michael G. Sykes on the occasion of his birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Michael G. Sykes for his continued good health, happiness and success following this, his 70<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Michael G. Sykes in honor of his 70<sup>th</sup> birthday as a token of our esteem and good wishes.

*CONGRATULATIONS EXTENDED TO MARY L. TAYLOR ON 80<sup>TH</sup> BIRTHDAY.*

[R2024-0010276]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Mary L. Taylor in honor of her 80<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Mary L. Taylor on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Mary L. Taylor belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Mary L. Taylor on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Mary L. Taylor for her continued good health, happiness and success following this, her 80<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Mary L. Taylor in honor of her 80<sup>th</sup> birthday as a token of our esteem and good wishes.

—

*CONGRATULATIONS EXTENDED TO DARLENE JAMISON TIBBS ON 65<sup>TH</sup> BIRTHDAY.*

[R2024-0010212]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Darlene Jamison Tibbs in honor of her 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Darlene Jamison Tibbs on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Darlene Jamison Tibbs belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Darlene Jamison Tibbs on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Darlene Jamison Tibbs for her continued good health, happiness and success following this, her 65<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Darlene Jamison Tibbs in honor of her 65<sup>th</sup> birthday as a token of our esteem and good wishes.

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CONGRATULATIONS EXTENDED TO OVIA VICK ON 80<sup>TH</sup> BIRTHDAY.

[R2024-0010277]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Ovia Vick in honor of her 80<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Ovia Vick on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Ovia Vick belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Ovia Vick on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Ovia Vick for her continued good health, happiness and success following this, her 80<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Ovia Vick in honor of her 80<sup>th</sup> birthday as a token of our esteem and good wishes.

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CONGRATULATIONS EXTENDED TO CARRIE J. WEAVER ON 70<sup>TH</sup> BIRTHDAY.

[R2024-0010279]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Carrie J. Weaver in honor of her 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Carrie J. Weaver on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Carrie J. Weaver belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Carrie J. Weaver on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Carrie J. Weaver for her continued good health, happiness and success following this, her 70<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Carrie J. Weaver in honor of her 70<sup>th</sup> birthday as a token of our esteem and good wishes.

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CONGRATULATIONS EXTENDED TO ROSE A. WILLIAMS ON 75<sup>TH</sup> BIRTHDAY.  
[R2024-0010281]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Rose A. Williams in honor of her 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Rose A. Williams on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Rose A. Williams belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Rose A. Williams on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Rose A. Williams for her continued good health, happiness and success following this, her 75<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Rose A. Williams in honor of her 75<sup>th</sup> birthday as a token of our esteem and good wishes.

**CONGRATULATIONS EXTENDED TO BARBARA V. WILLIAMS ON 85<sup>TH</sup> BIRTHDAY.**

[R2024-0010282]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Barbara V. Williams in honor of her 85<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Barbara V. Williams on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Barbara V. Williams belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Barbara V. Williams on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Barbara V. Williams for her continued good health, happiness and success following this, her 85<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Barbara V. Williams in honor of her 85<sup>th</sup> birthday as a token of our esteem and good wishes.

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**CONGRATULATIONS EXTENDED TO RENEE WILLIAMS-WHITFIELD ON 65<sup>TH</sup> BIRTHDAY.**

[R2024-0010283]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Renee Williams-Whitfield in honor of her 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Renee Williams-Whitfield on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Renee Williams-Whitfield belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Renee Williams-Whitfield on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Renee Williams-Whitfield for her continued good health, happiness and success following this, her 65<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Renee Williams-Whitfield in honor of her 65<sup>th</sup> birthday as a token of our esteem and good wishes.

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**CONGRATULATIONS EXTENDED TO WILLIE J. WINDHAM ON 95<sup>TH</sup> BIRTHDAY.**  
[R2024-0010285]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Willie J. Windham in honor of his 95<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Willie J. Windham on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Willie J. Windham belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Willie J. Windham on the occasion of his birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Willie J. Windham for his continued good health, happiness and success following this, his 95<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Willie J. Windham in honor of his 95<sup>th</sup> birthday as a token of our esteem and good wishes.

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**CONGRATULATIONS EXTENDED TO BRENDA C. WINSLOW ON 75<sup>TH</sup> BIRTHDAY.**  
[R2024-0010288]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Brenda C. Winslow in honor of her 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Brenda C. Winslow on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Brenda C. Winslow belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Brenda C. Winslow on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Brenda C. Winslow for her continued good health, happiness and success following this, her 75<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Brenda C. Winslow in honor of her 75<sup>th</sup> birthday as a token of our esteem and good wishes.

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CONGRATULATIONS EXTENDED TO INEZ WRIGHT ON 85<sup>TH</sup> BIRTHDAY.  
[R2024-0010213]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Inez Wright in honor of her 85<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Inez Wright on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Inez Wright belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Inez Wright on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Inez Wright for her continued good health, happiness and success following this, her 85<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Inez Wright in honor of her 85<sup>th</sup> birthday as a token of our esteem and good wishes.

*CONGRATULATIONS EXTENDED TO JOAN M. YOUNG ON 70<sup>TH</sup> BIRTHDAY.*

[R2024-0010289]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Joan M. Young in honor of her 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Joan M. Young on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Joan M. Young belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Joan M. Young on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Joan M. Young for her continued good health, happiness and success following this, her 70<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Joan M. Young in honor of her 70<sup>th</sup> birthday as a token of our esteem and good wishes.

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*CONGRATULATIONS EXTENDED TO KATHERINE LEE YOUNG ON 70<sup>TH</sup> BIRTHDAY.*

[R2024-0010214]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Katherine Lee Young in honor of her 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 8<sup>th</sup> Ward, Alderperson Michelle A. Harris would like to extend her personal tribute to Katherine Lee Young on this momentous occasion as recognition for being a stellar resident of the City of Chicago; and

WHEREAS, Katherine Lee Young belongs to our 8<sup>th</sup> Ward seniors community, of whom we value and treasure for all they have given and taught us in their collective lifetime; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024, do hereby congratulate Katherine Lee Young on the occasion of her birthday; and

*Be It Further Resolved*, That we extend our most heartfelt wishes to Katherine Lee Young for her continued good health, happiness and success following this, her 70<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Katherine Lee Young in honor of her 70<sup>th</sup> birthday as a token of our esteem and good wishes.

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*Presented By*

***ALDERPERSON HARRIS (8<sup>th</sup> Ward) And  
ALDERPERSON SPOSATO (38<sup>th</sup> Ward):***

***CONGRATULATIONS AND BEST WISHES EXTENDED TO TORIAN COX ON NEW  
POSITION WITH CHICAGO FIRE DEPARTMENT.***

[R2024-0010892]

WHEREAS, This august Chicago City Council body has been informed of Mr. Torian "TC" Cox and his outstanding achievements by the Honorable Michelle A. Harris, Alderperson of the 8<sup>th</sup> Ward; and

WHEREAS, Torian "TC" Cox was born August 27, 1991 to parents Rosalyn Harris (deceased) and Lorenzo Cox and raised in Auburn Gresham on the South Side of Chicago alongside his grandmother, Ernest Mae Staples; and

WHEREAS, Torian has one sibling, Brentin Cox, and four children, Tavian, Ashton, Addison and Ayden Cox; and

WHEREAS, Torian attended Adlai E. Stevenson Elementary School, Morgan Park High School and Southern Illinois University College; and

WHEREAS, He started his career working for CTA, transitioning to City of Chicago City Council under the leadership of Chairman Michelle A. Harris and now the Chicago Fire Department; and

WHEREAS, Torian, at a young age, became known as the historian in his family; the man in the family that knows the history from Greenwood, Mississippi to Chicago. You can always find Torian with a smile and a warm hug with a passion and joy for life; now, therefore,

*Be It Resolved*, That the Mayor and members of the City Council of the City of Chicago, do hereby express our congratulations and best wishes on your recent accomplishment; and

*Be It Further Resolved*, That a suitable copy of this resolution be prepared and presented to Mr. Torian "TC" Cox.

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*Presented By*

**ALDERPERSON CHICO (10<sup>th</sup> Ward):**

**CONGRATULATIONS EXTENDED TO CALUMET PARK ON 100<sup>TH</sup> ANNIVERSARY.**  
[R2024-0010838]

WHEREAS, We, the members of the Chicago City Council, wish to recognize and celebrate the 100<sup>th</sup> year anniversary of Calumet Park and its contributions to the communities in the Southeast Side of Chicago since its development; and

WHEREAS, On behalf of the entire community, Alderperson Peter Chico would like to extend his congratulations to the Chicago Park District staff at Calumet Park for their dedication to keeping Calumet Park accessible to everyone and providing numerous programs and facilities available to the community members all year round; and

WHEREAS, Calumet Park is more than just a park; it is a community center where residents can feel welcomed by participating in the various programs as well as hosting events that bring people together. It is a safe space where children can participate in physical activity such as sports like basketball and boxing, as well as having access to the gymnasium all year round; and

WHEREAS, Calumet Park provides the local residents with access to the Lake Michigan Shoreline as well as providing economic opportunities such as concession stands available to the public to meet their needs while spending their day at the park; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July, do hereby commend the Chicago Park District and the Calumet Park staff for their exceptional contributions to the Southeast Side communities of Chicago; and

*Be It Further Resolved*, That we extend our most heartfelt appreciation to the Calumet Park staff for their continued success in the parks future operations; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to the Calumet Park staff as a token of our appreciation for their service to the community.

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*CONGRATULATIONS EXTENDED TO TERRY CUMMINGS ON RETIREMENT FROM NATIONAL BASKETBALL ASSOCIATION.*

[R2024-0010863]

WHEREAS, We, the members of the Chicago City Council, wish to recognize Terry Cummings for his extraordinary athleticism and commitment to the sport of basketball and his remarkable achievements during his 18-year NBA career; and

WHEREAS, On behalf of the entire community, Alderperson Peter Chico would like to extend his personal tribute to Terry Cummings, a hometown hero to Chicago who attended Carver Military High School and later went on to attend a Division 1 college, DePaul University; and

WHEREAS, Terry Cummings prospered in college, becoming one of the best basketball athletes to ever come from DePaul University. This led to him being drafted as a first-round, second overall pick to the San Diego Clippers in the 1982 NBA Draft; and

WHEREAS, Terry Cummings showcased his talent and athletic prowess his first year in the NBA by being awarded Rookie of the Year by averaging 24 points over 70 games. Throughout Terry Cummings' career, he also became an All-Star player twice during the 1984 -- 1985 as well as the 1988 -- 1989 seasons with the Milwaukee Bucks. Eventually, Terry Cummings had his college basketball jersey retired by DePaul University in his honor; and

WHEREAS, During Terry Cummings' NBA career, he played for multiple teams and also took it upon himself to create Terry Cummings Entertainment Group in 2007, and after he retired from the NBA, he dropped his studio album "L 3 The Lifestyle Project", which he wrote, sang and composed. Later on, he released more albums, solidifying his music portfolio; and

WHEREAS, Chicago's very own Terry Cummings' legacy continues to inspire the youth on and off the court through his outstanding accomplishments and devotion to his faith as a preacher to the people; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> day of July to commend Terry Cummings' exceptional legacy throughout his career; and

*Be It Resolved*, That we extend our most profound appreciation to Terry Cummings for his continued good health and happiness; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Terry Cummings as a token of our esteem and gratitude for his remarkable achievements throughout his career.

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**CONGRATULATIONS EXTENDED TO SUE DIXON AND HER DAUGHTER, JEANINE DIXON, ON 20 YEARS OF EXCEPTIONAL SERVICE TO SOUTHEAST SIDE OF CHICAGO.**

[R2024-0010836]

WHEREAS, We, the members of the Chicago City Council, wish to recognize and celebrate the outstanding contributions of Sue Dixon and her daughter, Jeanine Dixon, who have been pillars of generosity and community spirit on the Southeast Side of Chicago for over two decades; and

WHEREAS, On behalf of the entire community, Alderperson Peter Chico would like to extend his personal tribute to Sue and Jeanine Dixon as recognition for their tireless dedication in establishing numerous community organizations, with the Bush Community Garden of Hope standing out as a beacon of their commitment; and

WHEREAS, The Bush Community Garden of Hope is more than just a green space; it is a sanctuary where children find a safe place to play, and plants flourish under the care of devoted gardeners, symbolizing the fruitful efforts of the community by producing fresh, delicious food that is a testament to the gardeners' hard work; and

WHEREAS, The garden extends its bounty through a food pantry, ensuring local residents can access nutritious produce, and Sue and Jeanine's unwavering efforts have not only cultivated a garden but also a sense of hope and solidarity within the community; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July, do hereby commend Sue and Jeanine Dixon for their exceptional contributions to the Southeast Side community; and

*Be It Further Resolved*, That we extend our most heartfelt appreciation to Sue and Jeanine Dixon for their continued good health, happiness and success in all their future endeavors; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Sue and Jeanine Dixon as a token of our esteem and gratitude for their remarkable service to community.

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*Presented By*

**ALDERPERSON RAMIREZ (12<sup>th</sup> Ward):**

**CONGRATULATIONS EXTENDED TO M&G GRAPHICS ON 40<sup>TH</sup> ANNIVERSARY.**  
[R2024-0010376]

WHEREAS, M&G Graphics, a women-owned, family-powered commercial printing company, has been a cornerstone of the Chicago business community for four decades, providing high-quality commercial printing services to businesses and residents; and

WHEREAS, M&G Graphics was founded in August 1984 by Robert Meyer, a skilled mechanic and pressman, and Josephine Meyer, an immigrant from Ireland. The business is a testament to the American dream, built upon the foundation of Robert's mechanical aptitude, Josephine's immigrant experience and the collective efforts of the Meyer family across three generations of ownership and leadership; and

WHEREAS, Family is everything. M&G Graphics has thrived as a family-owned business, with three generations currently working and contributing to technological innovations, marketing, business operations and production; and

WHEREAS, M&G Graphics has been a part of the vibrant and diverse Brighton Park community for 40 years. As an involved member of the Brighton Park community, M&G Graphics recruits and hires locally, and many current staff members live in the community. Additionally, M&G Graphics is committed to giving back to the community and supporting residents in need by donating to local food banks and women's shelters; and

WHEREAS, M&G Graphics is a trailblazer in sustainability, being certified by the Forest Stewardship Council (FSC) as an environmentally responsible printer, recycling all paper and aluminum plates, and utilizing energy-efficient LED lighting throughout its 40,000-square-foot building; and

WHEREAS, M&G Graphics achieved certification as a Woman-owned Business Enterprise (WBE) in Chicago and as a Business Enterprise Program (BEP) by the State of Illinois Commission on Equity and Inclusion in 1989, subsequently obtaining accreditation as a National Women's Business Enterprise Council (WBENC) member since 2023; and

WHEREAS, M&G has been entrusted with printing services for prestigious institutions and organizations in the city of Chicago, including the Art Institute of Chicago, the Museum of Science and Industry, the University of Chicago, Northwestern Hospital, the Chicago White Sox and the Chicago Bulls, reflecting its reputation for delivering the highest-quality products and services; and

WHEREAS, M&G Graphics has embraced cutting-edge print technology, offering the newest innovations to its clients and maintaining a competitive edge in the industry, including the Fuji JPress, the newest and most advanced inkjet press technology; and

WHEREAS, M&G Graphics has expanded its services to include a creative studio, providing clients with comprehensive in-house design and innovative solutions and further enhancing its ability to meet the diverse needs of the Chicago community; and

WHEREAS, This year, M&G Graphics celebrates 40 years of serving the people, institutions and businesses of the great City of Chicago; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the City Council of the City of Chicago, assembled this 17<sup>th</sup> day of July, do hereby congratulate M&G Graphics on its 40<sup>th</sup> anniversary.

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*Presented By*

**ALDERPERSON QUINN (13<sup>th</sup> Ward):**

**TRIBUTE TO LATE FRANK J. SAUTKAS.**

[R2024-0010597]

WHEREAS, God, in His infinite wisdom, has called Frank J. Sautkas to his eternal reward; and

WHEREAS, The Chicago City Council has been informed of his passing by the Honorable Marty Quinn, Alderperson of the 13<sup>th</sup> Ward; and

WHEREAS, Frank J. Sautkus, age 86, of Chicago, Illinois, passed away peacefully on Memorial Day, May 27, 2024 with his loving family by his side. Beloved father of James Sautkus, Jennifer (Christopher) Jania, Thomas (Allison) Sautkus, and Steven (Laura) Sautkus; proud papa of Ryan, Rhiannon, Marissa and Leah Sautkus, Grace, Jack and Emma Jania, CJ Garcia, Ileana, Daniella (Jenny) and Alex Ramos; former husband of Maureen (nee Brady) Plonis, who remained a dear friend; loving brother of Ruth (the late Donald) Sorenson; dear brother-in-law of the late William Brady, the late Kevin (late Gail) Brady and Dennis Brady; and former father-in-law of Tammy Brennan;

dearest uncle to many nieces and nephews. Preceding him in death were his parents, Louis and Anna (nee Ledzius) Sautkus, and his beloved grandmother, Barbora (nee Puzalte) Sautkus; and

WHEREAS, Lifelong resident of Chicago, Frank was a proud veteran of the United States Army, and a retired Chicago police captain with 38-plus years of service to the city. After retirement, Frank became a full-time spoiler of his grandchildren and was affectionately known as Papa by everyone. He was a constant source of encouragement, generosity and humor, and a vast wealth of knowledge. Over his lifetime, his passions included gardening, photography, reading, crossword puzzles, trivia, and classical music, and he was an impressive collector of Hotwheels cars. Truly the patriarch of the family, Papa will be missed beyond measure; and

WHEREAS, Frank J. Sautkas leaves a legacy of faith, dignity, compassion and love; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> day of July 2024, hereby express our sorrow on the death of Frank J. Sautkas and extend to his family and friends our deepest sympathy; and

*Be It Further Resolved*, That a suitable copy be presented to the family of Frank J. Sautkas.

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**CONGRATULATIONS EXTENDED TO LATINO ORGANIZATION OF THE SOUTHWEST ON 30<sup>TH</sup> ANNIVERSARY.**

[R2024-0010601]

WHEREAS, The Latino Organization of the Southwest was founded in 1992 on the Southwest Side of Chicago; and

WHEREAS, The Chicago City Council has been informed of this prestigious occasion by the Honorable Marty Quinn, Alderperson of the 13<sup>th</sup> Ward; and

WHEREAS, The Latino Organization of the Southwest was founded in 1992 by a group of Latino residents and leaders on the Southwest Side of Chicago. LOS has always been on the Southwest Side, providing services to the communities of Gage Park, Chicago Lawn, West Lawn as well as the suburban areas of Summit, Burbank, Alsip and Bedford Park. LOS is currently located in the West Lawn neighborhood; and

WHEREAS, LOS grew out of a need to address changing economic, educational, social and political issues in the Latino community, as well as community development and leadership skills for its constituency. The families that LOS primarily serves are Spanish-speaking but it helps those of all cultures and backgrounds; and

WHEREAS, LOS uses three approaches in working with and serving the community: direct service, community organizing and advocacy; and

WHEREAS, LOS is staffed with 100 percent bilingual and bicultural employees; they live within five miles of LOS. They are descendants of various Latino and Spanish-speaking countries. The majority of the staff has been with the agency for over 10 years; and

WHEREAS, Over the years, thousands of individuals and families on the Southwest Side have benefited from the many programs and services provided by LOS; and

WHEREAS, The Latino Organization of the Southwest has been in existence for over 30 years. Their staff and board members all share cultural immigrant backgrounds that represent the communities they serve. LOS is the fastest growing immigrant community on the Southwest Side of Chicago; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the City Council of the City of Chicago, gathered here this 17<sup>th</sup> day of July 2024, do hereby express our sincerest appreciation to the Latino Organization of the Southwest for their continued service to the community; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to the Latino Organization of the Southwest.

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*Presented By*

**ALDERPERSON LOPEZ (15<sup>th</sup> Ward):**

**TRIBUTE TO LATE SEAN GIBBONS.**

[R2024-0011127]

WHEREAS, On July 10, 2024, God, in His infinite wisdom, has called home Sean Gibbons, born into this world on the 25<sup>th</sup> of August 1976, for his rightful and eternal reward; and

WHEREAS, The City Council of the City of Chicago has been duly informed of his passing by the Honorable Raymond Lopez, Alderperson of the 15<sup>th</sup> Ward; and

WHEREAS, Sean Gibbons is preceded in death by his paternal grandparents, Delia and Thomas Gibbons, and maternal grandparents, James and Sadie Quinn; and

WHEREAS, Sean Gibbons is survived in life by his parents, Thomas “Blacktop” Gibbons and Patricia (nee Quinn) Gibbons; stepmother, Debby Gibbons; brother, Martin (and wife, Laura), and sisters, Maura and Bridget; nieces, Sadie and Claire Gibbons; and cousins, Joseph Gibbons, Thomas Gibbons, Jr., Stephen Gibbons, Sheila Gibbons, Patrick Gibbons and Thomas “The Brit” Gibbons; and

WHEREAS, Sean Gibbons was raised and lived most of his life in Chicago’s Lakeview community, developing strong bonds with his siblings, cousins and friends; and

WHEREAS, The life of Sean Gibbons, a first-generation Irish American, will continue to reside in the hearts of his beloved parents and all who worked tirelessly to help him work towards being the best possible person he could be; and

WHEREAS, We echo the sentiment expressed in this Celtic blessing: “May the sun shine warm upon your face; May the rain fall softly upon your fields. Until we meet again, may God hold you in the hollow of His hand”; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the City Council, gathered here this 17<sup>th</sup> of July 2024, come together to express our deepest and heartfelt sympathies to the entire Gibbons family on the loss of Sean Gibbons; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy be provided to the surviving family members of Sean Gibbons as a testament of our condolences.

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**CONGRATULATIONS EXTENDED TO RAMON ABONCE CABRAL ON 75<sup>TH</sup> BIRTHDAY.**

[R2024-0010705]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Ramon Abonce Cabral in honor of his 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Ramon Abonce Cabral on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Ramon Abonce Cabral has been a member of our 15<sup>th</sup> Ward seniors community for the last 10 years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Ramon Abonce Cabral for his continued good health, happiness and success following this 75<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to Ramon Abonce Cabral in honor of his 75<sup>th</sup> birthday as a token of our esteem and good wishes.

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*CONGRATULATIONS EXTENDED TO LINDA ADCOCK ON 75<sup>TH</sup> BIRTHDAY.*  
[R2024-0010748]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Linda Adcock in honor of her 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Linda Adcock on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Linda Adcock has been a member of our 15<sup>th</sup> Ward seniors community for the last 10 years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Linda Adcock for her continued good health, happiness and success following this 75<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Linda Adcock in honor of her 75<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO IBUKUN AKINGBESOTE ON 80<sup>TH</sup> BIRTHDAY.**

[R2024-0010781]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Ibukun Akingbesote in honor of her 80<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Ibukun Akingbesote on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Ibukun Akingbesote has been a member of our 15<sup>th</sup> Ward seniors community for the last 15 years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Ibukun Akingbesote for her continued good health, happiness and success following this 80<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Ibukun Akingbesote in honor of her 80<sup>th</sup> birthday as a token of our esteem and good wishes.*

**CONGRATULATIONS EXTENDED TO DIANE ALTMAN ON 65<sup>TH</sup> BIRTHDAY.**  
[R2024-0010796]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Diane Altman in honor of her 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Diane Altman on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Diane Altman now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Diane Altman for her continued good health, happiness and success following this 65<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to Diane Altman in honor of her 65<sup>th</sup> birthday as a token of our esteem and good wishes.

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**CONGRATULATIONS EXTENDED TO ANTONIO ANAYA ON 75<sup>TH</sup> BIRTHDAY.**  
[R2024-0010821]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Antonio Anaya in honor of his 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Antonio Anaya on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Antonio Anaya has been a member of our 15<sup>th</sup> Ward seniors community for the last 10 years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Antonio Anaya for his continued good health, happiness and success following this 75<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Antonio Anaya in honor of his 75<sup>th</sup> birthday as a token of our esteem and good wishes.*

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CONGRATULATIONS EXTENDED TO INOCENCIO ANGELES ON  
65<sup>TH</sup> BIRTHDAY.

[R2024-0010693]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Inocencio Angeles in honor of his 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Inocencio Angeles on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Inocencio Angeles now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Inocencio Angeles for his continued good health, happiness and success following this 65<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Inocencio Angeles in honor of his 65<sup>th</sup> birthday as a token of our esteem and good wishes.*

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*CONGRATULATIONS EXTENDED TO LOUIS ARTEAGA ON 75<sup>TH</sup> BIRTHDAY.*

[R2024-0010700]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Louis Arteaga in honor of his 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Louis Arteaga on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Louis Arteaga has been a member of our 15<sup>th</sup> Ward seniors community for the last 10 years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Louis Arteaga for his continued good health, happiness and success following this 75<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Louis Arteaga in honor of his 75<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO MARIA AYALA ON 65<sup>TH</sup> BIRTHDAY.**  
[R2024-0010666]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Maria Ayala in honor of her 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgment to Maria Ayala on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Maria Ayala now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Maria Ayala for her continued good health, happiness and success following this 65<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Maria Ayala in honor of her 65<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO DULCE BALDERAS ON 70<sup>TH</sup> BIRTHDAY.**  
[R2024-0010795]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Dulce Balderas in honor of her 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Dulce Balderas on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Dulce Balderas has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Dulce Balderas for her continued good health, happiness and success following this 70<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to Dulce Balderas in honor of her 70<sup>th</sup> birthday as a token of our esteem and good wishes.

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**CONGRATULATIONS EXTENDED TO MARILYN BARNES ON 70<sup>TH</sup> BIRTHDAY.**  
[R2024-0010774]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Marilyn Barnes in honor of her 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Marilyn Barnes on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Marilyn Barnes has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Marilyn Barnes for her continued good health, happiness and success following this 70<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to Marilyn Barnes in honor of her 70<sup>th</sup> birthday as a token of our esteem and good wishes.

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*CONGRATULATIONS EXTENDED TO RICHARD BARNOTES ON 65<sup>TH</sup> BIRTHDAY.*  
[R2024-0010667]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Richard Barnotes in honor of his 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgment to Richard Barnotes on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Richard Barnotes now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Richard Barnotes for his continued good health, happiness and success following this 65<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Richard Barnotes in honor of his 65<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO DANIEL BAUTISTA ON 75<sup>TH</sup> BIRTHDAY.**

[R2024-0010665]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Daniel Bautista in honor of his 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Daniel Bautista on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Daniel Bautista has been a member of our 15<sup>th</sup> Ward seniors community for the last 10 years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Daniel Bautista for his continued good health, happiness and success following this 75<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Daniel Bautista in honor of his 75<sup>th</sup> birthday as a token of our esteem and good wishes.*

*CONGRATULATIONS EXTENDED TO JESSIE BICKHAM ON 70<sup>TH</sup> BIRTHDAY.*

[R2024-0010783]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Jessie Bickham in honor of her 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Jessie Bickham on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Jessie Bickham has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Jessie Bickham for her continued good health, happiness and success following this 70<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented Jessie Bickham in honor of her 70<sup>th</sup> birthday as a token of our esteem and good wishes.*

—

*CONGRATULATIONS EXTENDED TO LARRY BOSWELL ON 65<sup>TH</sup> BIRTHDAY.*

[R2024-0010695]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Larry Boswell in honor of his 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Larry Boswell on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Larry Boswell now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Larry Boswell for his continued good health, happiness and success following this 65<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Larry Boswell in honor of his 65<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO BOBBY BRIDGEMAN ON 75<sup>TH</sup> BIRTHDAY.**  
[R2024-0010810]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Bobby Bridgeman in honor of his 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Bobby Bridgeman on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Bobby Bridgeman has been a member of our 15<sup>th</sup> Ward seniors community for the last 10 years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Bobby Bridgeman for his continued good health, happiness and success following this 75<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Bobby Bridgeman in honor of his 75<sup>th</sup> birthday as a token of our esteem and good wishes.*

---

**CONGRATULATIONS EXTENDED TO JUANITA BROWN ON 75<sup>TH</sup> BIRTHDAY.**

[R2024-0010668]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Juanita Brown in honor of her 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Juanita Brown on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Juanita Brown has been a member of our 15<sup>th</sup> Ward seniors community for the last 10 years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Juanita Brown for her continued good health, happiness and success following this 75<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Juanita Brown in honor of her 75<sup>th</sup> birthday as a token of our esteem and good wishes.*

---

**CONGRATULATIONS EXTENDED TO LISA BROWN ON 65<sup>TH</sup> BIRTHDAY.**

[R2024-0010669]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Lisa Brown in honor of her 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgment to Lisa Brown on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Lisa Brown now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Lisa Brown for her continued good health, happiness and success following this 65<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Lisa Brown in honor of her 65<sup>th</sup> birthday as a token of our esteem and good wishes.*

*CONGRATULATIONS EXTENDED TO WILLIE BROWN ON 70<sup>TH</sup> BIRTHDAY.*

[R2024-0010789]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Willie Brown in honor of his 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Willie Brown on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Willie Brown has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Willie Brown for his continued good health, happiness and success following this 70<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Willie Brown in honor of his 70<sup>th</sup> birthday as a token of our esteem and good wishes.*

—

*CONGRATULATIONS EXTENDED TO BESSIE BROWN-SIMS ON 80<sup>TH</sup> BIRTHDAY.*

[R2024-0010737]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Bessie Brown-Sims in honor of her 80<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Bessie Brown-Sims on the occasion of this

momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Bessie Brown-Sims has been a member of our 15<sup>th</sup> Ward seniors community for the last 15 years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Bessie Brown-Sims for her continued good health, happiness and success following this 80<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to Bessie Brown-Sims in honor of her 80<sup>th</sup> birthday as a token of our esteem and good wishes.

---

*CONGRATULATIONS EXTENDED TO AUORA CALVILLO ON 70<sup>TH</sup> BIRTHDAY.*  
[R2024-0010755]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Auora Calvillo in honor of her 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Auora Calvillo on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Auora Calvillo has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Auora Calvillo for her continued good health, happiness and success following this 70<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Auora Calvillo in honor of her 70<sup>th</sup> birthday as a token of our esteem and good wishes.*

—

*CONGRATULATIONS EXTENDED TO JUAN CALVILLO ON 75<sup>TH</sup> BIRTHDAY.*

[R2024-0010708]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Juan Calvillo in honor of his 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Juan Calvillo on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Juan Calvillo has been a member of our 15<sup>th</sup> Ward seniors community for the last 10 years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Juan Calvillo for his continued good health, happiness and success following this 75<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Juan Calvillo in honor of his 75<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO VALERIE CALVIN ON 65<sup>TH</sup> BIRTHDAY.**  
[R2024-0010671]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Valerie Calvin in honor of her 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgment to Valerie Calvin on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Valerie Calvin now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Valerie Calvin for her continued good health, happiness and success following this 65<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Valerie Calvin in honor of her 65<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO ANA CASTILLO ON 65<sup>TH</sup> BIRTHDAY.**  
[R2024-0010728]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Ana Castillo in honor of her 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Ana Castillo on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Ana Castillo now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this July 17, 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Ana Castillo for her continued good health, happiness and success following this 65<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Ana Castillo in honor of her 65<sup>th</sup> birthday as a token of our esteem and good wishes.*

---

*CONGRATULATIONS EXTENDED TO MARIA CISNEROS ON 70<sup>TH</sup> BIRTHDAY.*  
[R2024-0010786]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Maria Cisneros in honor of her 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Maria Cisneros on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Maria Cisneros has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Maria Cisneros for her continued good health, happiness and success following this 70<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to Maria Cisneros in honor of her 70<sup>th</sup> birthday as a token of our esteem and good wishes.

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CONGRATULATIONS EXTENDED TO SARAH CLARKE ON 70<sup>TH</sup> BIRTHDAY.  
[R2024-0010785]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Sarah Clarke in honor of her 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Sarah Clarke on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Sarah Clarke has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Sarah Clarke for her continued good health, happiness and success following this 70<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Sarah Clarke in honor of her 70<sup>th</sup> birthday as a token of our esteem and good wishes.*

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*CONGRATULATIONS EXTENDED TO C CLAY ON 80<sup>TH</sup> BIRTHDAY.*

[R2024-0010828]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to C Clay in honor of his 80<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to C Clay on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, C Clay has been a member of our 15<sup>th</sup> Ward seniors community for the last 15 years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to C Clay for his continued good health, happiness and success following this 80<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to C Clay in honor of his 80<sup>th</sup> birthday as a token of our esteem and good wishes.*

**CONGRATULATIONS EXTENDED TO JOHN CONNERS ON 70<sup>TH</sup> BIRTHDAY.**

[R2024-0010788]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to John Connors in honor of his 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to John Connors on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, John Connors has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to John Connors for his continued good health, happiness and success following this 70<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to John Connors in honor of his 70<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO ARNOLD CONTRERAS ON 70<sup>TH</sup> BIRTHDAY.**

[R2024-0010790]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Arnold Contreras in honor of his 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Arnold Contreras on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Arnold Contreras has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Arnold Contreras for his continued good health, happiness and success following this 70<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Arnold Contreras in honor of his 70<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO KENNETH COOK ON 65<sup>TH</sup> BIRTHDAY.**

[R2024-0010672]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Kenneth Cook in honor of his 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgment to Kenneth Cook on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Kenneth Cook now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Kenneth Cook for his continued good health, happiness and success following this 65<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Kenneth Cook in honor of his 65<sup>th</sup> birthday as a token of our esteem and good wishes.*

---

CONGRATULATIONS EXTENDED TO ROOSEVELT COUNCIL ON  
75<sup>TH</sup> BIRTHDAY.

[R2024-0010670]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Roosevelt Council in honor of his 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Roosevelt Council on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Roosevelt Council has been a member of our 15<sup>th</sup> Ward seniors community for the last 10 years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby*

extend our warmest and heartfelt best wishes to Roosevelt Council for his continued good health, happiness and success following this 75<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Roosevelt Council in honor of his 75<sup>th</sup> birthday as a token of our esteem and good wishes.*

---

**CONGRATULATIONS EXTENDED TO JAMES COUSINS ON 80<sup>TH</sup> BIRTHDAY.**

[R2024-0010680]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to James Cousins in honor of his 80<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to James Cousins on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, James Cousins has been a member of our 15<sup>th</sup> Ward seniors community for the last 15 years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to James Cousins for his continued good health, happiness and success following this 80<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to James Cousins in honor of his 80<sup>th</sup> birthday as a token of our esteem and good wishes.*

---

**CONGRATULATIONS EXTENDED TO BARBARA CRUZ ON 65<sup>TH</sup> BIRTHDAY.**  
[R2024-0010675]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Barbara Cruz in honor of her 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgment to Barbara Cruz on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Barbara Cruz now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Barbara Cruz for her continued good health, happiness and success following this 65<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Barbara Cruz in honor of her 65<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO MARIA CRUZ ON 65<sup>TH</sup> BIRTHDAY.**  
[R2024-0010739]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Maria Cruz in honor of her 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Maria Cruz on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Maria Cruz now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this July 17, 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Maria Cruz for her continued good health, happiness and success following this 65<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Maria Cruz in honor of her 65<sup>th</sup> birthday as a token of our esteem and good wishes.*

---

**CONGRATULATIONS EXTENDED TO JOSE CUSTODIO ON 70<sup>TH</sup> BIRTHDAY.**  
[R2024-0010775]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Jose Custodio in honor of his 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Jose Custodio on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Jose Custodio has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Jose Custodio for his continued good health, happiness and success following this 70<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Jose Custodio in honor of his 70<sup>th</sup> birthday as a token of our esteem and good wishes.*

---

**CONGRATULATIONS EXTENDED TO RUBY DANNER ON 65<sup>TH</sup> BIRTHDAY.**

[R2024-0010660]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Ruby Danner in honor of her 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgment to Ruby Danner on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Ruby Danner now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Ruby Danner for her continued good health, happiness and success following this 65<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Ruby Danner in honor of her 65<sup>th</sup> birthday as a token of our esteem and good wishes.*

---

**CONGRATULATIONS EXTENDED TO LARRY DEAN ON 65<sup>TH</sup> BIRTHDAY.**  
[R2024-0010738]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Larry Dean in honor of his 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Larry Dean on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Larry Dean now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this July 17, 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Larry Dean for his continued good health, happiness and success following this 65<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Larry Dean in honor of his 65<sup>th</sup> birthday as a token of our esteem and good wishes.*

---

**CONGRATULATIONS EXTENDED TO DELBERT DENT ON 70<sup>TH</sup> BIRTHDAY.**  
[R2024-0010664]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Delbert Dent in honor of his 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Delbert Dent on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Delbert Dent has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Delbert Dent for his continued good health, happiness and success following this 70<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to Delbert Dent in honor of his 70<sup>th</sup> birthday as a token of our esteem and good wishes.

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CONGRATULATIONS EXTENDED TO VICTOR DE-LA-GARZA ON  
70<sup>TH</sup> BIRTHDAY.

[R2024-0010800]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Victor De-La-Garza in honor of his 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Victor De-La-Garza on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Victor De-La-Garza has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Victor De-La-Garza for his continued good health, happiness and success following this 70<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to Victor De-La-Garza in honor of his 70<sup>th</sup> birthday as a token of our esteem and good wishes.

---

CONGRATULATIONS EXTENDED TO JOSEPHINE DELGADO ON  
70<sup>TH</sup> BIRTHDAY.

[R2024-0010784]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Josephine Delgado in honor of her 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Josephine Delgado on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Josephine Delgado has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby

extend our warmest and heartfelt best wishes to Josephine Delgado for her continued good health, happiness and success following this 70<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented Josephine Delgado in honor of her 70<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO RAFAEL DELGADO ON 70<sup>TH</sup> BIRTHDAY.**  
[R2024-0010696]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Rafael Delgado in honor of his 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgment to Rafael Delgado on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Rafael Delgado has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Rafael Delgado for his continued good health, happiness and success following this 70<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Rafael Delgado in honor of his 70<sup>th</sup> birthday as a token of our esteem and good wishes.*

---

**CONGRATULATIONS EXTENDED TO JAVIER DIAZ ON 70<sup>TH</sup> BIRTHDAY.**  
[R2024-0010688]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Javier Diaz in honor of his 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgment to Javier Diaz on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Javier Diaz has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Javier Diaz for his continued good health, happiness and success following this 70<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Javier Diaz in honor of his 70<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO RICHARD DINEEN ON 65<sup>TH</sup> BIRTHDAY.**  
[R2024-0010677]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Richard Dineen in honor of his 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Richard Dineen on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Richard Dineen now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Richard Dineen for his continued good health, happiness and success following this 65<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to Richard Dineen in honor of his 65<sup>th</sup> birthday as a token of our esteem and good wishes.

—

**CONGRATULATIONS EXTENDED TO JOANNE DOLGUST ON 65<sup>TH</sup> BIRTHDAY.**  
[R2024-0010763]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Joanne Dolgust in honor of her 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Joanne Dolgust on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Joanne Dolgust now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Joanne Dolgust for her continued good health, happiness and success following this 65<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to Joanne Dolgust in honor of her 65<sup>th</sup> birthday as a token of our esteem and good wishes.

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**CONGRATULATIONS EXTENDED TO JULIE DONELSON ON 70<sup>TH</sup> BIRTHDAY.**  
[R2024-0010723]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Julie Donelson in honor of her 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Julie Donelson on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Julie Donelson has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Julie Donelson for her continued good health, happiness and success following this 70<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Julie Donelson in honor of her 70<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO ERSKINE DOWDY ON 70<sup>TH</sup> BIRTHDAY.**  
[R2024-0010674]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Erskine Dowdy in honor of his 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgment to Erskine Dowdy on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Erskine Dowdy has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Erskine Dowdy for his continued good health, happiness and success following this 70<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Erskine Dowdy in honor of his 70<sup>th</sup> birthday as a token of our esteem and good wishes.*

*CONGRATULATIONS EXTENDED TO ANTHONY DYDUCH ON 75<sup>TH</sup> BIRTHDAY.*  
[R2024-0010752]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Anthony Dyduch in honor of his 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Anthony Dyduch on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Anthony Dyduch has been a member of our 15<sup>th</sup> Ward seniors community for the last 10 years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Anthony Dyduch for his continued good health, happiness and success following this 75<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to Anthony Dyduch in honor of his 75<sup>th</sup> birthday as a token of our esteem and good wishes.

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*CONGRATULATIONS EXTENDED TO ALEKSANDRA EIVA ON 70<sup>TH</sup> BIRTHDAY.*  
[R2024-0010805]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Aleksandra Eiva in honor of her 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Aleksandra Eiva on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Aleksandra Eiva has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Aleksandra Eiva for her continued good health, happiness and success following this 70<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Aleksandra Eiva in honor of her 70<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO JEANETTE ELLISON ON 75<sup>TH</sup> BIRTHDAY.**  
[R2024-0010797]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Jeanette Ellison in honor of her 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Jeanette Ellison on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Jeanette Ellison has been a member of our 15<sup>th</sup> Ward seniors community for the last 10 years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Jeanette Ellison for her continued good health, happiness and success following this 75<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to Jeanette Ellison in honor of her 75<sup>th</sup> birthday as a token of our esteem and good wishes.

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**CONGRATULATIONS EXTENDED TO JOHN ENSWORTH ON 65<sup>TH</sup> BIRTHDAY.**

[R2024-0010749]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to John Ensworth in honor of his 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to John Ensworth on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, John Ensworth now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to John Ensworth for his continued good health, happiness and success following this 65<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to John Ensworth in honor of his 65<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO RAUL FUENTES ON 65<sup>TH</sup> BIRTHDAY.**  
[R2024-0010709]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Raul Fuentes in honor of his 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Raul Fuentes on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Raul Fuentes now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Raul Fuentes for his continued good health, happiness and success following this 65<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Raul Fuentes in honor of his 65<sup>th</sup> birthday as a token of our esteem and good wishes.*

*CONGRATULATIONS EXTENDED TO LUIS GALEANO ON 80<sup>TH</sup> BIRTHDAY.*

[R2024-0010771]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Luis Galeano in honor of his 80<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Luis Galeano on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Luis Galeano has been a member of our 15<sup>th</sup> Ward seniors community for the last 15 years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Luis Galeano for his continued good health, happiness and success following this 80<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Luis Galeano in honor of his 80<sup>th</sup> birthday as a token of our esteem and good wishes.*

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*CONGRATULATIONS EXTENDED TO CARMEN GARCIA ON 70<sup>TH</sup> BIRTHDAY.*

[R2024-0010766]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Carmen Garcia in honor of her 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Carmen Garcia on the occasion of this

momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Carmen Garcia has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Carmen Garcia for her continued good health, happiness and success following this 70<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to Carmen Garcia in honor of her 70<sup>th</sup> birthday as a token of our esteem and good wishes.

---

**CONGRATULATIONS EXTENDED TO CONSUELO GARCIA ON 70<sup>TH</sup> BIRTHDAY.**  
[R2024-0010767]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Consuelo Garcia in honor of his 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Consuelo Garcia on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Consuelo Garcia has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Consuelo Garcia for his continued good health, happiness and success following this 70<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Consuelo Garcia in honor of his 70<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO FRANCISCA GARCIA ON 70<sup>TH</sup> BIRTHDAY.**  
[R2024-0010768]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Francisca Garcia in honor of her 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Francisca Garcia on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Francisca Garcia has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Francisca Garcia for her continued good health, happiness and success following this 70<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Francisca Garcia in honor of her 70<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO JOSE GARCIA ON 70<sup>TH</sup> BIRTHDAY.**  
[R2024-0010691]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Jose Garcia in honor of his 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgment to Jose Garcia on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Jose Garcia has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Jose Garcia for his continued good health, happiness and success following this 70<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Jose Garcia in honor of his 70<sup>th</sup> birthday as a token of our esteem and good wishes.*

*CONGRATULATIONS EXTENDED TO GLORIA GILMER ON 70<sup>TH</sup> BIRTHDAY.*

[R2024-0010777]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Gloria Gilmer in honor of her 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Gloria Gilmer on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Gloria Gilmer has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Gloria Gilmer for her continued good health, happiness and success following this 70<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Gloria Gilmer in honor of her 70<sup>th</sup> birthday as a token of our esteem and good wishes.*

—

*CONGRATULATIONS EXTENDED TO APOLNIA GOMEZ ON 80<sup>TH</sup> BIRTHDAY.*

[R2024-0010741]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Apolnia Gomez in honor of her 80<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Apolnia Gomez on the occasion of this

momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Apolnia Gomez has been a member of our 15<sup>th</sup> Ward seniors community for the last 15 years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Apolnia Gomez for her continued good health, happiness and success following this 80<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to Apolnia Gomez in honor of her 80<sup>th</sup> birthday as a token of our esteem and good wishes.

---

**CONGRATULATIONS EXTENDED TO ASMIDIA GUTIERREZ ON 65<sup>TH</sup> BIRTHDAY.**  
[R2024-0010678]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Asmidia Gutierrez in honor of her 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Asmidia Gutierrez on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Asmidia Gutierrez now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Asmidia Gutierrez for her continued good health, happiness and success following this 65<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Asmidia Gutierrez in honor of her 65<sup>th</sup> birthday as a token of our esteem and good wishes.*

---

*CONGRATULATIONS EXTENDED TO DONALD HAEPP ON 70<sup>TH</sup> BIRTHDAY.*

[R2024-0010798]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Donald Haep in honor of his 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Donald Haep on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Donald Haep has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Donald Haep for his continued good health, happiness and success following this 70<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Donald Haep in honor of his 70<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO NANCY HAMILTON-JENKINS ON 65<sup>TH</sup> BIRTHDAY.**

[R2024-0010743]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Nancy Hamilton-Jenkins in honor of her 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Nancy Hamilton-Jenkins on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Nancy Hamilton-Jenkins now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this July 17, 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Nancy Hamilton-Jenkins for her continued good health, happiness and success following this 65<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Nancy Hamilton-Jenkins in honor of her 65<sup>th</sup> birthday as a token of our esteem and good wishes.*

*CONGRATULATIONS EXTENDED ARTHUR HAMMOND ON 70<sup>TH</sup> BIRTHDAY.*

[R2024-0010707]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Arthur Hammond in honor of his 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Arthur Hammond on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Arthur Hammond has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Arthur Hammond for his continued good health, happiness and success following this 70<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to Arthur Hammond in honor of his 70<sup>th</sup> birthday as a token of our esteem and good wishes.

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*CONGRATULATIONS EXTENDED TO RICKY HARAZIN ON 65<sup>TH</sup> BIRTHDAY.*

[R2024-0010750]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Ricky Harazin in honor of his 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Ricky Harazin on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Ricky Harazin now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Ricky Harazin for his continued good health, happiness and success following this 65<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to Ricky Harazin in honor of his 65<sup>th</sup> birthday as a token of our esteem and good wishes.

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CONGRATULATIONS EXTENDED TO GWENDOLYN HARDISON ON  
70<sup>TH</sup> BIRTHDAY.

[R2024-0010809]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Gwendolyn Hardison in honor of her 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Gwendolyn Hardison on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Gwendolyn Hardison has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Gwendolyn Hardison for her continued good health, happiness and success following this 70<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to Gwendolyn Hardison in honor of her 70<sup>th</sup> birthday as a token of our esteem and good wishes.

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**CONGRATULATIONS EXTENDED TO GERALDINE HARVEY ON 75<sup>TH</sup> BIRTHDAY.**  
[R2024-0010673]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Geraldine Harvey in honor of her 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Geraldine Harvey on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Geraldine Harvey has been a member of our 15<sup>th</sup> Ward seniors community for the last 10 years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Geraldine Harvey for her continued good health, happiness and success following this 75<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Geraldine Harvey in honor of her 75<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO PATRICK HAWES ON 70<sup>TH</sup> BIRTHDAY.**  
[R2024-0010778]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Patrick Hawes in honor of his 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Patrick Hawes on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Patrick Hawes has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Patrick Hawes for his continued good health, happiness and success following this 70<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Patrick Hawes in honor of his 70<sup>th</sup> birthday as a token of our esteem and good wishes.*

*CONGRATULATIONS EXTENDED TO DERRICK HAYES ON 65<sup>TH</sup> BIRTHDAY.*

[R2024-0010711]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Derrick Hayes in honor of his 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Derrick Hayes on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Derrick Hayes now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Derrick Hayes for his continued good health, happiness and success following this 65<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to Derrick Hayes in honor of his 65<sup>th</sup> birthday as a token of our esteem and good wishes.

—

*CONGRATULATIONS EXTENDED TO EDWARD HEERY ON 75<sup>TH</sup> BIRTHDAY.*

[R2024-0010676]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Edward Heery in honor of his 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Edward Heery on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Edward Heery has been a member of our 15<sup>th</sup> Ward seniors community for the last 10 years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Edward Heery for his continued good health, happiness and success following this 75<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Edward Heery in honor of his 75<sup>th</sup> birthday as a token of our esteem and good wishes.*

—

**CONGRATULATIONS EXTENDED TO JOHN HERMLE ON 65<sup>TH</sup> BIRTHDAY.**  
[R2024-0010697]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to John Hermle in honor of his 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to John Hermle on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, John Hermle now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby*

extend our warmest and heartfelt best wishes to John Hermle for his continued good health, happiness and success following this 65<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to John Hermle in honor of his 65<sup>th</sup> birthday as a token of our esteem and good wishes.*

---

*CONGRATULATIONS EXTENDED TO ANGEL HERNANDEZ ON 70<sup>TH</sup> BIRTHDAY.*  
[R2024-0010799]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Angel Hernandez in honor of his 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Angel Hernandez on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Angel Hernandez has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Angel Hernandez for his continued good health, happiness and success following this 70<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Angel Hernandez in honor of his 70<sup>th</sup> birthday as a token of our esteem and good wishes.*

---

**CONGRATULATIONS EXTENDED TO MARIA HERNANDEZ ON 80<sup>TH</sup> BIRTHDAY.**  
[R2024-0010776]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Maria Hernandez in honor of her 80<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Maria Hernandez on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Maria Hernandez has been a member of our 15<sup>th</sup> Ward seniors community for the last 15 years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Maria Hernandez for her continued good health, happiness and success following this 80<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Maria Hernandez in honor of her 80<sup>th</sup> birthday as a token of our esteem and good wishes.*

---

**CONGRATULATIONS EXTENDED TO PRIMO HERNANDEZ ON 65<sup>TH</sup> BIRTHDAY.**  
[R2024-0010698]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Primo Hernandez in honor of his 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Primo Hernandez on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Primo Hernandez now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Primo Hernandez for his continued good health, happiness and success following this 65<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to Primo Hernandez in honor of his 65<sup>th</sup> birthday as a token of our esteem and good wishes.

—

**CONGRATULATIONS EXTENDED TO DAVID HERRERA ON 65<sup>TH</sup> BIRTHDAY.**

[R2024-0010731]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to David Herrera in honor of his 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to David Herrera on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, David Herrera now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this July 17, 2024 A.D., do hereby extend our warmest and heartfelt best wishes to David Herrera for his continued good health, happiness and success following this 65<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to David Herrera in honor of his 65<sup>th</sup> birthday as a token of our esteem and good wishes.

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**CONGRATULATIONS EXTENDED TO PAUL HILBERT ON 70<sup>TH</sup> BIRTHDAY.**  
[R2024-0010801]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Paul Hilbert in honor of his 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Paul Hilbert on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Paul Hilbert has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Paul Hilbert for his continued good health, happiness and success following this 70<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Paul Hilbert in honor of his 70<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO ONDRA HOGAN ON 70<sup>TH</sup> BIRTHDAY.**

[R2024-0010814]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Ondra Hogan in honor of his 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Ondra Hogan on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Ondra Hogan has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Ondra Hogan for his continued good health, happiness and success following this 70<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Ondra Hogan in honor of his 70<sup>th</sup> birthday as a token of our esteem and good wishes.*

*CONGRATULATIONS EXTENDED TO RONEL HORTON ON 70<sup>TH</sup> BIRTHDAY.*

[R2024-0010742]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Ronel Horton in honor of his 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Ronel Horton on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Ronel Horton has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Ronel Horton for his continued good health, happiness and success following this 70<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Ronel Horton in honor of his 70<sup>th</sup> birthday as a token of our esteem and good wishes.*

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*CONGRATULATIONS EXTENDED TO MARY HOWARD ON 80<sup>TH</sup> BIRTHDAY.*

[R2024-0010686]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Mary Howard in honor of her 80<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Mary Howard on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Mary Howard has been a member of our 15<sup>th</sup> Ward seniors community for the last 15 years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Mary Howard for her continued good health, happiness and success following this 80<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to Mary Howard in honor of her 80<sup>th</sup> birthday as a token of our esteem and good wishes.

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**CONGRATULATIONS EXTENDED TO GLORIA IBARRA ON 65<sup>TH</sup> BIRTHDAY.**  
[R2024-0010701]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Gloria Ibarra in honor of her 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Gloria Ibarra on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Gloria Ibarra now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Gloria Ibarra for her continued good health, happiness and success following this 65<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Gloria Ibarra in honor of her 65<sup>th</sup> birthday as a token of our esteem and good wishes.*

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CONGRATULATIONS EXTENDED TO CHARMAINE JACKSON ON  
65<sup>TH</sup> BIRTHDAY.

[R2024-0010681]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Charmaine Jackson in honor of her 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Charmaine Jackson on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Charmaine Jackson now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Charmaine Jackson for her continued good health, happiness and success following this 65<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Charmaine Jackson in honor of her 65<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO JIMMY JACKSON ON 65<sup>TH</sup> BIRTHDAY.**  
[R2024-0010702]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Jimmy Jackson in honor of his 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Jimmy Jackson on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Jimmy Jackson now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Jimmy Jackson for his continued good health, happiness and success following this 65<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Jimmy Jackson in honor of his 65<sup>th</sup> birthday as a token of our esteem and good wishes.*

*CONGRATULATIONS EXTENDED TO JUANA JIMENEZ ON 75<sup>TH</sup> BIRTHDAY.*

[R2024-0010802]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Juana Jimenez in honor of her 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Juana Jimenez on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Juana Jimenez has been a member of our 15<sup>th</sup> Ward seniors community for the last 10 years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Juana Jimenez for her continued good health, happiness and success following this 75<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to Juana Jimenez in honor of her 75<sup>th</sup> birthday as a token of our esteem and good wishes.

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*CONGRATULATIONS EXTENDED TO LAVERNE JOHNSON ON 65<sup>TH</sup> BIRTHDAY.*

[R2024-0010803]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Laverne Johnson in honor of her 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Laverne Johnson on the occasion of this

momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Laverne Johnson now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Laverne Johnson for her continued good health, happiness and success following this 65<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to Laverne Johnson in honor of her 65<sup>th</sup> birthday as a token of our esteem and good wishes.

—

*CONGRATULATIONS EXTENDED TO RONALD KOZIOL ON 70<sup>TH</sup> BIRTHDAY.*

[R2024-0010815]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Ronald Koziol in honor of his 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Ronald Koziol on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Ronald Koziol has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Ronald Koziol for his continued good health, happiness and success following this 70<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Ronald Koziol in honor of his 70<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO MICHAEL LAMPTON ON 65<sup>TH</sup> BIRTHDAY.**  
[R2024-0010659]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Michael Lampton in honor of his 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgment to Michael Lampton on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Michael Lampton now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Michael Lampton for his continued good health, happiness and success following this 65<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Michael Lampton in honor of his 65<sup>th</sup> birthday as a token of our esteem and good wishes.*

---

**CONGRATULATIONS EXTENDED TO MAUREEN LANHAM ON 70<sup>TH</sup> BIRTHDAY.**  
[R2024-0010819]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Maureen Lanham in honor of her 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Maureen Lanham on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Maureen Lanham has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Maureen Lanham for her continued good health, happiness and success following this 70<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Maureen Lanham in honor of her 70<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO ALEX LOPEZ ON 65<sup>TH</sup> BIRTHDAY.**  
[R2024-0010713]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Alex Lopez in honor of his 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Alex Lopez on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Alex Lopez now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Alex Lopez for his continued good health, happiness and success following this 65<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Alex Lopez in honor of his 65<sup>th</sup> birthday as a token of our esteem and good wishes.*

---

*CONGRATULATIONS EXTENDED TO MARIA LOZANO ON 80<sup>TH</sup> BIRTHDAY.*

*[R2024-0010690]*

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Maria Lozano in honor of her 80<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Maria Lozano on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Maria Lozano has been a member of our 15<sup>th</sup> Ward seniors community for the last 15 years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Maria Lozano for her continued good health, happiness and success following this 80<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to Maria Lozano in honor of her 80<sup>th</sup> birthday as a token of our esteem and good wishes.

—

*CONGRATULATIONS EXTENDED TO CARL LUELLEN ON 65<sup>TH</sup> BIRTHDAY.*

[R2024-0010716]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Carl Luellen in honor of his 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Carl Luellen on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Carl Luellen now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Carl Luellen for his continued good health, happiness and success following this 65<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Carl Luellen in honor of his 65<sup>th</sup> birthday as a token of our esteem and good wishes.*

---

**CONGRATULATIONS EXTENDED TO MARIA MARQUEZ ON 75<sup>TH</sup> BIRTHDAY.**

[R2024-0010806]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Maria Marquez in honor of her 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Maria Marquez on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Maria Marquez has been a member of our 15<sup>th</sup> Ward seniors community for the last 10 years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Maria Marquez for her continued good health, happiness and success following this 75<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Maria Marquez in honor of her 75<sup>th</sup> birthday as a token of our esteem and good wishes.*

CONGRATULATIONS EXTENDED TO ARMINA MARTINEZ ON 75<sup>TH</sup> BIRTHDAY.  
[R2024-0010727]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Armina Martinez in honor of her 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Armina Martinez on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Armina Martinez has been a member of our 15<sup>th</sup> Ward seniors community for the last 10 years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Armina Martinez for her continued good health, happiness and success following this 75<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Armina Martinez in honor of her 75<sup>th</sup> birthday as a token of our esteem and good wishes.*

—

CONGRATULATIONS EXTENDED TO PATRICIA MAXEY ON 65<sup>TH</sup> BIRTHDAY.  
[R2024-0010682]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Patricia Maxey in honor of her 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Patricia Maxey on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Patricia Maxey now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Patricia Maxey for her continued good health, happiness and success following this 65<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to Patricia Maxey in honor of her 65<sup>th</sup> birthday as a token of our esteem and good wishes.

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**CONGRATULATIONS EXTENDED TO MAUREEN MCBRIBE ON 70<sup>TH</sup> BIRTHDAY.**  
[R2024-0010736]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Maureen Mcbribe in honor of her 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Maureen Mcbribe on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Maureen Mcbribe has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Maureen McBride for her continued good health, happiness and success following this 70<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Maureen McBride in honor of her 70<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO JANET MC NAMARA ON 70<sup>TH</sup> BIRTHDAY.**  
[R2024-0010782]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Janet McNamara in honor of her 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Janet McNamara on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Janet McNamara has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Janet McNamara for her continued good health, happiness and success following this 70<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented Janet McNamara in honor of her 70<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO TERESA MEJIA ON 65<sup>TH</sup> BIRTHDAY.**

[R2024-0010751]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Teresa Mejia in honor of her 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Teresa Mejia on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Teresa Mejia now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Teresa Mejia for her continued good health, happiness and success following this 65<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Teresa Mejia in honor of her 65<sup>th</sup> birthday as a token of our esteem and good wishes.*

CONGRATULATIONS EXTENDED TO EVELYN MELCHOR ON 65<sup>TH</sup> BIRTHDAY.  
[R2024-0010661]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Evelyn Melchor in honor of her 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgment to Evelyn Melchor on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Evelyn Melchor now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Evelyn Melchor for her continued good health, happiness and success following this 65<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Evelyn Melchor in honor of her 65<sup>th</sup> birthday as a token of our esteem and good wishes.*

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CONGRATULATIONS EXTENDED TO JOSE MENA ON 65<sup>TH</sup> BIRTHDAY.  
[R2024-0010753]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Jose Mena in honor of his 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Jose Mena on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Jose Mena now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Jose Mena for his continued good health, happiness and success following this 65<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to Jose Mena in honor of his 65<sup>th</sup> birthday as a token of our esteem and good wishes.

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**CONGRATULATIONS EXTENDED TO GEORGE MENDOZA ON 70<sup>TH</sup> BIRTHDAY.**  
[R2024-0010710]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to George Mendoza in honor of his 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to George Mendoza on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, George Mendoza has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to George Mendoza for his continued good health, happiness and success following this 70<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to George Mendoza in honor of his 70<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO JUANITA MENDOZA ON 80<sup>TH</sup> BIRTHDAY.**  
[R2024-0010823]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Juanita Mendoza in honor of her 80<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Juanita Mendoza on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Juanita Mendoza has been a member of our 15<sup>th</sup> Ward seniors community for the last 15 years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Juanita Mendoza for her continued good health, happiness and success following this 80<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Juanita Mendoza in honor of her 80<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO DIANA MESSER ON 70<sup>TH</sup> BIRTHDAY.**  
[R2024-0010764]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Diana Messer in honor of her 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Diana Messer on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Diana Messer has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Diana Messer for her continued good health, happiness and success following this 70<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Diana Messer in honor of her 70<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO PATRICIA MICHURA ON 75<sup>TH</sup> BIRTHDAY.**  
[R2024-0010808]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Patricia Michura in honor of her 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Patricia Michura on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Patricia Michura has been a member of our 15<sup>th</sup> Ward seniors community for the last 10 years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Patricia Michura for her continued good health, happiness and success following this 75<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Patricia Michura in honor of her 75<sup>th</sup> birthday as a token of our esteem and good wishes.*

---

**CONGRATULATIONS EXTENDED TO VALERIE MIDDLETON ON 65<sup>TH</sup> BIRTHDAY.**  
[R2024-0010746]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Valerie Middleton in honor of her 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Valerie Middleton on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Valerie Middleton now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this July 17, 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Valerie Middleton for her continued good health, happiness and success following this 65<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to Valerie Middleton in honor of her 65<sup>th</sup> birthday as a token of our esteem and good wishes.

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**CONGRATULATIONS EXTENDED TO JOSE MOLINA ON 80<sup>TH</sup> BIRTHDAY.**  
[R2024-0010787]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Jose Molina in honor of his 80<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Jose Molina on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Jose Molina has been a member of our 15<sup>th</sup> Ward seniors community for the last 15 years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Jose Molina for his continued good health, happiness and success following this 80<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Jose Molina in honor of his 80<sup>th</sup> birthday as a token of our esteem and good wishes.*

---

*CONGRATULATIONS EXTENDED TO IGNACIO MONCADA ON 75<sup>TH</sup> BIRTHDAY.*  
[R2024-0010811]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Ignacio Moncada in honor of his 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Ignacio Moncada on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Ignacio Moncada has been a member of our 15<sup>th</sup> Ward seniors community for the last 10 years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Ignacio Moncada for his continued good health, happiness and success following this 75<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Ignacio Moncada in honor of his 75<sup>th</sup> birthday as a token of our esteem and good wishes.*

*CONGRATULATIONS EXTENDED TO MARCO NAVARRO ON 75<sup>TH</sup> BIRTHDAY.*  
[R2024-0010760]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Marco Navarro in honor of his 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Marco Navarro on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Marco Navarro has been a member of our 15<sup>th</sup> Ward seniors community for the last 10 years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Marco Navarro for his continued good health, happiness and success following this 75<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to Marco Navarro in honor of his 75<sup>th</sup> birthday as a token of our esteem and good wishes.

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*CONGRATULATIONS EXTENDED TO IVY NELSON ON 75<sup>TH</sup> BIRTHDAY.*  
[R2024-0010765]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Ivy Nelson in honor of her 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Ivy Nelson on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Ivy Nelson has been a member of our 15<sup>th</sup> Ward seniors community for the last 10 years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Ivy Nelson for her continued good health, happiness and success following this 75<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Ivy Nelson in honor of her 75<sup>th</sup> birthday as a token of our esteem and good wishes.*

---

**CONGRATULATIONS EXTENDED TO KRISTINE NELSON ON 70<sup>TH</sup> BIRTHDAY.**  
[R2024-0010824]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Kristine Nelson in honor of her 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Kristine Nelson on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Kristine Nelson has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Kristine Nelson for her continued good health, happiness and success following this 70<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to Kristine Nelson in honor of her 70<sup>th</sup> birthday as a token of our esteem and good wishes.

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**CONGRATULATIONS EXTENDED TO JUNE NEW ON 80<sup>TH</sup> BIRTHDAY.**

[R2024-0010791]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to June New in honor of her 80<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to June New on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, June New has been a member of our 15<sup>th</sup> Ward seniors community for the last 15 years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to June New for her continued good health, happiness and success following this 80<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to June New in honor of her 80<sup>th</sup> birthday as a token of our esteem and good wishes.*

---

**CONGRATULATIONS EXTENDED TO DANIEL NOVACK ON 65<sup>TH</sup> BIRTHDAY.**  
[R2024-0010663]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Daniel Novack in honor of his 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgment to Daniel Novack on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Daniel Novack now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Daniel Novack for his continued good health, happiness and success following this 65<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Daniel Novack in honor of his 65<sup>th</sup> birthday as a token of our esteem and good wishes.*

---

**CONGRATULATIONS EXTENDED TO ANDREW OWCZAREK ON 65<sup>TH</sup> BIRTHDAY.**  
[R2024-0010729]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Andrew Owczarek in honor of his 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Andrew Owczarek on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Andrew Owczarek now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this July 17, 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Andrew Owczarek for his continued good health, happiness and success following this 65<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to Andrew Owczarek in honor of his 65<sup>th</sup> birthday as a token of our esteem and good wishes.

---

*CONGRATULATIONS EXTENDED TO JOHNNIE OWENS ON 75<sup>TH</sup> BIRTHDAY.*  
[R2024-0010813]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Johnnie Owens in honor of his 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Johnnie Owens on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Johnnie Owens has been a member of our 15<sup>th</sup> Ward seniors community for the last 10 years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Johnnie Owens for his continued good health, happiness and success following this 75<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to Johnnie Owens in honor of his 75<sup>th</sup> birthday as a token of our esteem and good wishes.

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**CONGRATULATIONS EXTENDED TO SABINO PARRALES ON 65<sup>TH</sup> BIRTHDAY.**  
[R2024-0010744]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Sabino Parrales in honor of his 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Sabino Parrales on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Sabino Parrales now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this July 17, 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Sabino Parrales for his continued good health, happiness and success following this 65<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Sabino Parrales in honor of his 65<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO FRANCISCO PENO ON 65<sup>TH</sup> BIRTHDAY.**  
[R2024-0010734]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Francisco Peno in honor of his 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Francisco Peno on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Francisco Peno now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this July 17, 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Francisco Peno for his continued good health, happiness and success following this 65<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Francsico Peno in honor of his 65<sup>th</sup> birthday as a token of our esteem and good wishes.*

*CONGRATULATIONS EXTENDED TO SILVIA PEREZ ON 65<sup>TH</sup> BIRTHDAY.*

[R2024-0010754]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Silvia Perez in honor of her 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Silvia Perez on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Silvia Perez now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Silvia Perez for her continued good health, happiness and success following this 65<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Silvia Perez in honor of her 65<sup>th</sup> birthday as a token of our esteem and good wishes.*

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*CONGRATULATIONS EXTENDED TO SHIRLEY PHILLIPS ON 65<sup>TH</sup> BIRTHDAY.*

[R2024-0010685]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Shirley Phillips in honor of her 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Shirley Phillips on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Shirley Phillips now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Shirley Phillips for her continued good health, happiness and success following this 65<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to Shirley Phillips in honor of her 65<sup>th</sup> birthday as a token of our esteem and good wishes.

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*CONGRATULATIONS EXTENDED TO LUCILLE POLK ON 75<sup>TH</sup> BIRTHDAY.*

[R2024-0010816]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Lucille Polk in honor of her 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Lucille Polk on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Lucille Polk has been a member of our 15<sup>th</sup> Ward seniors community for the last 10 years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby

extend our warmest and heartfelt best wishes to Lucille Polk for her continued good health, happiness and success following this 75<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Lucille Polk in honor of her 75<sup>th</sup> birthday as a token of our esteem and good wishes.*

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*CONGRATULATIONS EXTENDED TO DAVID POWELL ON 70<sup>TH</sup> BIRTHDAY.*

[R2024-0010762]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to David Powell in honor of his 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to David Powell on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, David Powell has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to David Powell for his continued good health, happiness and success following this 70<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to David Powell in honor of his 70<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO PANSCUALA PRIETO ON 70<sup>TH</sup> BIRTHDAY.**  
[R2024-0010779]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Panscuala Prieto in honor of her 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Panscuala Prieto on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Panscuala Prieto has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Panscuala Prieto for her continued good health, happiness and success following this 70<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Panscuala Prieto in honor of her 70<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO SANTIAGO RIVERA ON 75<sup>TH</sup> BIRTHDAY.**  
[R2024-0010817]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Santiago Rivera in honor of his 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Santiago Rivera on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Santiago Rivera has been a member of our 15<sup>th</sup> Ward seniors community for the last 10 years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Santiago Rivera for his continued good health, happiness and success following this 75<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Santiago Rivera in honor of his 75<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO PAUL ROBINSON ON 65<sup>TH</sup> BIRTHDAY.**  
[R2024-0010717]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Paul Robinson in honor of his 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Paul Robinson on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Paul Robinson now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Paul Robinson for his continued good health, happiness and success following this 65<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to Paul Robinson in honor of his 65<sup>th</sup> birthday as a token of our esteem and good wishes.

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**CONGRATULATIONS EXTENDED TO ANDRES ROBLEDO ON 65<sup>TH</sup> BIRTHDAY.**  
[R2024-0010757]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Andres Robledo in honor of his 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Andres Robledo on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Andres Robledo now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Andres Robledo for his continued good health, happiness and success following this 65<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Andres Robledo in honor of his 65<sup>th</sup> birthday as a token of our esteem and good wishes.*

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*CONGRATULATIONS EXTENDED TO DIANA ROLLINS ON 70<sup>TH</sup> BIRTHDAY.*  
[R2024-0010715]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Diana Rollins in honor of her 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Diana Rollins on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Diana Rollins has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Diana Rollins for her continued good health, happiness and success following this 70<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Diana Rollins in honor of her 70<sup>th</sup> birthday as a token of our esteem and good wishes.*

*CONGRATULATIONS EXTENDED TO FERNANDO RUIZ ON 70<sup>TH</sup> BIRTHDAY.*

[R2024-0010683]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Fernando Ruiz in honor of his 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgment to Fernando Ruiz on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Fernando Ruiz has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Fernando Ruiz for his continued good health, happiness and success following this 70<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to Fernando Ruiz in honor of his 70<sup>th</sup> birthday as a token of our esteem and good wishes.

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*CONGRATULATIONS EXTENDED TO RUFINO SAENZ ON 70<sup>TH</sup> BIRTHDAY.*

[R2024-0010699]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Rufino Saenz in honor of his 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgment to Rufino Saenz on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Rufino Saenz has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Rufino Saenz for his continued good health, happiness and success following this 70<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to Rufino Saenz in honor of his 70<sup>th</sup> birthday as a token of our esteem and good wishes.

---

**CONGRATULATIONS EXTENDED TO JOHN SALCEDO ON 70<sup>TH</sup> BIRTHDAY.**

[R2024-0010770]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to John Salcedo in honor of his 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to John Salcedo on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, John Salcedo has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to John Salcedo for his continued good health, happiness and success following this 70<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to John Salcedo in honor of his 70<sup>th</sup> birthday as a token of our esteem and good wishes.

—

**CONGRATULATIONS EXTENDED TO PATRICIA SANCHEZ ON 65<sup>TH</sup> BIRTHDAY.**  
[R2024-0010758]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Patricia Sanchez in honor of her 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Patricia Sanchez on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Patricia Sanchez now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Patricia Sanchez for her continued good health, happiness and success following this 65<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Patricia Sanchez in honor of her 65<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO ABEL SANDOVAL ON 65<sup>TH</sup> BIRTHDAY.**

[R2024-0010732]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Abel Sandoval in honor of his 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Abel Sandoval on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Abel Sandoval now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this July 17, 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Abel Sandoval for his continued good health, happiness and success following this 65<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Abel Sandoval in honor of his 65<sup>th</sup> birthday as a token of our esteem and good wishes.*

*CONGRATULATIONS EXTENDED TO EFRAIN SAUCEDO ON 70<sup>TH</sup> BIRTHDAY.*  
[R2024-0010804]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Efrain Saucedo in honor of his 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Efrain Saucedo on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Efrain Saucedo has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Efrain Saucedo for his continued good health, happiness and success following this 70<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to Efrain Saucedo in honor of his 70<sup>th</sup> birthday as a token of our esteem and good wishes.

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*CONGRATULATIONS EXTENDED TO MARGARET SLATTERY ON  
75<sup>TH</sup> BIRTHDAY.*

[R2024-0010818]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Margaret Slattery in honor of her 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Margaret Slattery on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Margaret Slattery has been a member of our 15<sup>th</sup> Ward seniors community for the last 10 years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Margaret Slattery for her continued good health, happiness and success following this 75<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Margaret Slattery in honor of her 75<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO VYTO STANEVICIUS ON 75<sup>TH</sup> BIRTHDAY.**  
[R2024-0010820]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Vyto Stanevicius in honor of his 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Vyto Stanevicius on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Vyto Stanevicius has been a member of our 15<sup>th</sup> Ward seniors community for the last 10 years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Vyto Stanevicius for his continued good health, happiness and success following this 75<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to Vyto Stanevicius in honor of his 75<sup>th</sup> birthday as a token of our esteem and good wishes.

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**CONGRATULATIONS EXTENDED TO OTHA STOKES ON 75<sup>TH</sup> BIRTHDAY.**  
[R2024-0010730]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Otha Stokes in honor of his 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Otha Stokes on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Otha Stokes has been a member of our 15<sup>th</sup> Ward seniors community for the last 10 years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Otha Stokes for his continued good health, happiness and success following this 75<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Otha Stokes in honor of his 75<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO LILLIE TALLY ON 80<sup>TH</sup> BIRTHDAY.**

[R2024-0010793]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Lillie Tally in honor of her 80<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Lillie Tally on the occasion of this momentous milestone, recognizing her being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Lillie Tally has been a member of our 15<sup>th</sup> Ward seniors community for the last 15 years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Lillie Tally for her continued good health, happiness and success following this 80<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Lillie Tally in honor of her 80<sup>th</sup> birthday as a token of our esteem and good wishes.*

*CONGRATULATIONS EXTENDED TO AMALIA TAMAYO ON 80<sup>TH</sup> BIRTHDAY.*  
[R2024-0010825]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Amalia Tamayo in honor of her 80<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Amalia Tamayo on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Amalia Tamayo has been a member of our 15<sup>th</sup> Ward seniors community for the last 15 years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Amalia Tamayo for her continued good health, happiness and success following this 80<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to Amalia Tamayo in honor of her 80<sup>th</sup> birthday as a token of our esteem and good wishes.

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*CONGRATULATIONS EXTENDED TO JAMES THIEL ON 65<sup>TH</sup> BIRTHDAY.*  
[R2024-0010703]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to James Thiel in honor of his 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to James Thiel on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, James Thiel now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to James Thiel for his continued good health, happiness and success following this 65<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to James Thiel in honor of his 65<sup>th</sup> birthday as a token of our esteem and good wishes.

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**CONGRATULATIONS EXTENDED TO CYNTHIA TAYLOR ON 65<sup>TH</sup> BIRTHDAY.**  
[R2024-0010759]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Cynthia Taylor in honor of her 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Cynthia Taylor on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Cynthia Taylor now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Cynthia Taylor for her continued good health, happiness and success following this 65<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Cynthia Taylor in honor of her 65<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO ROSA TORRES ON 70<sup>TH</sup> BIRTHDAY.**  
[R2024-0010747]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Rosa Torres in honor of her 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Rosa Torres on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Rosa Torres has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Rosa Torres for her continued good health, happiness and success following this 70<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Rosa Torres in honor of her 70<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO VALERIE TRENTZ ON 65<sup>TH</sup> BIRTHDAY.**  
[R2024-0010687]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Valerie Trentz in honor of her 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Valerie Trentz on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Valerie Trentz now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Valerie Trentz for her continued good health, happiness and success following this 65<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Valerie Trentz in honor of her 65<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO MONA UNDERWOOD ON 65<sup>TH</sup> BIRTHDAY.**  
[R2024-0010719]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Mona Underwood in honor of her 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Mona Underwood on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Mona Underwood now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Mona Underwood for her continued good health, happiness and success following this 65<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to Mona Underwood in honor of her 65<sup>th</sup> birthday as a token of our esteem and good wishes.

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**CONGRATULATIONS EXTENDED TO JUANA VALDEZ ON 65<sup>TH</sup> BIRTHDAY.**  
[R2024-0010689]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Juana Valdez in honor of her 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Juana Valdez on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Juana Valdez now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Juana Valdez for her continued good health, happiness and success following this 65<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to Juana Valdez in honor of her 65<sup>th</sup> birthday as a token of our esteem and good wishes.

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**CONGRATULATIONS EXTENDED TO MICHAEL VANEK ON 65<sup>TH</sup> BIRTHDAY.**

[R2024-0010692]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Michael Vanek in honor of his 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Michael Vanek on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Michael Vanek now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Michael Vanek for his continued good health, happiness and success following this 65<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Michael Vanek in honor of his 65<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO JULIA VELASCO ON 75<sup>TH</sup> BIRTHDAY.**  
[R2024-0010733]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Julia Velasco in honor of her 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Julia Velasco on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Julia Velasco has been a member of our 15<sup>th</sup> Ward seniors community for the last 10 years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Julia Velasco for her continued good health, happiness and success following this 75<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Julia Velasco in honor of her 75<sup>th</sup> birthday as a token of our esteem and good wishes.*

*CONGRATULATIONS EXTENDED TO IVONNE VERA ON 70<sup>TH</sup> BIRTHDAY.*

[R2024-0010780]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Ivonne Vera in honor of her 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Ivonne Vera on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Ivonne Vera has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Ivonne Vera for her continued good health, happiness and success following this 70<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented Ivonne Vera in honor of her 70<sup>th</sup> birthday as a token of our esteem and good wishes.

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*CONGRATULATIONS EXTENDED TO SALVADOR VILLALOBOS ON 65<sup>TH</sup> BIRTHDAY.*

[R2024-0010704]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Salvador Villalobos in honor of his 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Salvador Villalobos on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Salvador Villalobos now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Salvador Villalobos for his continued good health, happiness and success following this 65<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to Salvador Villalobos in honor of his 65<sup>th</sup> birthday as a token of our esteem and good wishes.

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**CONGRATULATIONS EXTENDED TO LORNA WASHINGTON ON 70<sup>TH</sup> BIRTHDAY.**  
[R2024-0010772]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Lorna Washington in honor of her 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Lorna Washington on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Lorna Washington has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Lorna Washington for her continued good health, happiness and success following this 70<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to Lorna Washington in honor of her 70<sup>th</sup> birthday as a token of our esteem and good wishes.

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CONGRATULATIONS EXTENDED TO MAXINE WHITE ON 80<sup>TH</sup> BIRTHDAY.  
[R2024-0010694]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Maxine White in honor of her 80<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Maxine White on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Maxine White has been a member of our 15<sup>th</sup> Ward seniors community for the last 15 years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Maxine White for her continued good health, happiness and success following this 80<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Maxine White in honor of her 80<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO EVELYN WILLIAMS ON 65<sup>TH</sup> BIRTHDAY.**  
[R2024-0010706]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Evelyn Williams in honor of her 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Evelyn Williams on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Evelyn Williams now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Evelyn Williams for her continued good health, happiness and success following this 65<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Evelyn Williams in honor of her 65<sup>th</sup> birthday as a token of our esteem and good wishes.*

*CONGRATULATIONS EXTENDED TO GLENN WILLIAMS ON 65<sup>TH</sup> BIRTHDAY.*

[R2024-0010735]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Glenn Williams in honor of his 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Glenn Williams on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Glenn Williams now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this July 17, 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Glenn Williams for his continued good health, happiness and success following this 65<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Glenn Williams in honor of his 65<sup>th</sup> birthday as a token of our esteem and good wishes.*

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*CONGRATULATIONS EXTENDED TO PHYLLIS WILLIAMS ON 65<sup>TH</sup> BIRTHDAY.*

[R2024-0010761]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Phyllis Williams in honor of her 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Phyllis Williams on the occasion of this

momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Phyllis Williams now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago*, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Phyllis Williams for her continued good health, happiness and success following this 65<sup>th</sup> birthday; and

*Be It Further Resolved by the City Council of the City of Chicago*, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and

*Be It Further Resolved by the City Council of the City of Chicago*, That a suitable copy of this resolution be presented to Phyllis Williams in honor of her 65<sup>th</sup> birthday as a token of our esteem and good wishes.

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*CONGRATULATIONS EXTENDED TO BOBBIE WOODS ON 65<sup>TH</sup> BIRTHDAY.*  
[R2024-0010721]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Bobbie Woods in honor of her 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Bobbie Woods on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Bobbie Woods now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes Bobbie Woods for her continued good health, happiness and success following this 65<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Bobbie Woods in honor of her 65<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO ABRAHAM ZAMORA ON 65<sup>TH</sup> BIRTHDAY.**  
[R2024-0010724]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Abraham Zamora in honor of his 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Abraham Zamora on the occasion of this momentous milestone, recognizing him for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Abraham Zamora now joins our 15<sup>th</sup> Ward community of senior adults whom we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Abraham Zamora for his continued good health, happiness and success following this 65<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Abraham Zamora in honor of his 65<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO LUZ ZARAGOSA ON 70<sup>TH</sup> BIRTHDAY.**  
[R2024-0010726]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Luz Zaragosa in honor of her 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Luz Zaragosa on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Luz Zaragosa has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Luz Zaragoza for her continued good health, happiness and success following this 70<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Luz Zaragoza in honor of her 70<sup>th</sup> birthday as a token of our esteem and good wishes.*

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**CONGRATULATIONS EXTENDED TO MARIA ZUNIGA ON 70<sup>TH</sup> BIRTHDAY.**  
[R2024-0010773]

WHEREAS, We, the Mayor and members of the Chicago City Council, wish to extend our congratulations and warmest birthday wishes to Maria Zuniga in honor of her 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 15<sup>th</sup> Ward, Alderperson Raymond Lopez would like to extend his personal acknowledgement to Maria Zuniga on the occasion of this momentous milestone, recognizing her for being a beloved resident of the City of Chicago in 2024; and

WHEREAS, Maria Zuniga has been a member of our 15<sup>th</sup> Ward seniors community for the last five years, a constituency we value and treasure for all they have given and taught us in their collective lifetime; and

WHEREAS, Senior citizens provide their communities with a deep well of experience and knowledge society can truly benefit from when they are acknowledged and appreciated for their past, present and future contributions to the fabric of Chicago; now, therefore,

*Be It Resolved by the City Council of the City of Chicago, That we, the Mayor and members of the Chicago City Council, gathered here this 17<sup>th</sup> of July 2024 A.D., do hereby extend our warmest and heartfelt best wishes to Maria Zuniga for her continued good health, happiness and success following this 70<sup>th</sup> birthday; and*

*Be It Further Resolved by the City Council of the City of Chicago, That we recognize today in the historic chamber of the City Council of the City of Chicago those who have attained this remarkable age, having witnessed a lifetime of splendor, innovation and achievement in our beloved city, state and nation; and*

*Be It Further Resolved by the City Council of the City of Chicago, That a suitable copy of this resolution be presented to Maria Zuniga in honor of her 70<sup>th</sup> birthday as a token of our esteem and good wishes.*

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*Presented By*

***ALDERPERSON COLEMAN (16<sup>th</sup> Ward):***

***CONGRATULATIONS EXTENDED TO GERRI CONIGAN ON RETIREMENT FROM WHITE CASTLE.***

[R2024-0010884]

WHEREAS, It is an esteemed honor and privilege to convey my heartfelt congratulations following 40 years of dedicated service to the White Castle brand across multiple locations in the City of Chicago, culminating in your exceptional tenure in the sweet 16<sup>th</sup> Ward; and

WHEREAS, Acknowledging your invaluable impact through mentorship and advocacy, your departure leaves a void that will be keenly felt. Your steadfast commitment and tireless efforts have significantly enhanced the operational efficiency of Store 57 right here on 67<sup>th</sup> and Western. Your leadership has been instrumental in instigating meaningful changes within underserved communities, notably in areas such as job creation, for which my gratitude has no bounds; and

WHEREAS, As you embark on a well-deserved retirement, a new chapter awaits, brimming with opportunities that I am certain you will embrace with the same excellence that characterized your 40 years of service. I hold every confidence that retirement will bring you the same fulfillment and success you have experienced throughout your illustrious career; now, therefore,

*Be It Resolved*, That a formal copy of this recognition be presented to Mayor Brandon Johnson and members of the City Council, gathered this 17<sup>th</sup> day of July 2024, do hereby celebrate Gerri Conigan's remarkable 40-year tenure and retirement; and

*Be It Further Resolved*, That a suitable copy of this recognition be presented to Gerri Conigan as a token of our deep appreciation, honor and respect.

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*CONGRATULATIONS EXTENDED TO MAENELL ADAMS ON 80<sup>TH</sup> BIRTHDAY.*

[R2024-0010342]

WHEREAS, We, the members of the City Council of the City of Chicago, wish to extend our most warmest wishes to Maenell Adams on her 80<sup>th</sup> birthday celebration; and

WHEREAS, On behalf of the entire 16<sup>th</sup> Ward, Alderperson Stephanie D. Coleman would like to encourage Maenell Adams to expect the best, let love rule, embrace the day and celebrate another year; and

WHEREAS, Maenell Adams has continued to be an abundance of wisdom, and we value all the gems and treasures you have bestowed here in the 16<sup>th</sup> Ward; now, therefore,

*Be It Resolved*, That the Mayor and members of the City Council of the City of Chicago, gathered this 17<sup>th</sup> day of July 2024, do hereby celebrate Maenell Adams' 80<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Maenell Adams as a token of our appreciation and blessed wishes.

*CONGRATULATIONS EXTENDED TO MILDRED BARBER ON 70<sup>TH</sup> BIRTHDAY.*

[R2024-0010290]

WHEREAS, We, the members of the City Council of the City of Chicago, wish to extend our most warmest wishes to Mildred Barber on her 70<sup>th</sup> birthday celebration; and

WHEREAS, On behalf of the entire 16<sup>th</sup> Ward, Alderperson Stephanie D. Coleman would like to encourage Mildred Barber to expect the best, let love rule, embrace the day and celebrate another year; and

WHEREAS, Mildred Barber has continued to be an abundance of wisdom, and we value all the gems and treasures you have bestowed here in the 16<sup>th</sup> Ward; now, therefore,

*Be It Resolved*, That the Mayor and members of the City Council of the City of Chicago, gathered this 17<sup>th</sup> day of July 2024, do hereby celebrate Mildred Barber's 70<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Mildred Barber as a token of our appreciation and blessed wishes.

—

*CONGRATULATIONS EXTENDED TO ARLEEN BELL ON 75<sup>TH</sup> BIRTHDAY.*

[R2024-0010316]

WHEREAS, We, the members of the City Council of the City of Chicago, wish to extend our most warmest wishes to Arleen Bell on her 75<sup>th</sup> birthday celebration; and

WHEREAS, On behalf of the entire 16<sup>th</sup> Ward, Alderperson Stephanie D. Coleman would like to encourage Arleen Bell to expect the best, let love rule, embrace the day and celebrate another year; and

WHEREAS, Arleen Bell has continued to be an abundance of wisdom, and we value all the gems and treasures you have bestowed here in the 16<sup>th</sup> Ward; now, therefore,

*Be It Resolved*, That the Mayor and members of the City Council of the City of Chicago, gathered this 17<sup>th</sup> day of July 2024, do hereby celebrate Arleen Bell's 75<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Arleen Bell as a token of our appreciation and blessed wishes.

*CONGRATULATIONS EXTENDED TO GAYLE BLAKEMORE ON 65<sup>TH</sup> BIRTHDAY.*  
[R2024-0010278]

WHEREAS, We, the members of the City Council of the City of Chicago, wish to extend our most warmest wishes to Gayle Blakemore on her 65<sup>th</sup> birthday celebration; and

WHEREAS, On behalf of the entire 16<sup>th</sup> Ward, Alderperson Stephanie D. Coleman would like to encourage Gayle Blakemore to expect the best, let love rule, embrace the day and celebrate another year; and

WHEREAS, Gayle Blakemore has continued to be an abundance of wisdom, and we value all the gems and treasures you have bestowed here in the 16<sup>th</sup> Ward; now, therefore,

*Be It Resolved*, That the Mayor and members of the City Council of the City of Chicago, gathered this 17<sup>th</sup> day of July 2024, do hereby celebrate Gayle Blakemore's 65<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Gayle Blakemore as a token of our appreciation and blessed wishes.

—

*CONGRATULATIONS EXTENDED TO DENISE BOONE ON 65<sup>TH</sup> BIRTHDAY.*  
[R2024-0010074]

WHEREAS, We, the members of the City Council of the City of Chicago, wish to extend our most warmest wishes to Denise Boone on her 65<sup>th</sup> birthday celebration; and

WHEREAS, On behalf of the entire 16<sup>th</sup> Ward, Alderperson Stephanie D. Coleman would like to encourage Denise Boone to expect the best, let love rule, embrace the day and celebrate another year; and

WHEREAS, Denise Boone has continued to be an abundance of wisdom, and we value all the gems and treasures you have bestowed here in the 16<sup>th</sup> Ward; now, therefore,

*Be It Resolved*, That the Mayor and members of the City Council of the City of Chicago, gathered this 17<sup>th</sup> day of July 2024, do hereby celebrate Denise Boone's 65<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Denise Boone as a token of our appreciation and blessed wishes.

*CONGRATULATIONS EXTENDED TO LOUISE BROWN ON 75<sup>TH</sup> BIRTHDAY.*

[R2024-0010326]

WHEREAS, We, the members of the City Council of the City of Chicago, wish to extend our most warmest wishes to Louise Brown on her 75<sup>th</sup> birthday celebration; and

WHEREAS, On behalf of the entire 16<sup>th</sup> Ward, Alderperson Stephanie D. Coleman would like to encourage Louise Brown to expect the best, let love rule, embrace the day and celebrate another year; and

WHEREAS, Louise Brown has continued to be an abundance of wisdom, and we value all the gems and treasures you have bestowed here in the 16<sup>th</sup> Ward; now, therefore,

*Be It Resolved*, That the Mayor and members of the City Council of the City of Chicago, gathered this 17<sup>th</sup> day of July 2024, do hereby celebrate Louise Brown's 75<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Louise Brown as a token of our appreciation and blessed wishes.

—

*CONGRATULATIONS EXTENDED TO ANNIE CLARK ON 75<sup>TH</sup> BIRTHDAY.*

[R2024-0010334]

WHEREAS, We, the members of the City Council of the City of Chicago, wish to extend our most warmest wishes to Annie Clark on her 75<sup>th</sup> birthday celebration; and

WHEREAS, On behalf of the entire 16<sup>th</sup> Ward, Alderperson Stephanie D. Coleman would like to encourage Annie Clark to expect the best, let love rule, embrace the day and celebrate another year; and

WHEREAS, Annie Clark has continued to be an abundance of wisdom, and we value all the gems and treasures you have bestowed here in the 16<sup>th</sup> Ward; now, therefore,

*Be It Resolved*, That the Mayor and members of the City Council of the City of Chicago, gathered this 17<sup>th</sup> day of July 2024, do hereby celebrate Annie Clark's 75<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Annie Clark as a token of our appreciation and blessed wishes.

*CONGRATULATIONS EXTENDED TO GLORIA COOPER ON 70<sup>TH</sup> BIRTHDAY.*

[R2024-0010307]

WHEREAS, We, the members of the City Council of the City of Chicago, wish to extend our most warmest wishes to Gloria Cooper on her 70<sup>th</sup> birthday celebration; and

WHEREAS, On behalf of the entire 16<sup>th</sup> Ward, Alderperson Stephanie D. Coleman would like to encourage Gloria Cooper to expect the best, let love rule, embrace the day and celebrate another year; and

WHEREAS, Gloria Cooper has continued to be an abundance of wisdom, and we value all the gems and treasures you have bestowed here in the 16<sup>th</sup> Ward; now, therefore,

*Be It Resolved*, That the Mayor and members of the City Council of the City of Chicago, gathered this 17<sup>th</sup> day of July 2024, do hereby celebrate Gloria Cooper's 70<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Gloria Cooper as a token of our appreciation and blessed wishes.

—

*CONGRATULATIONS EXTENDED TO STEPHEN ERBY ON 65<sup>TH</sup> BIRTHDAY.*

[R2024-0010079]

WHEREAS, We, the members of the City Council of the City of Chicago, wish to extend our most warmest wishes to Stephen Erby on his 65<sup>th</sup> birthday celebration; and

WHEREAS, On behalf of the entire 16<sup>th</sup> Ward, Alderperson Stephanie D. Coleman would like to encourage Stephen Erby to expect the best, let love rule, embrace the day and celebrate another year; and

WHEREAS, Stephen Erby has continued to be an abundance of wisdom, and we value all the gems and treasures you have bestowed here in the 16<sup>th</sup> Ward; now, therefore,

*Be It Resolved*, That the Mayor and members of the City Council of the City of Chicago, gathered this 17<sup>th</sup> day of July 2024, do hereby celebrate Stephen Erby's 65<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Stephen Erby as a token of our appreciation and blessed wishes.

*CONGRATULATIONS EXTENDED TO DONATUS HARRELL ON 70<sup>TH</sup> BIRTHDAY.*  
[R2024-0010311]

WHEREAS, We, the members of the City Council of the City of Chicago, wish to extend our most warmest wishes to Donatus Harrell on his 70<sup>th</sup> birthday celebration; and

WHEREAS, On behalf of the entire 16<sup>th</sup> Ward, Alderperson Stephanie D. Coleman would like to encourage Donatus Harrell to expect the best, let love rule, embrace the day and celebrate another year; and

WHEREAS, Donatus Harrell has continued to be an abundance of wisdom, and we value all the gems and treasures you have bestowed here in the 16<sup>th</sup> Ward; now, therefore,

*Be It Resolved*, That the Mayor and members of the City Council of the City of Chicago, gathered this 17<sup>th</sup> day of July 2024, do hereby celebrate Donatus Harrell's 70<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Donatus Harrell as a token of our appreciation and blessed wishes.

—

*CONGRATULATIONS EXTENDED TO PATRICE HARRIS ON 65<sup>TH</sup> BIRTHDAY.*  
[R2024-0010081]

WHEREAS, We, the members of the City Council of the City of Chicago, wish to extend our most warmest wishes to Patrice Harris on her 65<sup>th</sup> birthday celebration; and

WHEREAS, On behalf of the entire 16<sup>th</sup> Ward, Alderperson Stephanie D. Coleman would like to encourage Patrice Harris to expect the best, let love rule, embrace the day and celebrate another year; and

WHEREAS, Patrice Harris has continued to be an abundance of wisdom, and we value all the gems and treasures you have bestowed here in the 16<sup>th</sup> Ward; now, therefore,

*Be It Resolved*, That the Mayor and members of the City Council of the City of Chicago, gathered this 17<sup>th</sup> day of July 2024, do hereby celebrate Patrice Harris' 65<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Patrice Harris as a token of our appreciation and blessed wishes.

*CONGRATULATIONS EXTENDED TO RUTHIE HARRIS ON 80<sup>TH</sup> BIRTHDAY.*

[R2024-0010343]

WHEREAS, We, the members of the City Council of the City of Chicago, wish to extend our most warmest wishes to Ruthie Harris on her 80<sup>th</sup> birthday celebration; and

WHEREAS, On behalf of the entire 16<sup>th</sup> Ward, Alderperson Stephanie D. Coleman would like to encourage Ruthie Harris to expect the best, let love rule, embrace the day and celebrate another year; and

WHEREAS, Ruthie Harris has continued to be an abundance of wisdom, and we value all the gems and treasures you have bestowed here in the 16<sup>th</sup> Ward; now, therefore,

*Be It Resolved*, That the Mayor and members of the City Council of the City of Chicago, gathered this 17<sup>th</sup> day of July 2024, do hereby celebrate Ruthie Harris' 80<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Ruthie Harris as a token of our appreciation and blessed wishes.

—

*CONGRATULATIONS EXTENDED TO SHIRELL HARRIS ON 65<sup>TH</sup> BIRTHDAY.*

[R2024-0010078]

WHEREAS, We, the members of the City Council of the City of Chicago, wish to extend our most warmest wishes to Shirell Harris on her 65<sup>th</sup> birthday celebration; and

WHEREAS, On behalf of the entire 16<sup>th</sup> Ward, Alderperson Stephanie D. Coleman would like to encourage Shirell Harris to expect the best, let love rule, embrace the day and celebrate another year; and

WHEREAS, Shirell Harris has continued to be an abundance of wisdom, and we value all the gems and treasures you have bestowed here in the 16<sup>th</sup> Ward; now, therefore,

*Be It Resolved*, That the Mayor and members of the City Council of the City of Chicago, gathered this 17<sup>th</sup> day of July 2024, do hereby celebrate Shirell Harris' 65<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Shirell Harris as a token of our appreciation and blessed wishes.

*CONGRATULATIONS EXTENDED TO JUNE HARTH ON 65<sup>TH</sup> BIRTHDAY.*

[R2024-0010275]

WHEREAS, We, the members of the City Council of the City of Chicago, wish to extend our most warmest wishes to June Harth on her 65<sup>th</sup> birthday celebration; and

WHEREAS, On behalf of the entire 16<sup>th</sup> Ward, Alderperson Stephanie D. Coleman would like to encourage June Harth to expect the best, let love rule, embrace the day and celebrate another year; and

WHEREAS, June Harth has continued to be an abundance of wisdom, and we value all the gems and treasures you have bestowed here in the 16<sup>th</sup> Ward; now, therefore,

*Be It Resolved*, That the Mayor and members of the City Council of the City of Chicago, gathered this 17<sup>th</sup> day of July 2024, do hereby celebrate June Harth's 65<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to June Harth as a token of our appreciation and blessed wishes.

—

*CONGRATULATIONS EXTENDED TO IRMA HUDSON ON 80<sup>TH</sup> BIRTHDAY.*

[R2024-0010335]

WHEREAS, We, the members of the City Council of the City of Chicago, wish to extend our most warmest wishes to Irma Hudson on her 80<sup>th</sup> birthday celebration; and

WHEREAS, On behalf of the entire 16<sup>th</sup> Ward, Alderperson Stephanie D. Coleman would like to encourage Irma Hudson to expect the best, let love rule, embrace the day and celebrate another year; and

WHEREAS, Irma Hudson has continued to be an abundance of wisdom, and we value all the gems and treasures you have bestowed here in the 16<sup>th</sup> Ward; now, therefore,

*Be It Resolved*, That the Mayor and members of the City Council of the City of Chicago, gathered this 17<sup>th</sup> day of July 2024, do hereby celebrate Irma Hudson's 80<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Irma Hudson as a token of our appreciation and blessed wishes.

*CONGRATULATIONS EXTENDED TO MARY HUDSON ON 70<sup>TH</sup> BIRTHDAY.*  
[R2024-0010305]

WHEREAS, We, the members of the City Council of the City of Chicago, wish to extend our most warmest wishes to Mary Hudson on her 70<sup>th</sup> birthday celebration; and

WHEREAS, On behalf of the entire 16<sup>th</sup> Ward, Alderperson Stephanie D. Coleman would like to encourage Mary Hudson to expect the best, let love rule, embrace the day and celebrate another year; and

WHEREAS, Mary Hudson has continued to be an abundance of wisdom, and we value all the gems and treasures you have bestowed here in the 16<sup>th</sup> Ward; now, therefore,

*Be It Resolved*, That the Mayor and members of the City Council of the City of Chicago, gathered this 17<sup>th</sup> day of July 2024, do hereby celebrate Mary Hudson's 70<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Mary Hudson as a token of our appreciation and blessed wishes.

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*CONGRATULATIONS EXTENDED TO ROSEMARY JOHNSON ON 70<sup>TH</sup> BIRTHDAY.*

[R2024-0010308]

WHEREAS, We, the members of the City Council of the City of Chicago, wish to extend our most warmest wishes to Rosemary Johnson on her 70<sup>th</sup> birthday celebration; and

WHEREAS, On behalf of the entire 16<sup>th</sup> Ward, Alderperson Stephanie D. Coleman would like to encourage Rosemary Johnson to expect the best, let love rule, embrace the day and celebrate another year; and

WHEREAS, Rosemary Johnson has continued to be an abundance of wisdom, and we value all the gems and treasures you have bestowed here in the 16<sup>th</sup> Ward; now, therefore,

*Be It Resolved*, That the Mayor and members of the City Council of the City of Chicago, gathered this 17<sup>th</sup> day of July 2024, do hereby celebrate Rosemary Johnson's 70<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Rosemary Johnson as a token of our appreciation and blessed wishes.

*CONGRATULATIONS EXTENDED TO AUDREY MURPH ON 70<sup>TH</sup> BIRTHDAY.*

[R2024-0010309]

WHEREAS, We, the members of the City Council of the City of Chicago, wish to extend our most warmest wishes to Audrey Murph on her 70<sup>th</sup> birthday celebration; and

WHEREAS, On behalf of the entire 16<sup>th</sup> Ward, Alderperson Stephanie D. Coleman would like to encourage Audrey Murph to expect the best, let love rule, embrace the day and celebrate another year; and

WHEREAS, Audrey Murph has continued to be an abundance of wisdom, and we value all the gems and treasures you have bestowed here in the 16<sup>th</sup> Ward; now, therefore,

*Be It Resolved*, That the Mayor and members of the City Council of the City of Chicago, gathered this 17<sup>th</sup> day of July 2024, do hereby celebrate Audrey Murph's 70<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Audrey Murph as a token of our appreciation and blessed wishes.

—

*CONGRATULATIONS EXTENDED TO EDWARD MORRIS ON 65<sup>TH</sup> BIRTHDAY.*

[R2024-0010201]

WHEREAS, We, the members of the City Council of the City of Chicago, wish to extend our most warmest wishes to Edward Morris on his 65<sup>th</sup> birthday celebration; and

WHEREAS, On behalf of the entire 16<sup>th</sup> Ward, Alderperson Stephanie D. Coleman would like to encourage Edward Morris to expect the best, let love rule, embrace the day and celebrate another year; and

WHEREAS, Edward Morris has continued to be an abundance of wisdom, and we value all the gems and treasures you have bestowed here in the 16<sup>th</sup> Ward; now, therefore,

*Be It Resolved*, That the Mayor and members of the City Council of the City of Chicago, gathered this 17<sup>th</sup> day of July 2024, do hereby celebrate Edward Morris' 65<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Edward Morris as a token of our appreciation and blessed wishes.

*CONGRATULATIONS EXTENDED TO ETHEL NETTLESBEY ON 85<sup>TH</sup> BIRTHDAY.*  
[R2024-0010344]

WHEREAS, We, the members of the City Council of the City of Chicago, wish to extend our most warmest wishes to Ethel Nettlesbey on her 85<sup>th</sup> birthday celebration; and

WHEREAS, On behalf of the entire 16<sup>th</sup> Ward, Alderperson Stephanie D. Coleman would like to encourage Ethel Nettlesbey to expect the best, let love rule, embrace the day and celebrate another year; and

WHEREAS, Ethel Nettlesbey has continued to be an abundance of wisdom, and we value all the gems and treasures you have bestowed here in the 16<sup>th</sup> Ward; now, therefore,

*Be It Resolved*, That the Mayor and members of the City Council of the City of Chicago, gathered this 17<sup>th</sup> day of July 2024, do hereby celebrate Ethel Nettlesbey's 85<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Ethel Nettlesbey as a token of our appreciation and blessed wishes.

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*CONGRATULATIONS EXTENDED TO BARBARA PEPPERS ON 75<sup>TH</sup> BIRTHDAY.*  
[R2024-0010330]

WHEREAS, We, the members of the City Council of the City of Chicago, wish to extend our most warmest wishes to Barbara Peppers on her 75<sup>th</sup> birthday celebration; and

WHEREAS, On behalf of the entire 16<sup>th</sup> Ward, Alderperson Stephanie D. Coleman would like to encourage Barbara Peppers to expect the best, let love rule, embrace the day and celebrate another year; and

WHEREAS, Barbara Peppers has continued to be an abundance of wisdom, and we value all the gems and treasures you have bestowed here in the 16<sup>th</sup> Ward; now, therefore,

*Be It Resolved*, That the Mayor and members of the City Council of the City of Chicago, gathered this 17<sup>th</sup> day of July 2024, do hereby celebrate Barbara Peppers' 75<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Barbara Peppers as a token of our appreciation and blessed wishes.

*CONGRATULATIONS EXTENDED TO YVONNE ROANS ON 65<sup>TH</sup> BIRTHDAY.*

[R2024-0010082]

WHEREAS, We, the members of the City Council of the City of Chicago, wish to extend our most warmest wishes to Yvonne Roans on her 65<sup>th</sup> birthday celebration; and

WHEREAS, On behalf of the entire 16<sup>th</sup> Ward, Alderperson Stephanie D. Coleman would like to encourage Yvonne Roans to expect the best, let love rule, embrace the day and celebrate another year; and

WHEREAS, Yvonne Roans has continued to be an abundance of wisdom, and we value all the gems and treasures you have bestowed here in the 16<sup>th</sup> Ward; now, therefore,

*Be It Resolved*, That the Mayor and members of the City Council of the City of Chicago, gathered this 17<sup>th</sup> day of July 2024, do hereby celebrate Yvonne Roans' 65<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Yvonne Roans as a token of our appreciation and blessed wishes.

—

*CONGRATULATIONS EXTENDED TO ETHEL SANDERSON ON 75<sup>TH</sup> BIRTHDAY.*

[R2024-0010324]

WHEREAS, We, the members of the City Council of the City of Chicago, wish to extend our most warmest wishes to Ethel Sanderson on her 75<sup>th</sup> birthday celebration; and

WHEREAS, On behalf of the entire 16<sup>th</sup> Ward, Alderperson Stephanie D. Coleman would like to encourage Ethel Sanderson to expect the best, let love rule, embrace the day and celebrate another year; and

WHEREAS, Ethel Sanderson has continued to be an abundance of wisdom, and we value all the gems and treasures you have bestowed here in the 16<sup>th</sup> Ward; now, therefore,

*Be It Resolved*, That the Mayor and members of the City Council of the City of Chicago, gathered this 17<sup>th</sup> day of July 2024, do hereby celebrate Ethel Sanderson's 75<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Ethel Sanderson as a token of our appreciation and blessed wishes.

*CONGRATULATIONS EXTENDED TO GERALDINE SIMMONS-HARRIS ON 65<sup>TH</sup> BIRTHDAY.*

[R2024-0010200]

WHEREAS, We, the members of the City Council of the City of Chicago, wish to extend our most warmest wishes to Geraldine Simmons-Harris on her 65<sup>th</sup> birthday celebration; and

WHEREAS, On behalf of the entire 16<sup>th</sup> Ward, Alderperson Stephanie D. Coleman would like to encourage Geraldine Simmons-Harris to expect the best, let love rule, embrace the day and celebrate another year; and

WHEREAS, Geraldine Simmons-Harris has continued to be an abundance of wisdom, and we value all the gems and treasures you have bestowed here in the 16<sup>th</sup> Ward; now, therefore,

*Be It Resolved*, That the Mayor and members of the City Council of the City of Chicago, gathered this 17<sup>th</sup> day of July 2024, do hereby celebrate Geraldine Simmons-Harris' 65<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Geraldine Simmons-Harris as a token of our appreciation and blessed wishes.

—

*CONGRATULATIONS EXTENDED TO FLORA SIMPSON ON 65<sup>TH</sup> BIRTHDAY.*

[R2024-0010280]

WHEREAS, We, the members of the City Council of the City of Chicago, wish to extend our most warmest wishes to Flora Simpson on her 65<sup>th</sup> birthday celebration; and

WHEREAS, On behalf of the entire 16<sup>th</sup> Ward, Alderperson Stephanie D. Coleman would like to encourage Flora Simpson to expect the best, let love rule, embrace the day and celebrate another year; and

WHEREAS, Flora Simpson has continued to be an abundance of wisdom, and we value all the gems and treasures you have bestowed here in the 16<sup>th</sup> Ward; now, therefore,

*Be It Resolved*, That the Mayor and members of the City Council of the City of Chicago, gathered this 17<sup>th</sup> day of July 2024, do hereby celebrate Flora Simpson's 65<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Flora Simpson as a token of our appreciation and blessed wishes.

*CONGRATULATIONS EXTENDED TO BARBARA SURVILLION ON 80<sup>TH</sup> BIRTHDAY.*

[R2024-0010340]

WHEREAS, We, the members of the City Council of the City of Chicago, wish to extend our most warmest wishes to Barbara Survillion on her 80<sup>th</sup> birthday celebration; and

WHEREAS, On behalf of the entire 16<sup>th</sup> Ward, Alderperson Stephanie D. Coleman would like to encourage Barbara Survillion to expect the best, let love rule, embrace the day and celebrate another year; and

WHEREAS, Barbara Survillion has continued to be an abundance of wisdom, and we value all the gems and treasures you have bestowed here in the 16<sup>th</sup> Ward; now, therefore,

*Be It Resolved*, That the Mayor and members of the City Council of the City of Chicago, gathered this 17<sup>th</sup> day of July 2024, do hereby celebrate Barbara Survillion's 80<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Barbara Survillion as a token of our appreciation and blessed wishes.

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*CONGRATULATIONS EXTENDED TO LATRICIA THOMPSON ON 70<sup>TH</sup> BIRTHDAY.*

[R2024-0010306]

WHEREAS, We, the members of the City Council of the City of Chicago, wish to extend our most warmest wishes to Latricia Thompson on her 70<sup>th</sup> birthday celebration; and

WHEREAS, On behalf of the entire 16<sup>th</sup> Ward, Alderperson Stephanie D. Coleman would like to encourage Latricia Thompson to expect the best, let love rule, embrace the day and celebrate another year; and

WHEREAS, Latricia Thompson has continued to be an abundance of wisdom, and we value all the gems and treasures you have bestowed here in the 16<sup>th</sup> Ward; now, therefore,

*Be It Resolved*, That the Mayor and members of the City Council of the City of Chicago, gathered this 17<sup>th</sup> day of July 2024, do hereby celebrate Latricia Thompson's 70<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Latricia Thompson as a token of our appreciation and blessed wishes.

*CONGRATULATIONS EXTENDED TO PAMELA TRIPLETT ON 65<sup>TH</sup> BIRTHDAY.*

[R2024-0010077]

WHEREAS, We, the members of the City Council of the City of Chicago, wish to extend our most warmest wishes to Pamela Triplett on her 65<sup>th</sup> birthday celebration; and

WHEREAS, On behalf of the entire 16<sup>th</sup> Ward, Alderperson Stephanie D. Coleman would like to encourage Pamela Triplett to expect the best, let love rule, embrace the day and celebrate another year; and

WHEREAS, Pamela Triplett has continued to be an abundance of wisdom, and we value all the gems and treasures you have bestowed here in the 16<sup>th</sup> Ward; now, therefore,

*Be It Resolved*, That the Mayor and members of the City Council of the City of Chicago, gathered this 17<sup>th</sup> day of July 2024, do hereby celebrate Pamela Triplett's 65<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Pamela Triplett as a token of our appreciation and blessed wishes.

—

*CONGRATULATIONS EXTENDED TO DENNIS TUCKER ON 65<sup>TH</sup> BIRTHDAY.*

[R2024-0010076]

WHEREAS, We, the members of the City Council of the City of Chicago, wish to extend our most warmest wishes to Dennis Tucker on his 65<sup>th</sup> birthday celebration; and

WHEREAS, On behalf of the entire 16<sup>th</sup> Ward, Alderperson Stephanie D. Coleman would like to encourage Dennis Tucker to expect the best, let love rule, embrace the day and celebrate another year; and

WHEREAS, Dennis Tucker has continued to be an abundance of wisdom, and we value all the gems and treasures you have bestowed here in the 16<sup>th</sup> Ward; now, therefore,

*Be It Resolved*, That the Mayor and members of the City Council of the City of Chicago, gathered this 17<sup>th</sup> day of July 2024, do hereby celebrate Dennis Tucker's 65<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Dennis Tucker as a token of our appreciation and blessed wishes.

*CONGRATULATIONS EXTENDED TO ALBERT WILSON ON 75<sup>TH</sup> BIRTHDAY.*

[R2024-0010327]

WHEREAS, We, the members of the City Council of the City of Chicago, wish to extend our most warmest wishes to Albert Wilson on his 75<sup>th</sup> birthday celebration; and

WHEREAS, On behalf of the entire 16<sup>th</sup> Ward, Alderperson Stephanie D. Coleman would like to encourage Albert Wilson to expect the best, let love rule, embrace the day and celebrate another year; and

WHEREAS, Albert Wilson has continued to be an abundance of wisdom, and we value all the gems and treasures you have bestowed here in the 16<sup>th</sup> Ward; now, therefore,

*Be It Resolved*, That the Mayor and members of the City Council of the City of Chicago, gathered this 17<sup>th</sup> day of July 2024, do hereby celebrate Albert Wilson's 75<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Albert Wilson as a token of our appreciation and blessed wishes.

—

*CONGRATULATIONS EXTENDED TO PEARL YOUNG ON 75<sup>TH</sup> BIRTHDAY.*

[R2024-0010328]

WHEREAS, We, the members of the City Council of the City of Chicago, wish to extend our most warmest wishes to Pearl Young on her 75<sup>th</sup> birthday celebration; and

WHEREAS, On behalf of the entire 16<sup>th</sup> Ward, Alderperson Stephanie D. Coleman would like to encourage Pearl Young to expect the best, let love rule, embrace the day and celebrate another year; and

WHEREAS, Pearl Young has continued to be an abundance of wisdom, and we value all the gems and treasures you have bestowed here in the 16<sup>th</sup> Ward; now, therefore,

*Be It Resolved*, That the Mayor and members of the City Council of the City of Chicago, gathered this 17<sup>th</sup> day of July 2024, do hereby celebrate Pearl Young's 75<sup>th</sup> birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Pearl Young as a token of our appreciation and blessed wishes.

*Presented By*

**ALDERPERSON TABARES (23<sup>rd</sup> Ward):**

**TRIBUTE TO LATE POLICE OFFICER SAMUEL JIMENEZ.**

[R2024-0010545]

WHEREAS, It is with sadness that the members of this chamber honor the life of a fallen police officer. Chicago Police Officer Samuel Jimenez lost his life while serving and protecting the City of Chicago. The Chicago City Council has been informed of this resolution by the Honorable Silvana Tabares, Alderperson of the 23<sup>rd</sup> Ward, and the 2<sup>nd</sup> District Chicago Police Department; and

WHEREAS, Officer Jimenez was born on April 28, 1990, the youngest of five children. At the age of 13, his father passed away, and he was then raised by his mother and grandmother. He grew up in the Logan Square area, attending Foreman High School. Officer Jimenez worked at a young age but remained a teenager who played football and was on the water polo team; and

WHEREAS, In his sophomore year of high school, Officer Jimenez met his wife, Crystal. At 19, Officer Jimenez and his high school sweetheart, Crystal, started forming their family. They welcomed their son, Julian, into this world. A few years later, their daughter, Angelina, was born. Sometime after, Officer Jimenez and Crystal obtained legal guardianship of their niece, Ebony, loving her like their other two children. He was also a great role model to his niece, Choinsy; and

WHEREAS, Officer Jimenez was a great father and husband who loved spending time with his family. He talked and listened to his children and had fun with them. He enjoyed going to the gym and working out. Most importantly, he was a good provider. He worked in security and then for the post office for a while. Officer Jimenez attended Northeastern College to pursue his lifelong dream of becoming a Chicago police officer; and

WHEREAS, Officer Jimenez was assigned to the 2<sup>nd</sup> District-Wentworth. He was dedicated to his work and cared about serving and protecting the people. On November 19, 2018, Officer Jimenez and his partner, Officer Zambrano, responded to a call of shots fired. These fine officers ran toward the danger where a man had a gun and fatally shot two innocent civilians. Tragically, in the end, the offender took the life of Officer Jimenez; and

WHEREAS, Officer Jimenez lost his life in the line of duty after serving one year and nine months in the Chicago Police Department. He will be remembered as a great and loving husband, father, son, brother, grandson, cousin, nephew, son-in-law, brother-in-law and coworker. Officer Jimenez served with honor and dedication to the people of the City of Chicago. His sacrifice will never be forgotten, and everyone who knew him greatly misses him; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the City Council of the City of Chicago, gathered here this 17<sup>th</sup> day of July 2024, do hereby honor the life and memory of Officer Samuel Jimenez, Star Number 19526, and extend to his family and many friends our sincere condolences; and

*Be It Further Resolved*, That a suitable copy of this resolution be prepared and presented to the family of Officer Samuel Jimenez as a sign of our honor and respect.

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*Presented By*

**ALDERPERSON SCOTT (24<sup>th</sup> Ward):**

*TRIBUTE TO LATE COOK COUNTY COMMISSIONER DR. DENNIS DEER.*

[R2024-0010849]

WHEREAS, Commissioner Dr. Dennis Deer, a fierce champion for equity and tireless advocate for the underserved, has passed away at age 51; and

WHEREAS, The City of Chicago has been notified of Commissioner Deer's passing by the Honorable Monique Scott, Alderperson of the 24<sup>th</sup> Ward; and

WHEREAS, Born and raised in North Lawndale, Commissioner Deer graduated from Jackson State University before going on to earn a master's degree in rehabilitation psychology and PhD. in Christian psychology; and

WHEREAS, Remaining a West Side resident, Dr. Deer served his community as a clinical therapist and counselor, including through Deer Rehab Services which provides comprehensive mental health services for ex-offenders and, since 2017, as the Cook County Commissioner representing the 2<sup>nd</sup> District, which spans North Lawndale, the Loop and Englewood; and

WHEREAS, Commissioner Deer also served his community through countless nonprofit and community boards, including the Cook County Health Board, Lawndale Christian Legal Center, North Lawndale Community Coordinating Council, Strategic Human Services, the Illinois Department of Human Services Domestic Violence Accountability Council and the Illinois Coalition Against Domestic Violence; and

WHEREAS, Throughout his career, whether as a psychologist, a civic leader or on the Cook County Board, Commissioner Deer's priority was always equity -- equity in public safety, equity in development and equity in health care, especially mental health; and

WHEREAS, With this deep and abiding commitment to equity and justice, Commissioner Deer led the efforts to declare mental health, gun violence and racism

as public health crises, resulting in \$60,000,000 in funding for mental health treatment, \$36,000,000 in funding to combat gun violence and the hiring of Cook County Health's first chief equity and inclusion officer; and

WHEREAS, Commissioner Deer also was a leading advocate for establishing Juneteenth as an official county holiday and encouraging healthier eating options through the Food is Medicine campaign; and

WHEREAS, Born with situs inversus, a condition where the position of the lungs and heart is reversed, many of the issues surrounding equity in health care were deeply personal for Commissioner Deer; and

WHEREAS, Following a COVID infection, which led to scarring of his lungs, Commissioner Deer received a double lung transplant last fall, but sadly passed away from complications on June 23, 2024; and

WHEREAS, Commissioner Deer is survived by his wife and high school sweetheart, Barbara, and his three children, Kennan, Kaleb and Trinity; and

WHEREAS, Throughout his life and service, Commissioner Deer brought his intellect, wisdom, passion, advocacy and faith; he will be greatly missed by all who knew him; now, therefore,

*Be It Resolved*, That we, the Mayor and the members of the City Council of the City of Chicago, do hereby honor the life and legacy of Commissioner Dr. Dennis Deer for his life of service to the people of Cook County, and extend our deepest condolences to his family and friends; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to the family of Commissioner Deer as a symbol of our gratitude and appreciation for his remarkable impact on the City of Chicago.

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*Presented By*

**ALDERPERSON WAGUESPACK (32<sup>nd</sup> Ward):**

**CONGRATULATIONS EXTENDED TO DR. TERESA ANN HUBKA ON ELECTION AS 128<sup>TH</sup> NATIONAL PRESIDENT OF AMERICAN OSTEOPATHIC ASSOCIATION.**  
[R2024-0010355]

WHEREAS, Dr. Teresa Ann Hubka, DO, FACOOG, FACOG, CS, has served Chicago in private practice since 1994; and

WHEREAS, The Chicago City Council has been informed of her recent election as the 128<sup>th</sup> national president of the American Osteopathic Association by Alderperson Scott Waguespack; and

WHEREAS, She is the first Illinois doctor and OB-GYN and only the second woman to serve in this role; and

WHEREAS, She will be inaugurated in this position on July 20, 2024 at the Marriott Hotel in Chicago; and

WHEREAS, She will represent more than 180,000 DOs across the country; and

WHEREAS, She has been a teacher and mentor for countless young medical students as a professor and department chair at Midwestern University/Chicago College of Osteopathic Medicine; and

WHEREAS, Dr. Hubka has been affiliated with numerous hospitals in the Chicago area, including Ascension Resurrection Medical Center, Ascension St. Mary's and Elizabeth Medical Center, Advocate Illinois Masonic Medical Center and OSF-Little Company of Mary Medical Center; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the City Council of the City of Chicago, assembled this 17<sup>th</sup> day of July, express our deepest congratulations to Dr. Teresa Ann Hubka and do hereby thank her for her service to Chicago and contributions to the medical field; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Dr. Teresa Ann Hubka as a sign of our appreciation.

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*Presented By*

**ALDERPERSON RAMIREZ-ROSA (35<sup>th</sup> Ward):**

**TRIBUTE TO LATE STEVE ALBINI.**

[R2024-0010874]

WHEREAS, Steve Albini moved to Chicago to attend Northwestern University in the early 1980s and never left; and

WHEREAS, Steve was a primary figure in the burgeoning Chicago punk rock music scene from its inception, eventually becoming (if unintentionally) an eternally important, worldwide representative of the global underground/experimental rock music scene; and

WHEREAS, Starting with his home recording studio on North Francisco Avenue, then eventually at his custom-built and self-financed Chicago recording studio, Electrical Audio, located at 2621 West Belmont in Chicago's Avondale neighborhood, and also at a dizzying variety of other studios around the world, Steve helped literally thousands of bands and other musicians realize their music as recorded media by providing world-class audio engineering talent at journeyman prices to essentially anyone who asked; and

WHEREAS, Countless other recording studios around the world have been built or improved upon by using Steve's insight into layout, materials, electrical concerns, equipment, HVAC, flooring, acoustics and so forth, all provided by Steve as a top expert in his field, completely gratis and in sometimes excruciating detail; and

WHEREAS, Still no one else in the history of the planet has ever been able to record a drum kit like that; and

WHEREAS, Steve and his wife, Heather Whinna, started answering random "letters to Santa" over 20 years ago and have delivered presents and large amounts of cash to desperately needy residents of Chicago every single Christmas Day since; and most recently, as part of Heather's 501(c)(3) Poverty Alleviation Charities and their "Letters to Santa" charity effort, redistributing over a Million Dollars in the process; and

WHEREAS, Steve was a stalwart, irrationally generous friend to many over decades and stood on principle steadfastly, at great expense and inconvenience to himself, during a four-decade career as a musician and recording engineer in (or on the fringes of) the often-rapacious "music industry"; and

WHEREAS, The great City of Chicago is a worse place without him as surely it was a better place with him in it, as is/was the rest of the world; and

WHEREAS, Honoring the late Steve Albini would serve as a lasting reminder to his incredible expertise in his field, extreme generosity and holiday spirit, great influence on the advancement of the state of sound recording, and overwhelming contributions to the arts in Chicago and the rest of the world; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the City Council of the City of Chicago, do hereby honor the life and legacy of Steve Albini and honor him for his contributions to the music and recording industry in Chicago and worldwide; and

*Be It Further Resolved*, That a suitable copy of this resolution be presented to Heather Whinna, Steve Albini's beloved wife.

*Presented By*

**ALDERPERSON GARDINER (45<sup>th</sup> Ward):**

**CONGRATULATIONS EXTENDED TO GUS ARAPITOGLOU ON 70<sup>TH</sup> BIRTHDAY.**  
[R2024-0010616]

WHEREAS, The members of the Chicago City Council wish to extend our congratulations and warmest birthday wishes to Gus Arapitoglou in honor of his 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 45<sup>th</sup> Ward, Alderperson James M. Gardiner would like to extend his personal tribute to Gus Arapitoglou on this momentous occasion as recognition for being a stellar resident of the City of Chicago; now, therefore,

*Be It Resolved*, That we, the Mayor and the members of the City Council of the City of Chicago, gathered here this 17<sup>th</sup> day of July 2024, do hereby congratulate Gus Arapitoglou on the occasion of his birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be prepared and presented to Gus Arapitoglou.

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**CONGRATULATIONS EXTENDED TO PATRICK BAUMHARDT ON 70<sup>TH</sup> BIRTHDAY.**

[R2024-0010631]

WHEREAS, The members of the Chicago City Council wish to extend our congratulations and warmest birthday wishes to Patrick Baumhardt in honor of his 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 45<sup>th</sup> Ward, Alderperson James M. Gardiner would like to extend his personal tribute to Patrick Baumhardt on this momentous occasion as recognition for being a stellar resident of the City of Chicago; now, therefore,

*Be It Resolved*, That we, the Mayor and the members of the City Council of the City of Chicago, gathered here this 17<sup>th</sup> day of July 2024, do hereby congratulate Patrick Baumhardt on the occasion of his birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be prepared and presented to Patrick Baumhardt.

*CONGRATULATIONS EXTENDED TO SYLVIO CARFO ON 90<sup>TH</sup> BIRTHDAY.*  
[R2024-0010612]

WHEREAS, The members of the Chicago City Council wish to extend our congratulations and warmest birthday wishes to Sylvio Carfo in honor of his 90<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 45<sup>th</sup> Ward, Alderperson James M. Gardiner would like to extend his personal tribute to Sylvio Carfo on this momentous occasion as recognition for being a stellar resident of the City of Chicago; now, therefore,

*Be It Resolved*, That we, the Mayor and the members of the City Council of the City of Chicago, gathered here this 17<sup>th</sup> day of July 2024, do hereby congratulate Sylvio Carfo on the occasion of his birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be prepared and presented to Sylvio Carfo.

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*CONGRATULATIONS EXTENDED TO MARIA CIOCHUN ON 75<sup>TH</sup> BIRTHDAY.*  
[R2024-0010619]

WHEREAS, The members of the Chicago City Council wish to extend our congratulations and warmest birthday wishes to Maria Ciochun in honor of her 75<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 45<sup>th</sup> Ward, Alderperson James M. Gardiner would like to extend his personal tribute to Maria Ciochun on this momentous occasion as recognition for being a stellar resident of the City of Chicago; now, therefore,

*Be It Resolved*, That we, the Mayor and the members of the City Council of the City of Chicago, gathered here this 17<sup>th</sup> day of July 2024, do hereby congratulate Maria Ciochun on the occasion of her birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be prepared and presented to Maria Ciochun.

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*CONGRATULATIONS EXTENDED TO DONNA DAMASK ON 70<sup>TH</sup> BIRTHDAY.*  
[R2024-0010622]

WHEREAS, The members of the Chicago City Council wish to extend our congratulations and warmest birthday wishes to Donna Damask in honor of her 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 45<sup>th</sup> Ward, Alderperson James M. Gardiner would like to extend his personal tribute to Donna Damask on this momentous occasion as recognition for being a stellar resident of the City of Chicago; now, therefore,

*Be It Resolved*, That we, the Mayor and the members of the City Council of the City of Chicago, gathered here this 17<sup>th</sup> day of July 2024, do hereby congratulate Donna Damask on the occasion of her birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be prepared and presented to Donna Damask.

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**CONGRATULATIONS EXTENDED TO GUY DESALVO ON 80<sup>TH</sup> BIRTHDAY.**  
[R2024-0010629]

WHEREAS, The members of the Chicago City Council wish to extend our congratulations and warmest birthday wishes to Guy Desalvo in honor of his 80<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 45<sup>th</sup> Ward, Alderperson James M. Gardiner would like to extend his personal tribute to Guy Desalvo on this momentous occasion as recognition for being a stellar resident of the City of Chicago; now, therefore,

*Be It Resolved*, That we, the Mayor and the members of the City Council of the City of Chicago, gathered here this 17<sup>th</sup> day of July 2024, do hereby congratulate Guy Desalvo on the occasion of his birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be prepared and presented to Guy Desalvo.

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**CONGRATULATIONS EXTENDED TO GENEVIEVE HERION ON 90<sup>TH</sup> BIRTHDAY.**  
[R2024-0010621]

WHEREAS, The members of the Chicago City Council wish to extend our congratulations and warmest birthday wishes to Genevieve Herion in honor of her 90<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 45<sup>th</sup> Ward, Alderperson James M. Gardiner would like to extend his personal tribute to Genevieve Herion on this momentous occasion as recognition for being a stellar resident of the City of Chicago; now, therefore,

*Be It Resolved*, That we, the Mayor and the members of the City Council of the City of Chicago, gathered here this 17<sup>th</sup> day of July 2024, do hereby congratulate Genevieve Herion on the occasion of her birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be prepared and presented to Genevieve Herion.

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CONGRATULATIONS EXTENDED TO AUDELIS HERNANDEZ ON  
70<sup>TH</sup> BIRTHDAY.

[R2024-0010617]

WHEREAS, The members of the Chicago City Council wish to extend our congratulations and warmest birthday wishes to Audelis Hernandez in honor of her 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 45<sup>th</sup> Ward, Alderperson James M. Gardiner would like to extend his personal tribute to Audelis Hernandez on this momentous occasion as recognition for being a stellar resident of the City of Chicago; now, therefore,

*Be It Resolved*, That we, the Mayor and the members of the City Council of the City of Chicago, gathered here this 17<sup>th</sup> day of July 2024, do hereby congratulate Audelis Hernandez on the occasion of her birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be prepared and presented to Audelis Hernandez.

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CONGRATULATIONS EXTENDED TO BRUCE IRTI ON 70<sup>TH</sup> BIRTHDAY.

[R2024-0010615]

WHEREAS, The members of the Chicago City Council wish to extend our congratulations and warmest birthday wishes to Bruce Irti in honor of his 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 45<sup>th</sup> Ward, Alderperson James M. Gardiner would like to extend his personal tribute to Bruce Irti on this momentous occasion as recognition for being a stellar resident of the City of Chicago; now, therefore,

*Be It Resolved*, That we, the Mayor and the members of the City Council of the City of Chicago, gathered here this 17<sup>th</sup> day of July 2024, do hereby congratulate Bruce Irti on the occasion of his birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be prepared and presented to Bruce Irti.

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*CONGRATULATIONS EXTENDED TO DAVID JOHNSON ON 65<sup>TH</sup> BIRTHDAY.*  
[R2024-0010628]

WHEREAS, The members of the Chicago City Council wish to extend our congratulations and warmest birthday wishes to David Johnson in honor of his 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 45<sup>th</sup> Ward, Alderperson James M. Gardiner would like to extend his personal tribute to David Johnson on this momentous occasion as recognition for being a stellar resident of the City of Chicago; now, therefore,

*Be It Resolved*, That we, the Mayor and the members of the City Council of the City of Chicago, gathered here this 17<sup>th</sup> day of July 2024, do hereby congratulate David Johnson on the occasion of his birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be prepared and presented to David Johnson.

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*CONGRATULATIONS EXTENDED TO MARCY KELLER ON 85<sup>TH</sup> BIRTHDAY.*  
[R2024-0010618]

WHEREAS, The members of the Chicago City Council wish to extend our congratulations and warmest birthday wishes to Marcy Keller in honor of her 85<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 45<sup>th</sup> Ward, Alderperson James M. Gardiner would like to extend his personal tribute to Marcy Keller on this momentous occasion as recognition for being a stellar resident of the City of Chicago; now, therefore,

*Be It Resolved*, That we, the Mayor and the members of the City Council of the City of Chicago, gathered here this 17<sup>th</sup> day of July 2024, do hereby congratulate Marcy Keller on the occasion of her birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be prepared and presented to Marcy Keller.

*CONGRATULATIONS EXTENDED TO MARY BETH LACY ON 70<sup>TH</sup> BIRTHDAY.*  
[R2024-0010613]

WHEREAS, The members of the Chicago City Council wish to extend our congratulations and warmest birthday wishes to Mary Beth Lacy in honor of her 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 45<sup>th</sup> Ward, Alderperson James M. Gardiner would like to extend his personal tribute to Mary Beth Lacy on this momentous occasion as recognition for being a stellar resident of the City of Chicago; now, therefore,

*Be It Resolved*, That we, the Mayor and the members of the City Council of the City of Chicago, gathered here this 17<sup>th</sup> day of July 2024, do hereby congratulate Mary Beth Lacy on the occasion of her birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be prepared and presented to Mary Beth Lacy.

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*CONGRATULATIONS EXTENDED TO JOHN LUNA ON 65<sup>TH</sup> BIRTHDAY.*  
[R2024-0010625]

WHEREAS, The members of the Chicago City Council wish to extend our congratulations and warmest birthday wishes to John Luna in honor of his 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 45<sup>th</sup> Ward, Alderperson James M. Gardiner would like to extend his personal tribute to John Luna on this momentous occasion as recognition for being a stellar resident of the City of Chicago; now, therefore,

*Be It Resolved*, That we, the Mayor and the members of the City Council of the City of Chicago, gathered here this 17<sup>th</sup> day of July 2024, do hereby congratulate John Luna on the occasion of his birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be prepared and presented to John Luna.

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*CONGRATULATIONS EXTENDED TO MAUREEN PASZKIET ON 80<sup>TH</sup> BIRTHDAY.*  
[R2024-0010611]

WHEREAS, The members of the Chicago City Council wish to extend our congratulations and warmest birthday wishes to Maureen Paszkiet in honor of her 80<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 45<sup>th</sup> Ward, Alderperson James M. Gardiner would like to extend his personal tribute to Maureen Paszkiet on this momentous occasion as recognition for being a stellar resident of the City of Chicago; now, therefore,

*Be It Resolved*, That we, the Mayor and the members of the City Council of the City of Chicago, gathered here this 17<sup>th</sup> day of July 2024, do hereby congratulate Maureen Paszkiet on the occasion of her birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be prepared and presented to Maureen Paszkiet.

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*CONGRATULATIONS EXTENDED TO NILESH SAHA ON 65<sup>TH</sup> BIRTHDAY.*  
[R2024-0010633]

WHEREAS, The members of the Chicago City Council wish to extend our congratulations and warmest birthday wishes to Nilesh Saha in honor of his 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 45<sup>th</sup> Ward, Alderperson James M. Gardiner would like to extend his personal tribute to Nilesh Saha on this momentous occasion as recognition for being a stellar resident of the City of Chicago; now, therefore,

*Be It Resolved*, That we, the Mayor and the members of the City Council of the City of Chicago, gathered here this 17<sup>th</sup> day of July 2024, do hereby congratulate Nilesh Saha on the occasion of his birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be prepared and presented to Nilesh Saha.

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*CONGRATULATIONS EXTENDED TO ANNAMARIE SOBUN ON 70<sup>TH</sup> BIRTHDAY.*  
[R2024-0010614]

WHEREAS, The members of the Chicago City Council wish to extend our congratulations and warmest birthday wishes to Annamarie Sobun in honor of her 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 45<sup>th</sup> Ward, Alderperson James M. Gardiner would like to extend his personal tribute to Annamarie Sobun on this momentous occasion as recognition for being a stellar resident of the City of Chicago; now, therefore,

*Be It Resolved*, That we, the Mayor and the members of the City Council of the City of Chicago, gathered here this 17<sup>th</sup> day of July 2024, do hereby congratulate Annamarie Sobun on the occasion of her birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be prepared and presented to Annamarie Sobun.

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*CONGRATULATIONS EXTENDED TO JOAQUIN SOSA ON 65<sup>TH</sup> BIRTHDAY.*  
[R2024-0010610]

WHEREAS, The members of the Chicago City Council wish to extend our congratulations and warmest birthday wishes to Joaquin Sosa in honor of his 65<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 45<sup>th</sup> Ward, Alderperson James M. Gardiner would like to extend his personal tribute to Joaquin Sosa on this momentous occasion as recognition for being a stellar resident of the City of Chicago; now, therefore,

*Be It Resolved*, That we, the Mayor and the members of the City Council of the City of Chicago, gathered here this 17<sup>th</sup> day of July 2024, do hereby congratulate Joaquin Sosa on the occasion of his birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be prepared and presented to Joaquin Sosa.

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*CONGRATULATIONS EXTENDED TO HENRYK TEKIEEN ON 70<sup>TH</sup> BIRTHDAY.*  
[R2024-0010623]

WHEREAS, The members of the Chicago City Council wish to extend our congratulations and warmest birthday wishes to Henryk Tekien in honor of his 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 45<sup>th</sup> Ward, Alderperson James M. Gardiner would like to extend his personal tribute to Henryk Tekien on this momentous occasion as recognition for being a stellar resident of the City of Chicago; now, therefore,

*Be It Resolved*, That we, the Mayor and the members of the City Council of the City of Chicago, gathered here this 17<sup>th</sup> day of July 2024, do hereby congratulate Henryk Tekien on the occasion of his birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be prepared and presented to Henryk Tekien.

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*CONGRATULATIONS EXTENDED TO FRANCES TRYBA ON 80<sup>TH</sup> BIRTHDAY.*  
[R2024-0010847]

WHEREAS, The members of the Chicago City Council wish to extend our congratulations and warmest birthday wishes to Frances Tryba in honor of her 80<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 45<sup>th</sup> Ward, Alderperson James M. Gardiner would like to extend his personal tribute to Frances Tryba on this momentous occasion as recognition for being a stellar resident of the City of Chicago; now, therefore,

*Be It Resolved*, That we, the Mayor and the members of the City Council of the City of Chicago, gathered here this 17<sup>th</sup> day of July 2024, do hereby congratulate Frances Tryba on the occasion of her birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be prepared and presented to Frances Tryba.

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*CONGRATULATIONS EXTENDED TO JIM TULLY ON 90<sup>TH</sup> BIRTHDAY.*  
[R2024-0010609]

WHEREAS, The members of the Chicago City Council wish to extend our congratulations and warmest birthday wishes to Jim Tully in honor of his 90<sup>th</sup> birthday; and

WHEREAS, Jim Tully is a retired Chicago fireman, and during his career he upheld the finest traditions of the Chicago Fire Department; and

WHEREAS, On behalf of the entire 45<sup>th</sup> Ward, Alderperson James M. Gardiner would like to extend his personal tribute to Jim Tully on this momentous occasion as recognition for being a stellar resident of the City of Chicago; now, therefore,

*Be It Resolved*, That we, the Mayor and the members of the City Council of the City of Chicago, gathered here this 17<sup>th</sup> day of July 2024, do hereby congratulate Jim Tully on the occasion of his birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be prepared and presented to Jim Tully.

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**CONGRATULATIONS EXTENDED TO CRAIG WIRE ON 70<sup>TH</sup> BIRTHDAY.**

[R2024-0010846]

WHEREAS, The members of the Chicago City Council wish to extend our congratulations and warmest birthday wishes to Craig Wire in honor of his 70<sup>th</sup> birthday; and

WHEREAS, On behalf of the entire 45<sup>th</sup> Ward, Alderperson James M. Gardiner would like to extend his personal tribute to Craig Wire on this momentous occasion as recognition for being a stellar resident of the City of Chicago; now, therefore,

*Be It Resolved*, That we, the Mayor and the members of the City Council of the City of Chicago, gathered here this 17<sup>th</sup> day of July 2024, do hereby congratulate Craig Wire on the occasion of his birthday; and

*Be It Further Resolved*, That a suitable copy of this resolution be prepared and presented to Craig Wire.

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*Presented By*

**ALDERPERSON CLAY (46<sup>th</sup> Ward):**

**DECLARATION OF JULY 19, 2024 AS "GODPARENTS' DAY" IN CHICAGO.**

[R2024-0010589]

WHEREAS, The bond between godparents, children and parents is an important social relationship that plays a vital role in the community-village concept of raising our children; and

WHEREAS, The role of a godparent is a longstanding, rich tradition practiced by diverse communities of faiths, nationalities and countries throughout the world; and

WHEREAS, Godparent relationships extend the support network for children, parents and families, creating mutual commitments and shared responsibilities to stabilize and strengthen the family backbone of our communities; and

WHEREAS, Godparents promise to foster child health, development and spiritual growth, encouraging character, values and decision-making skills amongst our youth that contribute to community focus and good citizenship; and

WHEREAS, By recognizing the commitment of godparents to children, parents, families and communities, our city encourages and meaningfully supports healthy extended families and child development; now, therefore,

*Be It Resolved*, That we, the Mayor and members of City Council of the City of Chicago, assembled this July 17, 2024, do hereby join with families, communities and faith-based leaders in recognition of godparents; and

*Be It Further Resolved*, We declare Friday, July 19, 2024 "Godparents' Day" in the City of Chicago; and

*Be It Further Resolved*, That the city will continue to foster greater awareness of the vital role of godparents among Chicagoans, and hereby affirms to promote activities and programs that recognize the role of godparents in the lives of children, parents, families and communities.

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*Presented By*

**ALDERPERSON MANAA-HOPPENWORTH (48<sup>th</sup> Ward),  
ALDERPERSON VASQUEZ (40<sup>th</sup> Ward) And  
ALDERPERSON HADDEN (49<sup>th</sup> Ward):**

CONGRATULATIONS EXTENDED TO CENTRO ROMERO ON  
40<sup>TH</sup> ANNIVERSARY.

[R2024-0010875]

WHEREAS, Centro Romero has been a community-based organization serving refugees, asylum seekers and immigrants on the North Side of Chicago for 40 years; and

WHEREAS, Centro Romero provides interrelated programs, including Legal Immigration Services, Adult Education, Youth Learning and Leadership Program, Women's and Domestic Violence Prevention, and Public Benefits Access; and

WHEREAS, In the calendar year 2023, Centro Romero's staff of 60, with the help of 241 volunteers, provided 5,920 service hours and empowered 34,644 clients across three programs, including 24,041 persons educated in community education activities; and

WHEREAS, Centro Romero provides a trusted bridge between new arrivals and mainstream American society, improving the opportunity for upward mobility; and

WHEREAS, Centro Romero is named for Archbishop Oscar Romero, a fearless human rights activist from El Salvador, known as “the Voice of the Voiceless”, who was nominated for a Nobel Peace Prize; and

WHEREAS, Centro Romero, in its dedication to community service, has significantly impacted the lives of many through its youth program, assisting over 115 youngsters and teens with academic support, tutoring, recreational activities and museum field trips. In addition, 70 children and adults attended special events, and 131 parents benefited from monthly educational workshops; and

WHEREAS, In 2024 alone, Centro Romero has supported nearly 2,000 new arrivals, with a total of close to 6,700 newly arrived migrants assisted since buses began arriving in Chicago; and

WHEREAS, Since 2018, in collaboration with City Clerk Anna Valencia's office, Centro Romero has issued over 27,000 City Key IDs, providing essential photo identification to those in need, helping them navigate the complexities of life in a new country; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the Chicago City Council, assembled here on this 17<sup>th</sup> day of July 2024, do hereby honor and congratulate Centro Romero on 40 years of service; and

*Be It Further Resolved*, That a suitable copy of this resolution be prepared and presented to Centro Romero as a symbol of our esteem and respect.

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*Presented By*

**ALDERPERSON HADDEN (49<sup>th</sup> Ward):**

**TRIBUTE TO LATE IDALYN B. GARRICK WEIL.**

[R2024-0010360]

WHEREAS, The City of Chicago mourns the loss of our cherished Rogers Park community member, Idalyn “Lyn” B. Garrick Weil, who passed away on May 8, 2024 at the age of 80; and

WHEREAS, Ms. Idalyn "Lyn" Garrick was born on December 9, 1944, the beloved daughter of David and Faye (nee Rabinovitz), both of whom predeceased her; and

WHEREAS, Lyn is survived by her brother, Marshall (Karen), and niece, Rachell, who will remember and cherish her memory; and

WHEREAS, Lyn graduated from Sullivan High School in Rogers Park, and later dedicated her career to serving at the Chicago Public Library at the Rogers Park Branch, where she made meaningful connections to the community she served; and

WHEREAS, Lyn was known for her exceptional kindness and warm personality, always remembering patrons' interests and informing them of new arrivals that matched their tastes, making each interaction special and memorable; and

WHEREAS, Lyn had a remarkable ability to connect with people, always asking about their loved ones and making time and effort for genuine conversation, fostering a sense of friendship and community within the library; and

WHEREAS, Lyn was an active member of the Jewish community throughout her life, serving as the Sachar BBG president during her teen years and later becoming a devoted member of Beth Emet Synagogue in Evanston; and

WHEREAS, Lyn's dedication, compassion and vibrant spirit touched the lives of many she met and left an indelible mark on the community she loved and served; now, therefore,

*Be It Resolved*, That we, the Mayor and members of the City Council of the City of Chicago, gathered here this 17<sup>th</sup> of July 2024, do at this moment extend our deepest condolences to the family and friends of Idalyn B. Garrick Weil, and honor her memory and contributions to our community; and

*Be It Further Resolved*, That a copy of this resolution be presented to her family as a symbol of our respect and sympathy.

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CONGRATULATIONS EXTENDED TO ROBERT KOEHLER ON  
25<sup>TH</sup> ANNIVERSARY AS JOURNALIST.

[R2024-0010337]

WHEREAS, We, the members of the Chicago City Council, wish to extend our congratulations and honor to Robert Koehler on his 25<sup>th</sup> year of notable journalism; and

WHEREAS, Robert Koehler was born in Detroit, Michigan in 1946 and raised in Dearborn, Michigan; he later moved to attend Western Michigan University in Kalamazoo and relocated to Chicago to pursue a career as a writer upon graduating; and

WHEREAS, Robert Koehler began his journalism career at Lerner Newspaper in Chicago, where he worked for 12 years covering a wide variety of topics and discovering his true calling in journalism; and

WHEREAS, For the last four decades, Robert Koehler has written a nationally syndicated column about politics and current events from a peace and spiritual perspective; and

WHEREAS, His columns have *appeared* in several newspapers, such as *San Francisco Chronicle*, *Chicago Tribune*, *The Atlanta Journal-Constitution* and *Detroit Free Press* and has been featured on online platforms, including the OpEd News, TruthOut, Huffington Post and Common Dreams; and

WHEREAS, Robert Koehler has worked for the Chicago Public Schools system and at DePaul University, teaching and exploring the idea that everyone has a valuable perspective to offer; and

WHEREAS, Robert Koehler has contributed to journalism, addressing pressing issues like war, climate change, nuclear disarmament and gun violence; and

WHEREAS, His writing focuses on fostering sensible discussions and advocating for restorative justice and has passionately promoted the concept of peace circles as a means to cultivate equality and facilitate healing; and

WHEREAS, He has received multiple awards for his contributions to writing and journalism from renowned organizations such as the National Newspaper Association, Suburban Newspapers of America and the Chicago Headline Club; now, therefore,

*Be It Resolved*, That we, the Mayor and the members of the City Council of the City of Chicago, gathered here in assembly this 17<sup>th</sup> day of July 2024, do hereby honor Robert Koehler for his exceptional contributions to journalism and education, and his unwavering commitment to promoting peace and justice through his writing and teaching; and

*Be It Further Resolved*, That a suitable copy of this resolution be prepared and presented to Robert Koehler.

**MATTERS PRESENTED BY THE ALDERPERSONS.**

**(Presented By Wards, In Order, Beginning  
With The 50<sup>th</sup> Ward)**

Arranged under the following subheadings:

1. Traffic Regulations, Traffic Signs and Traffic-Control Devices.
2. Zoning Ordinance Amendments.
3. Unclassified Matters (arranged in order according to ward numbers).

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**1. TRAFFIC REGULATIONS, TRAFFIC SIGNS  
AND TRAFFIC-CONTROL DEVICES.**

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*Referred* -- ESTABLISHMENT OF 15-MINUTE LOADING ZONE AT 1050 -- 1052 W.  
ARGYLE ST.

[O2024-0010606]

Aldersperson Manaa-Hoppenworth (48<sup>th</sup> Ward) presented a proposed ordinance to establish a 15-minute loading zone at 1050 -- 1052 West Argyle Street, to be in effect from 7:00 A.M. to 9:00 A.M. and 3:00 P.M. to 6:00 P.M., Mondays through Fridays, excluding holidays, which was *Referred to the Committee on Pedestrian and Traffic Safety*.

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*Referred* -- REMOVAL OF LOADING ZONE AT 500 N. LA SALLE DR.

[O2024-0011072]

Aldersperson Reilly (42<sup>nd</sup> Ward) presented a proposed ordinance for the removal of a commercial loading zone at 500 North LaSalle Drive, which was *Referred to the Committee on Pedestrian and Traffic Safety*.

*Referred* -- ESTABLISHMENT OF ONE-WAY VEHICULAR TRAFFIC MOVEMENT.

The alderpersons named below presented proposed ordinances to restrict the movement of traffic to a single direction on portions of specified public ways, which were *Referred to the Committee on Pedestrian and Traffic Safety*, as follows:

Aldersperson	Location And Distance
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**LOPEZ**  
(15<sup>th</sup> Ward)

West 44<sup>th</sup> Street, from South Normal Avenue to South Canal Street -- single direction, easterly;

[O2024-0010411]

**VASQUEZ**  
(40<sup>th</sup> Ward)

Amend traffic direction on North Bell Avenue, from North Bowmanville Avenue to West Berwyn Avenue, by striking: "two-way, northerly and southerly" and inserting: "single direction, northerly" in lieu thereof.

[O2024-0010510]

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*Referred* -- REPEAL OF ONE-WAY VEHICULAR TRAFFIC MOVEMENT.

[O2024-0010382]

Aldersperson Lawson (44<sup>th</sup> Ward) presented a proposed ordinance to amend a previously passed ordinance which restricted the movement of traffic to a single direction by striking: "North Seminary Avenue, from 1100 West Cornelia Avenue to 1100 West Eddy Street -- single direction, northerly" and inserting: "North Seminary Avenue, from 1100 West Cornelia Avenue to 1100 West Eddy Street -- two-way, northerly and southerly" in lieu thereof, which was *Referred to the Committee on Pedestrian and Traffic Safety*

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*Referred* -- ESTABLISHMENT OF NO STANDING ZONE ON PORTION OF S. LASALLE ST.

[O2024-0011071]

Aldersperson Reilly (42<sup>nd</sup> Ward) presented a proposed ordinance to establish a no stopping no standing zone on the west side of South LaSalle Street, from a point 30 feet south of West Adams Street to a point 40 feet south thereof, which was *Referred to the Committee on Pedestrian and Traffic Safety*.

*Referred -- PROHIBITION OF PARKING AT ALL TIMES.  
(Except For Disabled)*

The alderpersons named below presented proposed ordinances to prohibit the parking of vehicles at all times at the locations designated and for the distances specified, which were *Referred to the Committee on Pedestrian and Traffic Safety*, as follows:

Aldersperson	Location And Permit Number
<i>DOWELL</i> (3 <sup>rd</sup> Ward)	East 44 <sup>th</sup> Street, at 425 (Handicapped Parking Permit 133623); [O2024-0010883]
	East 50 <sup>th</sup> Street, at 342 (Handicapped Parking Permit 134227); [O2024-0010388]
<i>MITCHELL</i> (7 <sup>th</sup> Ward)	South Crandon Avenue, at 10335 (Handicapped Parking Permit 133783); [O2024-0011066]
<i>HARRIS</i> (8 <sup>th</sup> Ward)	South Dante Avenue, at 8435 (Handicapped Parking Permit 133882); [O2024-0011069]
	South Kenwood Avenue, at 8030 (Handicapped Parking Permit 133721); [O2024-0010379]
<i>CHICO</i> (10 <sup>th</sup> Ward)	South Avenue O, at 10832 (Handicapped Parking Permit 133778); [O2024-0010472]
<i>LEE</i> (11 <sup>th</sup> Ward)	South Quinn Street, at 2807 (Handicapped Parking Permit 133809); [O2024-0010593]
	West 25 <sup>th</sup> Place, at 256 (Handicapped Parking Permit 134509); [O2024-0010590]

7/17/2024

NEW BUSINESS PRESENTED BY ALDERPERSONS

15437

Aldersperson

Location And Permit Number

West 25<sup>th</sup> Street, at 1133 (Handicapped Parking Permit 133666);  
[O2024-0010595]

West 34<sup>th</sup> Place, at 1813 (Handicapped Parking Permit 133099);  
[O2024-0010596]

*RAMIREZ*  
(12<sup>th</sup> Ward)

South Albany Avenue, at 3855 (Handicapped Parking Permit 128680);  
[O2024-0010644]

South Richmond Street, at 4248 (Handicapped Parking  
Permit 133704);  
[O2024-0011079]

South Rockwell Street, at 4355 (Handicapped Parking Permit 132997);  
[O2024-0010812]

South Washtenaw Avenue, at 4606 (Handicapped Parking  
Permit 131772);  
[O2024-0010312]

South Wolcott Avenue, at 3706 (Handicapped Parking  
Permit 1330203);  
[O2024-0010385]

West 36<sup>th</sup> Street, at 3031 (Handicapped Parking Permit 0000125799);  
[O2024-0010533]

West 46<sup>th</sup> Street, at 3010 (Handicapped Parking Permit 133602);  
[O2024-0010314]

*QUINN*  
(13<sup>th</sup> Ward)

South Natchez Avenue, at 5831 (Handicapped Parking  
Permit 133648);  
[O2024-0010402]

South Parkside Avenue, at 5831 (Handicapped Parking  
Permit 133757);  
[O2024-0010403]

## Aldersperson

## Location And Permit Number

*LOPEZ*  
(15<sup>th</sup> Ward)

South Sacramento Avenue, at 6639 (Handicapped Parking Permit 132396);

[O2024-0010889]

South Union Avenue, at 4543 (Handicapped Parking Permit 133265);

[O2024-0010352]

South Whipple Street, at 5933 (Handicapped Parking Permit 132830);

[O2024-0010879]

*MOORE*  
(17<sup>th</sup> Ward)

South Ada Street, at 8605 (Handicapped Parking Permit 132011);

[O2024-0010373]

South Bishop Street, at 7612 (Handicapped Parking Permit 133488);

[O2024-0010367]

South Bishop Street, at 7619 (Handicapped Parking Permit 132188);

[O2024-0010394]

South Carpenter Street, at 7714 (Handicapped Parking Permit 133650);

[O2024-0010413]

South Carpenter Street, at 8327 (Handicapped Parking Permit 132497);

[O2024-0010393]

South Carpenter Street, at 8532 (Handicapped Parking Permit 133356);

[O2024-0010364]

South Green Street, at 7341 (Handicapped Parking Permit 130512);

[O2024-0010397]

South Laflin Street, at 6805 (Handicapped Parking Permit 132621);

[O2024-0010396]

South Laflin Street, at 7819 (Handicapped Parking Permit 130997);

[O2024-0010389]

7/17/2024

NEW BUSINESS PRESENTED BY ALDERPERSONS

15439

Aldersperson

Location And Permit Number

South May Street, at 8012 (Handicapped Parking Permit 132326);  
[O2024-0010370]

South May Street, at 8548 (Handicapped Parking Permit 133299);  
[O2024-0010366]

South May Street, at 8615 (Handicapped Parking Permit 132220);  
[O2024-0010369]

South Oakley Avenue, at 7018 (Handicapped Parking Permit 132911);  
[O2024-0010391]

South Paulina Street, at 7310 (Handicapped Parking Permit 132484);  
[O2024-0010386]

South Peoria Street, at 7618 (Handicapped Parking Permit 132037);  
[O2024-0010371]

South Union Avenue, at 7621 (Handicapped Parking Permit 132064);  
[O2024-0010392]

South Wolcott Avenue, at 7215 (Handicapped Parking Permit 132862);  
[O2024-0010395]

West 69<sup>th</sup> Place, at 2052 (Handicapped Parking Permit 132269);  
[O2024-0010368]

West 78<sup>th</sup> Street, at 519 (Handicapped Parking Permit 133830);  
[O2024-0010414]

*CURTIS*  
(18<sup>th</sup> Ward)

South Seeley Avenue, at 8340 (Handicapped Parking Permit 133161);  
[O2024-0010909]

South Washtenaw Avenue, at 7930 (Handicapped Parking  
Permit 133676);  
[O2024-0010911]

West 83<sup>rd</sup> Place, at 3829 (Handicapped Parking Permit 133267);  
[O2024-0010912]

## Aldersperson

## Location And Permit Number

*O'SHEA*  
(19<sup>th</sup> Ward)

South Artesian Avenue, at 11427 (Handicapped Parking Permit 133536);

[O2024-0011057]

South Maplewood Avenue, at 10812 (handicapped permit parking);

[O2024-0011081]

South Talman Avenue, at 10811 (Handicapped Parking Permit 132946);

[O2024-0011056]

South Trumbull Avenue, at 10755 (handicapped permit parking);

[O2024-0011083]

West 105<sup>th</sup> Street, at 1815 (handicapped permit parking);

[O2024-0011082]

*MOSLEY*  
(21<sup>st</sup> Ward)

South Marshfield Avenue, at 9012 (Handicapped Parking Permit 133759);

[O2024-0011077]

South Union Avenue, at 9914 (Handicapped Parking Permit 133098);

[O2024-0011078]

West 91<sup>st</sup> Street, at 1716 (Handicapped Parking Permit 133780);

[O2024-0011076]

West 97<sup>th</sup> Place, at 1217 (Handicapped Parking Permit 133386);

[O2024-0011074]

West 106<sup>th</sup> Street, at 347 (Handicapped Parking Permit 133758);

[O2024-0011075]

*RODRÍGUEZ*  
(22<sup>nd</sup> Ward)

South Central Park Avenue, at 2739 (Handicapped Parking Permit 131941);

[O2024-0011065]

South Hamlin Avenue, at 3253 (Handicapped Parking Permit 133320);

[O2024-0011063]

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NEW BUSINESS PRESENTED BY ALDERPERSONS

15441

Aldersperson

Location And Permit Number

South Millard Avenue, at 2631 (Handicapped Parking Permit 133727);  
[O2024-0011064]

*TABARES*  
(23<sup>rd</sup> Ward)

South Kostner Avenue, at 6725 (Handicapped Parking Permit 132725);  
[O2024-0010643]

South Melvina Avenue, at 5136 (Handicapped Parking Permit 134371);  
[O2024-0010292]

West 60<sup>th</sup> Place, at 3709 (Handicapped Parking Permit 133582);  
[O2024-0010638]

*SCOTT*  
(24<sup>th</sup> Ward)

South Drake Avenue, at 2132 (Handicapped Parking Permit 133363);  
[O2024-0010199]

*FUENTES*  
(26<sup>th</sup> Ward)

West Wabansia Avenue, at 3103 (Handicapped Parking  
Permit 133766);  
[O2024-0010381]

*BURNETT*  
(27<sup>th</sup> Ward)

West Huron Street, at 3806 (Handicapped Parking Permit 104842);  
[O2024-0010921]

West Warren Boulevard, at 2832 (Handicapped Parking  
Permit 134023);  
[O2024-0010354]

*ERVIN*  
(28<sup>th</sup> Ward)

West Grenshaw Street, at 2337 (Handicapped Parking Permit 133625);  
[O2024-0010876]

North Lamon Avenue, at 221 (Handicapped Parking Permit 133715);  
[O2024-0010877]

West Maypole Avenue, at 4114 (handicapped permit parking);  
[O2024-0010881]

## Aldersperson

## Location And Permit Number

West Quincy Street, at 4901 (handicapped permit parking);  
[O2024-0010878]

West Washington Boulevard, at 4413 (handicapped permit parking);  
[O2024-0010880]

*RAMIREZ-ROSA*(35<sup>th</sup> Ward)

West Diversey Avenue, at 3220 (Handicapped Parking Permit 133323);  
[O2024-0011062]

North Drake Avenue, at 2622 (Handicapped Parking Permit 131184);  
[O2024-0011060]

*VILLEGAS*(36<sup>th</sup> Ward)

North Narragansett Avenue, at 3519 (Handicapped Parking  
Permit 131840);  
[O2024-0010862]

West Walton Street, at 2138 (Handicapped Parking Permit 101985);  
[O2024-0010866]

*MITTS*(37<sup>th</sup> Ward)

North Lotus Avenue, at 1653 (Handicapped Parking Permit 133479);  
[O2024-0010598]

West Ohio Street, at 4941 (Handicapped Parking Permit 133427);  
[O2024-0010602]

*SILVERSTEIN*(50<sup>th</sup> Ward)

North Albany Avenue, at 6418 (Handicapped Parking Permit 133556);  
[O2024-0010427]

West Greenleaf Avenue, at 2759 (Handicapped Parking  
Permit 133360);  
[O2024-0010425]

North Monticello Avenue, at 6223 (Handicapped Parking  
Permit 133668);  
[O2024-0010426]

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NEW BUSINESS PRESENTED BY ALDERPERSONS

15443

Aldersperson

Location And Permit Number

North Richmond Street, at 6153 (Handicapped Parking Permit 133541);  
[O2024-0010635]

North Rockwell Street, at 6301 (Handicapped Parking Permit 13370).  
[O2024-0010636]

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*Referred --* AMENDMENT OF PARKING PROHIBITION AT ALL TIMES.  
(Disabled Permit Parking)

The alderspersons named below presented proposed ordinances to amend previously passed ordinances which prohibited the parking of vehicles at all times on portions of specified public ways, which were *Referred to the Committee on Pedestrian and Traffic Safety*, as follows:

Aldersperson

Location And Permit Number

*LA SPATA*  
(1<sup>st</sup> Ward)

Amend ordinance by striking: "North Bingham Street, at 2050  
(Handicapped Parking Permit 133956)";  
[O2024-0010380]

*RAMIREZ*  
(12<sup>th</sup> Ward)

Repeal ordinance which reads: "South Brighton Place, at 4018  
(Handicapped Parking Permit 37069)";  
[O2024-0010582]

Amend ordinance by striking: "South Hoyne Avenue, at 3525  
(Handicapped Parking Permit 64617)";  
[O2024-0010375]

*QUINN*  
(13<sup>th</sup> Ward)

Amend ordinance by striking: "South Austin Avenue, at 6350  
(Handicapped Parking Permit 129086)";  
[O2024-0010406]

Aldersperson

Location And Permit Number

Amend ordinance by striking: "South Mason Avenue, at 5521  
(Handicapped Parking Permit 110032)";  
[O2024-0010410]

Amend ordinance by striking: "South Mason Avenue, at 6037  
(Handicapped Parking Permit 126813)";  
[O2024-0010408]

Amend ordinance by striking: "South Rutherford Avenue, at 5708  
(Handicapped Parking Permit 131518)";  
[O2024-0010407]

Amend ordinance by striking: "West 63<sup>rd</sup> Street, at 4135 (Handicapped  
Parking Permit 126683)";  
[O2024-0010405]

Amend ordinance by striking: "West 64<sup>th</sup> Place, at 5720 (Handicapped  
Parking Permit 120696)";  
[O2024-0010404]

*TABARES*  
(23<sup>rd</sup> Ward)

Amend ordinance by striking: "South Kenneth Avenue, at 6818  
(Handicapped Parking Permit 127059)";  
[O2024-0010456]

Amend ordinance by striking: "South Lawndale Avenue, at 7139  
(Handicapped Parking Permit 126474)";  
[O2024-0010272]

Amend ordinance by striking: "South Linder Avenue, at 5405  
(Handicapped Parking Permit 104715)";  
[O2024-0010295]

Amend ordinance by striking: "South Massasoit Avenue, at 5143  
(Handicapped Parking Permit 124)";  
[O2024-0010293]

Amend ordinance by striking: "South Melvina Avenue, at 5144  
(Handicapped Parking Permit 73060)";  
[O2024-0010284]

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NEW BUSINESS PRESENTED BY ALDERPERSONS

15445

Aldersperson

Location And Permit Number

Amend ordinance by striking: "West 56<sup>th</sup> Place, at 3737 (Handicapped Parking Permit 127261)";

[O2024-0010792]

Amend ordinance by striking: "West 63<sup>rd</sup> Place, at 3936 (Handicapped Parking Permit 116104)";

[O2024-0010320]

Amend ordinance by striking: "West 65<sup>th</sup> Street, at 3535 (Handicapped Parking Permit 52563)";

[O2024-0010294]

Amend ordinance by striking: "West 68<sup>th</sup> Street, at 3811 (Handicapped Parking Permit 113986)";

[O2024-0010319]

Amend ordinance by striking: "West 69<sup>th</sup> Place, at 3814 (Handicapped Parking Permit 119960)";

[O2024-0010321]

*SIGCHO-LOPEZ*

(25<sup>th</sup> Ward)

Amend ordinance by striking: "South Racine Avenue, at 2014 (Handicapped Parking Permit 94499)";

[O2024-0010929]

*CARDONA*

(31<sup>st</sup> Ward)

Amend ordinance by striking: "North Lotus Avenue, at 2414 (Handicapped Parking Permit 14435)";

[O2024-0010409]

*RODRÍGUEZ-SÁNCHEZ*

(33<sup>rd</sup> Ward)

Amend ordinance by striking: "North Drake Avenue, at 4938 (Handicapped Parking Permit 109506)";

[O2024-0010390]

Amend ordinance by striking: "West Pensacola Avenue, at 3302 (Handicapped Parking Permit 122869)";

[O2024-0010580]

Aldersperson	Location And Permit Number
	Amend ordinance by striking: "West Pensacola Avenue, at 3370 (Handicapped Parking Permit 91907)"; [O2024-0010581]
<i>GARDINER</i> (45 <sup>th</sup> Ward)	Amend ordinance by striking: "West Montrose Avenue, at 5026 (Handicapped Parking Permit 129421)"; [O2024-0010852]
	Amend ordinance by striking: "West Montrose Avenue, at 5358 (Handicapped Parking Permit 127345)"; [O2024-0010850]
<i>SILVERSTEIN</i> (50 <sup>th</sup> Ward)	Amend ordinance by striking: "North Richmond Street, at 6414 (Handicapped Parking Permit 126020)". [O2024-0010634]

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*Referred -- ESTABLISHMENT OF RESIDENTIAL PERMIT PARKING ZONES.*

The alderpersons named below presented proposed ordinances and an order to establish residential permit parking zones at the locations designated and for the distances and times specified, which were *Referred to the Committee on Pedestrian and Traffic Safety*, as follows:

Aldersperson	Location, Distance And Time
<i>RAMIREZ</i> (12 <sup>th</sup> Ward)	West 38 <sup>th</sup> Street, at 2800 -- 2858 -- Residential Permit Parking Zone 282 -- at all times -- all days; [O2024-0010304]

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NEW BUSINESS PRESENTED BY ALDERPERSONS

15447

Aldersperson                      Location, Distance And Time

**TABARES**  
(23<sup>rd</sup> Ward)

South Lorel Avenue, at 5201 -- 5238 (both sides) from West 52<sup>nd</sup> Street to first alley north thereof -- residential permit parking;  
[Or2024-0010325]

**SIGCHO-LOPEZ**  
(25<sup>th</sup> Ward)

South Desplaines Street (west side) from West 16<sup>th</sup> Street to West 18<sup>th</sup> Street; South Desplaines Street (east side) from West 16<sup>th</sup> Street to 1617 South Desplaines Street; and from 1715 South Desplaines Street to West 18<sup>th</sup> Street -- residential permit parking -- at all times -- all days;  
[O2024-0010822]

**BURNETT**  
(27<sup>th</sup> Ward)

West Walnut Street, at 1652 -- 1654 (north side) -- residential permit parking -- at all times -- all days;  
[O2024-0010588]

**RODRÍGUEZ-SÁNCHEZ**  
(33<sup>rd</sup> Ward)

North Spaulding Avenue, at 4505 -- 4538 (both sides) -- residential permit parking -- at all times;  
[O2024-0011073]

**RAMIREZ-ROSA**  
(35<sup>th</sup> Ward)

North Ridgeway Avenue, at 3103 -- 3151 (east and west sides) -- Residential Permit Parking Zone 141 -- at all times -- all days.  
[O2024-0010864]

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*Referred* -- AMENDMENT OF RESIDENTIAL PERMIT PARKING ZONES.

The alderpersons named below presented proposed ordinances to amend previously passed ordinances which established residential permit parking zones at the locations designated and for the distances and times specified, which were *Referred to the Committee on Pedestrian and Traffic Safety*, as follows:

Aldersperson                      Location, Distance And Time

*LA SPATA*  
(1<sup>st</sup> Ward)

Amend Residential Permit Parking Zone 218 on North Humboldt Boulevard, at 2039 -- 2127 (east side) -- all days, by striking: "10:00 P.M. to 6:00 A.M." and inserting: "3:00 P.M. to 9:00 A.M." in lieu thereof;

[O2024-0011070]

*SIGCHO-LOPEZ*  
(25<sup>th</sup> Ward)

Amend Residential Permit Parking Zone 741 which reads: "West 17<sup>th</sup> Street, from 712 to 732 and 713 to 731 -- at all times -- all days" by striking: "712" and inserting: "706" in lieu thereof.

[O2024-0010832]

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*Referred -- EXTENSION OF RESIDENTIAL PERMIT PARKING ZONE 672.*

[Or2024-0011080]

Aldersperson Ramirez (12<sup>th</sup> Ward) presented a proposed order for the extension of Residential Permit Parking Zone 672 to include the east side of the 3500 block of South Wood Street, between West 35<sup>th</sup> Street to the alley south thereof (3501 -- 3511 South Wood Street), to be in effect at all times, on all days, which was *Referred to the Committee on Pedestrian and Traffic Safety.*

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*Referred -- INSTALLATION OF "NO PARKING/TOW-AWAY ZONE" SIGNS.*

The alderspersons named below presented proposed ordinances directing the Commissioner of Transportation to install "no parking/tow-away zone" signs at the locations specified, which were *Referred to the Committee on Pedestrian and Traffic Safety*, as follows:

Aldersperson            Location And Type Of Sign

*LEE*  
(11<sup>th</sup> Ward)

West 33<sup>rd</sup> Place (north side) from a point 20 feet west of South Ashland Avenue to the first alley west thereof -- no parking except Fire Department personnel only -- tow-away zone -- 5:00 A.M. to 12:00 P.M. -- all days;

[O2024-0011059]

*LOPEZ*  
(15<sup>th</sup> Ward)

West 55<sup>th</sup> Street (north side) from South Western Avenue to South Artesian Avenue -- no parking/tow-away zone -- at all times -- all days.

[O2024-0010886]

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*Referred* -- INSTALLATION OF TRAFFIC WARNING SIGNS.

The alderpersons named below presented proposed ordinances and orders directing the Commissioner of Transportation to install traffic signs of the nature indicated at the locations specified, which were *Referred to the Committee on Pedestrian and Traffic Safety*, as follows:

Aldersperson            Location And Type Of Sign

*MITCHELL*  
(7<sup>th</sup> Ward)

East 75<sup>th</sup> Street and South Kingston Avenue (west leg) -- "All-Way Stop";

[O2024-0011067]

East 86<sup>th</sup> Street and South Burnham Avenue -- "All-Way Stop";

[O2024-0011068]

*CHICO*  
(10<sup>th</sup> Ward)

South Avenue O and East 111<sup>th</sup> Street -- "All-Way Stop";

[O2024-0010830]

15450

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Aldersperson

Location And Type Of Sign

*TABARES*  
(23<sup>rd</sup> Ward)

West 60<sup>th</sup> Street and South Hamlin Avenue -- "All-Way Stop";  
[Or2024-0010322]

*BURNETT*  
(27<sup>th</sup> Ward)

North Clybourn Avenue, at 1513 -- "Stop";  
[O2024-0010412]

North Homan Avenue and West Iowa Street -- "All-Way Stop";  
[O2024-0010417]

North Spaulding Avenue and West Chicago Avenue -- "All-Way Stop";  
[O2024-0010498]

*CARDONA*  
(31<sup>st</sup> Ward)

North Laramie Avenue and West School Street -- "Stop";  
[Or2024-0010859]

*MITTS*  
(37<sup>th</sup> Ward)

North Kostner Avenue and West Potomac Avenue -- "All-Way Stop";  
[O2024-0010842]

North Lockwood Avenue and West Washington Boulevard -- "All-Way  
Stop";  
[O2024-0010637]

*GARDINER*  
(45<sup>th</sup> Ward)

North Lightfoot Avenue and North Leoti Avenue -- "All-Way Stop";  
[O2024-0010854]

North Rogers Avenue and North Larned Avenue -- "Stop";  
[O2024-0010853]

North Rogers Avenue and North Latrobe Avenue -- "Stop";  
[O2024-0010848]

North Waukesha Avenue and West Lunt Avenue -- "Stop";  
[O2024-0010858]

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NEW BUSINESS PRESENTED BY ALDERPERSONS

15451

Aldersperson

Location And Type Of Sign

*HADDEN*  
(49<sup>th</sup> Ward)

West North Shore Avenue and North Ravenswood Avenue -- "Stop";  
[O2024-0010345]

West Wallen Avenue and North Ravenswood Avenue -- "All-Way Stop".  
[O2024-0010341]

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*Referred -- INSTALLATION OF 5-TON VEHICLE WEIGHT LIMITATION SIGNS ON PORTION OF W. 35<sup>TH</sup> ST.*

[O2024-0010936]

Aldersperson Ramirez (12<sup>th</sup> Ward) presented a proposed ordinance directing the Commissioner of the Department of Transportation to install 5-ton vehicle weight limitation signs on West 35<sup>th</sup> Street, from South Western Avenue to South Ashland Avenue, which was *Referred to the Committee on Pedestrian and Traffic Safety.*

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## 2. ZONING ORDINANCE AMENDMENTS.

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*Referred -- ZONING RECLASSIFICATIONS OF PARTICULAR AREAS.*

The alderpersons named below presented proposed ordinances amending the Chicago Zoning Ordinance for the purpose of reclassifying particular areas, which were *Referred to the Committee on Zoning, Landmarks and Building Standards*, as follows:

*BY ALDERPERSON LA SPATA (1<sup>st</sup> Ward):*

To classify as a B2-3 Neighborhood Mixed-Use District instead of an RS3 Residential Single-Unit (Detached House) District the area shown on Map Number 7-1 bounded by:

North Talman Avenue, starting at the intersection of North Talman Avenue and the alley immediately north of and parallel to West Logan Boulevard and perpendicular to

North Talman Avenue; a line approximately 125.86 feet east thereof, to the alley immediately east of and parallel to North Talman Avenue; a line approximately 75 feet north thereof; a line approximately 125.86 feet west thereof, returning to North Talman Avenue; and a line approximately 75 feet south thereof, returning to the intersection of North Talman Avenue and the alley immediately north of and parallel to West Logan Boulevard (common address: 2625 North Talman Avenue).

[O2024-0010871]

*BY ALDERPERSON BEALE (9<sup>th</sup> Ward):*

To classify as an RS2 Residential Single-Unit (Detached House) District instead of a B3-1 Community Shopping District the area shown on Map Number 22-F bounded by:

the alley immediately north of and parallel to West 95<sup>th</sup> Street; South Lafayette Avenue; West 95<sup>th</sup> Street; and South Perry Avenue (common address: 34 -- 40 West 95<sup>th</sup> Street).

[O2024-0010624]

*BY ALDERPERSON CRUZ (30<sup>th</sup> Ward):*

To classify as a B3-1 Community Shopping District instead of B3-3 Community Shopping District the area shown on Map Number 7-M bounded by:

West Diversey Avenue; North Meade Avenue; the alley next south of and parallel to West Diversey Avenue; and a line 57.36 feet west of and parallel to North Meade Avenue (common address: 6101 -- 6107 West Diversey Avenue).

[O2024-0010488]

*BY ALDERPERSON RODRÍGUEZ-SÁNCHEZ (33<sup>rd</sup> Ward):*

To classify as an M1-1 Limited Manufacturing/Business Park District instead of a B2-3 Neighborhood Mixed-Use District the area shown on Map Number 11-J bounded by:

North Kedzie Avenue; a line 50.0 feet north of and parallel to West Cullom Avenue; the public alley next west of and parallel to North Kedzie Avenue; and a line 225.0 feet north of and parallel to West Cullom Avenue (common address: 4310 North Kedzie Avenue).

[O2024-0010401]

*BY ALDERPERSON RAMIREZ-ROSA (35<sup>th</sup> Ward):*

To classify as a B3-3 Community Shopping District instead of a B3-1 Community Shopping District the area shown on Map Number 7-J bounded by:

North Milwaukee Avenue, a line 155 feet northwest of North Kimball Avenue, as measured along the southwesterly line of North Milwaukee Avenue and perpendicular thereto; a line 156 feet west of and parallel to North Kimball Avenue; West Diversey Avenue; a line 181 feet west of and parallel to North Kimball Avenue; and a line 180 feet northwest of North Kimball Avenue, as measured along the southwesterly line of North Milwaukee Avenue and perpendicular thereto (common address: 2814 North Milwaukee Avenue).

[O2024-0010522]

To classify as a B3-3 Community Shopping District instead of a B3-1 Community Shopping District the area shown on Map Number 7-J bounded by:

North Milwaukee Avenue; a line 180 feet northwest of North Kimball Avenue, as measured along the southwesterly line of North Milwaukee Avenue and perpendicular thereto; a line 181 feet west of and parallel to North Kimball Avenue; West Diversey Avenue; a line 231 feet west of and parallel to North Kimball Avenue; and a line 230 feet northwest of North Kimball Avenue, as measured along the southwesterly line of North Milwaukee Avenue and perpendicular thereto (common address: 2816 North Milwaukee Avenue/3424 West Diversey Avenue).

[O2024-0010530]

To classify as a B3-3 Community Shopping District instead of a B3-1 Community Shopping District the area shown on Map Number 7-J bounded by:

North Wilson Avenue; the alley next northeast of and parallel to North Milwaukee Avenue; a line 48 feet northwest of and parallel to North Dawson Avenue; and North Milwaukee Avenue (common address: 2847 -- 2864 North Milwaukee Avenue).

[O2024-0010527]

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### 3. UNCLASSIFIED MATTERS.

*(Arranged In Order According To Ward Number)*

Proposed ordinances, orders and resolutions were presented by the alderpersons named below, respectively, and were acted upon by the City Council in each case in the manner noted, as follows:

Presented By

**ALDERPERSON LA SPATA (1<sup>st</sup> Ward):**

*Referred* -- STANDARDIZATION OF PORTIONS OF PUBLIC WAY.

Two proposed ordinances authorizing the Commissioner of Transportation to take the necessary action for standardization of portions of the public way specified, which were *Referred to the Committee on Transportation and Public Way*, as follows:

2600 to 2700 North Washtenaw Avenue -- to be known as "Frank Lopez Way"; and  
[O2024-0010377]

2600 to 2799 North Armitage Avenue -- to be known as "Healthcare Alternative Systems Way".  
[O2024-0010457]

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Presented By

**ALDERPERSON LA SPATA (1<sup>st</sup> Ward)  
And OTHERS:**

*Referred* -- AMENDMENT OF SECTION 9-12-070 OF MUNICIPAL CODE BY ESTABLISHING MAXIMUM SPEED LIMITS ON STREETS AND ALLEYS OF CITY OF CHICAGO.

[O2024-0010990]

A proposed ordinance, presented by Alderpersons La Spata, Vasquez, Cruz, Knudsen, Lawson, Martin and Manaa-Hoppenworth, to amend Title 9, Chapter 12, Section 070 of the Municipal Code of Chicago by deleting and replacing the text in its entirety to establish an absolute maximum speed limit in Chicago of 25 miles per hour on streets, 15 miles per hour in alleys, and an absolute statutory nonurban speed limit of 55 miles per hour; to establish fines between \$200.00 and \$300.00 for a first offense, \$300.00 and \$500.00 for a second offense and \$500.00 and \$1,000.00 for a third and each subsequent offense within a

three-year period; and further, to allow the Commissioner of Transportation to modify the speed limits if, upon investigation, it is determined that the statutory speed limits are less than is reasonable or safe; in this event, the urban speed limits may be increased to no more than 55 miles per hour and the nonurban speed limit may be decreased to no less than 35 miles per hour, both with City Council approval. Two committees having been called, the Committee on Pedestrian and Traffic Safety and the Committee on the Budget and Government Operations, the matter was *Referred to the Committee on Committees and Rules*.

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***Referred -- AMENDMENT OF CHAPTER 9-108 OF MUNICIPAL CODE BY MODIFYING VARIOUS SECTIONS AND ADDING NEW SECTION 9-108-025 ESTABLISHING PUBLIC ENFORCEMENT PILOT PROGRAM FOR CITIZENS TO SUBMIT RECORDED EVIDENCE OF CERTAIN PARKING VIOLATIONS.***

[O2024-0010993]

Also, a proposed ordinance, presented by Alderpersons La Spata, Vasquez, Cruz, Knudsen, Lawson, Martin and Manaa-Hoppenworth, to amend Title 9, Chapter 108 of the Municipal Code of Chicago by modifying Sections 9-108-020, 9-108-030, 9-108-040, 9-108-050, 9-108-060, 9-108-070 and 9-108-080 and adding new Section 9-108-025 to establish a pilot program (the Public Enforcement Pilot Program) through which members of the public may submit recorded evidence of parking or standing violations using either the 311 application or another website or application designated by the Department of Transportation, which was *Referred to the Committee on Pedestrian and Traffic Safety*.

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***Referred -- CALL FOR ESTABLISHMENT OF INTERAGENCY WORKING GROUP TO ASSESS AND REDESIGN SPEED LIMIT ENFORCEMENT STRUCTURE AND PRACTICES IN CITY OF CHICAGO.***

[R2024-0010992]

Also, a proposed resolution, presented by Alderpersons La Spata, Vasquez, Cruz, Knudsen, Lawson, Martin and Manaa-Hoppenworth, calling for the establishment of an interagency working group comprised of representatives from the Mayor's Office of Equity and Racial Justice, the Departments of Finance, Transportation, Administrative Hearings, the Offices of Budget Management, City Clerk, and relevant community organizations, for the purpose of assessing Chicago's existing speed limit enforcement structure and practices, and designing a more equitable system, which was *Referred to the Committee on Pedestrian and Traffic Safety*.

Presented By

**ALDERPERSON HOPKINS (2<sup>nd</sup> Ward):**

*Referred* -- EXPRESSION OF SUPPORT FOR U.S. CONGRESS AND PRESIDENT JOSEPH R. BIDEN TO PASS AMERICAN CENTER FOR CURES LEGISLATION.  
[R2024-0011007]

A proposed resolution encouraging all members of the United States Congress and President Joseph R. Biden to expedite passage for funding of the American Center for Cures legislation, which was *Referred to the Committee on Health and Human Relations*.

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*Referred* -- STANDARDIZATION OF PORTIONS OF PUBLIC WAY.

Also, two proposed ordinances authorizing the Commissioner of Transportation to take the necessary action for standardization of portions of the public way specified, which were *Referred to the Committee on Transportation and Public Way*, as follows:

North McClurg Court, between East Grand Avenue and East Illinois Street -- to be known as "Honorary Dennis Downes Way"; and  
[O2024-0010171]

East Lake Shore Drive, between North Michigan Avenue and North Lake Shore Drive -- to be known as "Honorary Benjamin H. Marshall Way".  
[O2024-0010296]

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Presented By

**ALDERPERSON DOWELL (3<sup>rd</sup> Ward):**

*Referred* -- ISSUANCE OF PERMITS, FREE OF CHARGE, FOR LANDMARK PROPERTY AT 2401 S. WABASH AVE.  
[Or2024-0010608]

A proposed order authorizing the Commissioners of Buildings, Finance, and Fire, and the Zoning Administrator to issue all necessary permits, free of charge, for the Quinn Chapel

historic landmark property at 2401 South Wabash Avenue for the construction and installation of underground plumbing, electric power distribution and new lighting; outside air and exhaust retaining walls; pouring of a concrete slab; building new exit stairs, restrooms, archive rooms, file rooms, and mechanical rooms (with active louvers, new heat pumps and a new hot water heat pump tank); a fire pump room and fire suppression; and a new parking lot with lighting, landscaping, and fencing. Additionally, the historic auditorium will be renovated, including the repair of the original pews; reconstruction of the north narthex stair; installation of new carpeting on the aisles; new audio-visual equipment; installation of an appropriate balcony rail; and the repair and protective glaze covering on the stained-glass windows, which was *Referred to the Committee on Zoning, Landmarks and Building Standards.*

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Presented By

**ALDERPERSON ROBINSON (4<sup>th</sup> Ward):**

*Referred --* EXEMPTION OF 4505 S. DREXEL BLVD. FROM PHYSICAL BARRIER REQUIREMENT PERTAINING TO ALLEY ACCESSIBILITY FOR PARKING FACILITIES.

[O2024-0010458]

A proposed ordinance to exempt from the physical barrier requirement pertaining to alley accessibility for the parking facilities for 4505 South Drexel Boulevard, pursuant to the provisions of Title 10, Chapter 20, Section 430 of the Municipal Code of Chicago, which was *Referred to the Committee on Transportation and Public Way.*

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*Referred --* ISSUANCE OF PERMITS, FREE OF CHARGE, FOR LANDMARK PROPERTY AT 3402 -- 3402½ S. GILES AVE.

[Or2024-0010837]

Also, a proposed order authorizing the Commissioners of Buildings, Finance, and Fire, and the Zoning Administrator to issue all necessary permits, free of charge, for the construction of a new, detached, 513-square-foot frame two-car garage at the historic property located at 3402 -- 3402½ South Giles Avenue, which was *Referred to the Committee on Zoning, Landmarks and Building Standards.*

Presented By

**ALDERPERSON YANCY (5<sup>th</sup> Ward):**

*Referred* -- EXEMPTION OF 1534 E. 66<sup>TH</sup> ST. FROM PHYSICAL BARRIER REQUIREMENT PERTAINING TO ALLEY ACCESSIBILITY FOR PARKING FACILITIES.

[O2024-0010585]

A proposed ordinance to exempt from the physical barrier requirement pertaining to alley accessibility, the parking facilities for 1534 East 66<sup>th</sup> Street, pursuant to the provisions of Title 10, Chapter 20, Section 430 of the Municipal Code of Chicago, which was *Referred to the Committee on Transportation and Public Way*.

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Presented By

**ALDERPERSON HARRIS (8<sup>th</sup> Ward):**

*Referred* -- AMENDMENT OF SECTION 4-244-140 OF MUNICIPAL CODE TO PROHIBIT PEDDLING ON PORTIONS OF E. 79<sup>TH</sup> ST. AND E. 87<sup>TH</sup> ST.

[O2024-0010865]

A proposed ordinance to amend Title 4, Chapter 244, Section 140 of the Municipal Code of Chicago to prohibit peddling of any merchandise or other articles whatsoever, at any time, on both sides of East 79<sup>th</sup> Street, from South Cottage Grove Avenue to South Merrill Avenue, and on both sides of East 87<sup>th</sup> Street, from South Cottage Grove Avenue to South Anthony Avenue, which was *Referred to the Committee on Pedestrian and Traffic Safety*.

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*Referred* -- EXEMPTION OF SUNBIRD APPLIANCES FROM PHYSICAL BARRIER REQUIREMENT PERTAINING TO ALLEY ACCESSIBILITY FOR PARKING FACILITIES.

[O2024-0009804]

Also, a proposed ordinance to exempt Sunbird Appliances from the physical barrier

requirement pertaining to alley accessibility for the parking facilities for 8434 South Stony Island Avenue, pursuant to the provisions of Title 10, Chapter 20, Section 430 of the Municipal Code of Chicago, which was *Referred to the Committee on Transportation and Public Way*.

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Presented By

**ALDERPERSON BEALE (9<sup>th</sup> Ward):**

*Referred* -- AMENDMENT OF CITY COUNCIL RULES OF ORDER AND PROCEDURE FOR 2023 -- 2027 TERM BY DELETING RULE 59.

[R2024-0011013]

A proposed resolution amending the Rules of Order and Procedure of the City Council of the City of Chicago for the 2023 -- 2027 term by deleting Rule 59 which allows for all public meetings of the City Council and its committees to be conducted remotely by means of video, audio, telephonic or other electronic connection and to recognize a member who attends a remote meeting as present, which was *Referred to the Committee on Committees and Rules*.

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Presented By

**ALDERPERSON LEE (11<sup>th</sup> Ward)  
And OTHERS:**

*Referred* -- CALL FOR HEARING(S) ON CHICAGO POLICE DEPARTMENT'S ADHERENCE TO ILLINOIS DOMESTIC VIOLENCE ACT.

[R2024-0010998]

A proposed resolution, presented by Alderpersons Lee, La Spata, Hopkins, Dowell, Yancy, Hall, Mitchell, Harris, Beale, Chico, Ramirez, Quinn, Curtis, O'Shea, Rodriguez, Tabares, Scott, Sigcho-Lopez, Fuentes, Ervin, Taliaferro, Cruz, Cardona, Waguespack, Conway, Ramirez-Rosa, Villegas, Mitts, Nugent, Vasquez, Napolitano, Reilly, Lawson, Martin, Manaa-Hoppenworth, Hadden and Silverstein, calling for a subject matter hearing on the Chicago Police Department's adherence to the Illinois Domestic Violence Act, which was *Referred to a Joint Committee comprised of the members of the Committee on Public Safety and the members of the Committee on Police and Fire*.

Presented By

**ALDERPERSON RAMIREZ (12<sup>th</sup> Ward):**

*Referred* -- CALL FOR HEARING(S) ON ISSUES OF HATE AND DISCRIMINATION IN CITY OF CHICAGO.

[R2024-0010989]

A proposed resolution calling on the Committee on Health and Human Relations to hold hearings regarding issues of hate and discrimination in Chicago, focusing on antisemitism, Islamophobia, anti-Arab sentiments, anti-Black racism, colorism, anti-immigrant sentiments, and anti-women sentiments, sexual harassment, gender-based violence and LGBTQIA+ hate, which was *Referred to the Committee on Health and Human Relations*.

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*Referred* -- ISSUANCE OF PERMITS FOR SIGNS/SIGNBOARDS AT 2620 W. PERSHING RD.

Also, two proposed orders for the issuance of permits to install signs/signboards at 2620 West Pershing Road, which were *Referred to the Committee on Zoning, Landmarks and Building Standards*, as follows:

one sign/signboard with Permit Number 101046007; and

[Or2024-0010645]

one sign/signboard with Permit Number 101046135.

[Or2024-0010646]

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Presented By

**ALDERPERSON MOORE (17<sup>th</sup> Ward):**

*Referred* -- STANDARDIZATION OF PORTIONS OF PUBLIC WAY.

Two proposed ordinances authorizing the Commissioner of Transportation to take the necessary action for standardization of portions of the public way specified, which were *Referred to the Committee on Transportation and Public Way*, as follows:

7900 South Racine Avenue -- to be known as "Johnny L. Tyus 'The Hat Man' Way"; and  
[O2024-0010577]

South Peoria Street, from West 78<sup>th</sup> Street to West 79<sup>th</sup> Street -- to be known as  
"Mark S. Allen's Way".  
[O2024-0010579]

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Presented By

**ALDERPERSON MOORE (17<sup>th</sup> Ward)**  
**And OTHERS:**

*Referred* -- SUPERINTENDENT OF POLICE DIRECTED TO ENTER INTO AND EXECUTE  
NEW CONTRACT OR CONTRACT EXTENSION OR RENEWAL FOR ACOUSTIC  
GUNSHOT DETECTION TECHNOLOGY SERVICES.

[O2024-0011032]

A proposed ordinance, presented by Alderpersons Moore, Hopkins, Dowell, Beale, Chico, Tabares, Taliferro and Napolitano, directing the Superintendent of Police, in conjunction with Corporation Counsel, to negotiate, enter into, and execute a contract extension, renewal or a new contract for acoustic gunshot technology services of a term no less than 24 months, that ensures no interruption to current acoustic gunshot detection services, and to be on the same terms as the existing contract. Two committees having been called, the Committee on Public Safety and the Committee on Committees and Rules, the matter was *Referred to the Committee on Committees and Rules*.

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Presented By

**ALDERPERSON O'SHEA (19<sup>th</sup> Ward):**

*Referred* -- EXEMPTION OF COMMUTER RAIL DIVISION, DOING BUSINESS  
AS REGIONAL TRANSPORTATION AUTHORITY/METRA, FROM PHYSICAL  
BARRIER REQUIREMENT PERTAINING TO ALLEY ACCESSIBILITY FOR  
PARKING FACILITIES.

[O2024-0011055]

A proposed ordinance to exempt Commuter Rail Division, doing business as Regional Transportation Authority/Metra, from the physical barrier requirement pertaining to alley

accessibility for the parking facilities for 1982 West 115<sup>th</sup> Street (Metra-Morgan Park 115<sup>th</sup> Street Station), pursuant to the provisions of Title 10, Chapter 20, Section 430 of the Municipal Code of Chicago, which was *Referred to the Committee on Transportation and Public Way*.

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Presented By

**ALDERPERSON TAYLOR (20<sup>th</sup> Ward):**

*Referred --* EXEMPTION OF NEW CITY REDEVELOPMENT L.P. FROM PHYSICAL BARRIER REQUIREMENT PERTAINING TO ALLEY ACCESSIBILITY FOR PARKING FACILITIES.

[O2024-0010347]

A proposed ordinance to exempt New City Redevelopment L.P. from the physical barrier requirement pertaining to alley accessibility for the parking facilities for 4703 South Justine Street, pursuant to the provisions of Title 10, Chapter 20, Section 430 of the Municipal Code of Chicago, which was *Referred to the Committee on Transportation and Public Way*.

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Presented By

**ALDERPERSON RODRÍGUEZ (22<sup>nd</sup> Ward):**

*Referred --* TRANSFER OF YEAR 2024 FUNDS WITHIN CITY COUNCIL COMMITTEE ON WORKFORCE DEVELOPMENT.

[O2024-0011009]

A proposed ordinance authorizing and directing the City Comptroller to transfer Year 2024 funds within the City Council Committee on Workforce Development to meet the necessary obligations that have been or may be incurred during Year 2024, which was *Referred to the Committee on the Budget and Government Operations*.

*Referred* -- EXEMPTION OF CITY FOOD EQUIPMENT FROM PHYSICAL BARRIER REQUIREMENT PERTAINING TO ALLEY ACCESSIBILITY FOR PARKING FACILITIES.

[O2024-0011054]

Also, a proposed ordinance to exempt City Food Equipment from the physical barrier requirement pertaining to alley accessibility for the parking facilities for 4714 South Cicero Avenue, pursuant to the provisions of Title 10, Chapter 20, Section 430 of the Municipal Code of Chicago, which was *Referred to the Committee on Transportation and Public Way*.

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*Referred* -- STANDARDIZATION OF PORTION OF S. KOSTNER AVE. AS "MANUELA 'MANUELITA' GARCIA WAY".

[O2024-0011010]

Also, a proposed ordinance directing the Commissioner of Transportation to take the necessary action for the standardization of South Kostner Avenue, from West 31<sup>st</sup> Street to West 33<sup>rd</sup> Street, as "Manuela 'Manuelita' Garcia Way", which was *Referred to the Committee on Transportation and Public Way*.

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*Referred* -- ISSUANCE OF PERMIT FOR SIGN/SIGNBOARD AT 3800 W. 26<sup>TH</sup> ST.

[Or2024-0010607]

Also, a proposed order for the issuance of a permit to install a sign/signboard at 3800 West 26<sup>th</sup> Street, which was *Referred to the Committee on Zoning, Landmarks and Building Standards*.

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Presented By

**ALDERPERSON TABARES (23<sup>rd</sup> Ward):**

*Referred* -- DESIGNATION OF 2<sup>ND</sup> AND 6<sup>TH</sup> PRECINCTS OF 23<sup>RD</sup> WARD AS RESTRICTED CANNABIS ZONES TO PROHIBIT HOME CULTIVATION, NEW OR ADDITIONAL CULTIVATION CENTERS, CRAFT GROWERS AND PROCESSING, INFUSER, DISPENSING AND TRANSPORTING ORGANIZATIONS.

[O2024-0010348, O2024-0010361]

Two proposed ordinances designating the 2<sup>nd</sup> and 6<sup>th</sup> Precincts of the 23<sup>rd</sup> Ward as Restricted Cannabis Zones pursuant to Section 55-28 of the Illinois Cannabis Regulation and

Tax Act which prohibits home cultivation and all new or additional cultivation centers, craft growers, processing organizations, infuser organizations, dispensing organizations and transporting organizations within the boundaries of such precincts, which was *Referred to the Committee on License and Consumer Protection*.

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*Referred* -- DESIGNATION OF 2<sup>ND</sup>, 6<sup>TH</sup> AND 9<sup>TH</sup> PRECINCTS OF 23<sup>RD</sup> WARD AS RESTRICTED RESIDENTIAL ZONES TO PROHIBIT NEW AND ADDITIONAL SHARED HOUSING UNITS AND VACATION RENTALS.

[O2024-0010346, O2024-0010356, O2024-0010870]

Also, three proposed ordinances designating the 2<sup>nd</sup>, 6<sup>th</sup> and 9<sup>th</sup> Precincts of the 23<sup>rd</sup> Ward as Restricted Residential Zones pursuant to Sections 4-17-020 and 4-17-040 of the Municipal Code of Chicago which prohibits all new or additional shared housing units and vacation rentals within the boundaries of such precinct, which was *Referred to the Committee on License and Consumer Protection*.

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*Referred* -- STANDARDIZATION OF SOUTHEAST CORNER OF 5100 S. WENTWORTH AVE. AS "HONORARY POLICE OFFICER SAMUEL JIMENEZ ROAD".

[O2024-0010662]

Also, a proposed ordinance directing the Commissioner of Transportation to take the necessary action for the standardization of southeast corner of 5100 South Wentworth Avenue as "Honorary Police Officer Samuel Jimenez Road", which was *Referred to the Committee on Transportation and Public Way*.

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*Referred* -- ISSUANCE OF PERMITS FOR SIGNS/SIGNBOARDS.

Also, two proposed orders for the issuance of permits to install signs/signboards at the locations specified, which were *Referred to the Committee on Zoning, Landmarks and Building Standards*, as follows:

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one sign/signboard at 6315 South Pulaski Road; and

[Or2024-0010639]

one sign/signboard at 3732 West 63<sup>rd</sup> Street.

[Or2024-0010872]

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Presented By

**ALDERPERSON SIGCHO-LOPEZ (25<sup>th</sup> Ward):**

*Referred* -- APPROVAL OF RAINA SUBDIVISION.

[O2024-0010604]

A proposed ordinance directing the Commissioner of Transportation or his designee to approve the Raina Subdivision in the block bounded by the railroad right-of-way (approximately South Rockwell Street), West 23<sup>rd</sup> Street, South Western Avenue, and West 24<sup>th</sup> Street, which was *Referred to the Committee on Transportation and Public Way*.

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*Referred* -- EXEMPTION OF MICHAEL FOX FROM PHYSICAL BARRIER REQUIREMENT PERTAINING TO ALLEY ACCESSIBILITY FOR PARKING FACILITIES.

[O2024-0010826]

Also, a proposed ordinance to exempt Michael Fox from the physical barrier requirement pertaining to alley accessibility for the parking facilities for 1600 South Laflin Street, pursuant to the provisions of Title 10, Chapter 20, Section 430 of the Municipal Code of Chicago, which was *Referred to the Committee on Transportation and Public Way*.

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*Referred* -- ISSUANCE OF PERMIT FOR SIGN/SIGNBOARD AT 3115 W. 26<sup>TH</sup> ST.

[Or2024-0010831]

Also, a proposed order for the issuance of a permit to install a sign/signboard at 3115 West 26<sup>th</sup> Street, which was *Referred to the Committee on Zoning, Landmarks and Building Standards*.

Presented By

**ALDERPERSON SIGCHO-LOPEZ (25<sup>th</sup> Ward)  
And OTHERS:**

*Referred* -- CALL ON U.S. PRESIDENT JOSEPH R. BIDEN TO REMOVE CUBA FROM STATE SPONSORED TERRORISM LIST AND COMPLETE RESTORATION OF TRAVEL AND TRADE.

[R2024-0011018]

A proposed resolution, presented by Alderpersons Sigcho-Lopez, La Spata, Fuentes, Rodríguez-Sánchez and Ramirez-Rosa, calling on United States President Joseph R. Biden to remove Cuba from the State Sponsored Terrorism list and enact a complete restoration of travel and trade between the United States and Cuba, which was *Referred to the Committee on Health and Human Relations*.

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Presented By

**ALDERPERSON BURNETT (27<sup>th</sup> Ward):**

*Referred* -- EXEMPTION OF APPLICANTS FROM PHYSICAL BARRIER REQUIREMENT PERTAINING TO ALLEY ACCESSIBILITY FOR PARKING FACILITIES.

Four proposed ordinances to exempt the applicants listed from the physical barrier requirement pertaining to alley accessibility for the parking facilities adjacent to the locations specified, pursuant to the provisions of Title 10, Chapter 20, Section 430 of the Municipal Code of Chicago, which were *Referred to the Committee on Transportation and Public Way*, as follows:

Orleans & Tempus LLC -- 1009 -- 1011 North Orleans Street; [O2024-0011052]

Volo Holdings LLC-1445 Chicago Series -- 754 North Bishop Street; [O2024-0011053]

Veritas Chicago LLC -- 1383 -- 1385 West Lake Street; and [O2024-0010398]

Veritas Chicago LLC -- 1385 -- 1389 West Lake Street. [O2024-0010578]

*Referred* -- ISSUANCE OF PERMITS FOR SIGNS/SIGNBOARDS.

Also, seven proposed orders for the issuance of permits to install signs/signboards at the locations specified, which were *Referred to the Committee on Zoning, Landmarks and Building Standards*, as follows:

- one sign/signboard at 960 West Chicago Avenue;  
[Or2024-0010353]
- one sign/signboard at 1623 West Fulton Street -- Permit Number 101051311;  
[Or2024-0010548]
- one sign/signboard at 1623 West Fulton Street -- Permit Number 101051312;  
[Or2024-0010544]
- one sign/signboard at 1623 West Fulton Street -- Permit Number 101051314;  
[Or2024-0010546]
- one sign/signboard at 220 North Green Street;  
[Or2024-0010988]
- one sign/signboard at 305 North Peoria Street; and  
[Or2024-0010915]
- one sign/signboard at 923 West Weed Street.  
[Or2024-0010919]

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Presented By

**ALDERPERSON ERVIN (28<sup>th</sup> Ward),  
ALDERPERSON LEE (11<sup>th</sup> Ward) And  
ALDERPERSON VASQUEZ (40<sup>th</sup> Ward):**

*Referred* -- AMENDMENT OF SECTION 8-4-127 OF MUNICIPAL CODE BY PROHIBITING CYBERSTALKING, CYBER-FLASHING AND HARASSMENT THROUGH ELECTRONIC COMMUNICATIONS.

[O2024-0011000]

A proposed ordinance to amend Title 8, Chapter 4, Section 127 of the Municipal Code of Chicago to prohibit any person from engaging in cyberstalking, which includes: (i) making any

lewd comment, request, suggestion or proposal with an intent to offend; (ii) soliciting an act by any person which is a violation of the Municipal Code or state law; and (iii) soliciting the actions of a third party without regard to the mental state of the third party or whether the third party has received compensation; and to prohibit harassment through electronic communications, which includes: (i) transmitting a threat of immediate bodily harm, sexual assault, confinement or restraint; (ii) creating or maintaining a website, social media account, or other webpage which contains harassment, intimidation, or impersonation and is accessible to third parties for at least 24 hours; (iii) surreptitiously installing spyware or other electronic monitoring device; (iv) transmitting electronic communication used to harass a person under 13 years of age; (v) impersonating or falsely representing oneself as another person; and (vi) soliciting, inducing or directing a third party to violate this section, which was *Referred to the Committee on Police and Fire*.

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Presented By

**ALDERPERSON CRUZ (30<sup>th</sup> Ward):**

*Referred -- TRANSFER OF YEAR 2024 FUNDS WITHIN 30<sup>TH</sup> WARD WAGE ALLOWANCE/ALDERMANIC EXPENSE ACCOUNT.*

[O2024-0010576]

A proposed ordinance authorizing and directing the City Comptroller to transfer Year 2024 funds within the 0017 Wage Allowance Account or 9008 Aldermanic Expense Account for the 30<sup>th</sup> Ward to meet the necessary obligations that have been or may be incurred during Year 2024, which was *Referred to the Committee on the Budget and Government Operations*.

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*Referred -- EXEMPTION OF MIGUEL RUELAS, DOING BUSINESS AS CARBROS, FROM PHYSICAL BARRIER REQUIREMENT PERTAINING TO ALLEY ACCESSIBILITY FOR PARKING FACILITIES.*

[O2024-0010358]

Also, a proposed ordinance to exempt Miguel Ruelas, doing business as CarBros, from the physical barrier requirement pertaining to alley accessibility for the parking facilities for 3415 North Pulaski Road, pursuant to the provisions of Title 10, Chapter 20, Section 430 of the Municipal Code of Chicago, which was *Referred to the Committee on Transportation and Public Way*.

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*Referred* -- CALL ON COMMITTEE ON TRANSPORTATION AND PUBLIC WAY TO HOLD HEARING(S) ON DELAY IN COMPLETION OF GRAYLAND STATION PROJECT.

[R2024-0011012]

Also, a proposed resolution calling on the Committee on Transportation and Public Way to hold a subject matter hearing with Metra Executive Director James Derwinski and Carson Bickert of IHC Construction on the delays to the Grayland Station project and the postponed timing of completion, which was *Referred to the Committee on Transportation and Public Way*.

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Presented By

**ALDERPERSON CARDONA (31<sup>st</sup> Ward):**

*Referred* -- STANDARDIZATION OF PORTION OF N. KENNETH AVE. AS "HONORARY DARYL ROBINSON WAY".

[O2024-0010940]

A proposed ordinance directing the Commissioner of Transportation to take the necessary action for the standardization of North Kenneth Avenue, between West Wellington Avenue and West Barry Avenue, as "Honorary Darryl Robinson Way", which was *Referred to the Committee on Transportation and Public Way*.

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Presented By

**ALDERPERSON WAGUESPACK (32<sup>nd</sup> Ward):**

*Referred* -- EXEMPTION OF APPLICANTS FROM PHYSICAL BARRIER REQUIREMENT PERTAINING TO ALLEY ACCESSIBILITY FOR PARKING FACILITIES.

Two proposed ordinances to exempt the applicants listed from the physical barrier requirement pertaining to alley accessibility for the parking facilities adjacent to the locations

specified, pursuant to the provisions of Title 10, Chapter 20, Section 430 of the Municipal Code of Chicago, which were *Referred to the Committee on Transportation and Public Way*, as follows:

Advent Properties LLC-3066 -- 3015 -- 3017 North Southport Avenue; and  
[O2024-0010620]

PLD Homes -- 3027 -- 3037 North Lincoln Avenue.  
[O2024-0010302]

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*Referred* -- ISSUANCE OF PERMIT FOR SIGN/SIGNBOARD AT 2401 N. CLYBOURN AVE.

[Or2024-0010725]

Also, a proposed order for the issuance of a permit to install a sign/signboard at 2401 North Clybourn Avenue, which was *Referred to the Committee on Zoning, Landmarks and Building Standards*.

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Presented By

**ALDERPERSON CONWAY (34<sup>th</sup> Ward):**

*Referred* -- VACATION OF PORTION OF S. MAY ST. FOR USE BY ST. IGNATIUS COLLEGE PREP.

[O2024-0010869]

A proposed ordinance authorizing the vacation of a 66-foot to 86-foot part of the South May Street public right-of-way between West Roosevelt Road and West Taylor Street for use by St. Ignatius College Prep for the construction of a new five-story academic building to house fine arts and sciences learning, which was *Referred to the Committee on Transportation and Public Way*.

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*Referred* -- ISSUANCE OF PERMITS, FREE OF CHARGE, FOR LANDMARK PROPERTY AT 25 E. WASHINGTON ST.

[Or2024-0010835]

Also, a proposed order authorizing the Commissioners of Buildings, Finance, and Fire, and the Zoning Administrator to issue all necessary permits, free of charge, for the renovation of

the entire 20,000 square foot floor containing law offices, which includes constructing a 3,000-square-foot outdoor patio (by extending the existing light court from the top of the existing 7<sup>th</sup> floor down to the top of the 6<sup>th</sup> floor); the creation of a 10,000-square-foot amenity lounge, a 3,000-square-foot conference center and a management office with upgrades that include new electrical systems, plumbing, sprinkler, fire alarm, HVAC, environmental (including asbestos and lead paint removal) and other construction tasks as needed for the historic property located at 25 East Washington Street, which was *Referred to the Committee on Zoning, Landmarks and Building Standards*.

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Presented By

**ALDERPERSON RAMIREZ-ROSA (35<sup>th</sup> Ward):**

*Referred* -- DESIGNATION OF N. MILWAUKEE AVE., BETWEEN N. WISNER AVE. AND N. KEDZIE AVE. AS LOW-AFFORDABILITY COMMUNITY.

[O2024-0011003]

A proposed ordinance designating Lots 15, 16 and 17 in Block 2 of W.M. E. Hatterman's Milwaukee Subdivision, Lots 42 to 45 in Block 6 of Henry Wisner's Subdivision, and Lots 5 and 6 in Block 3 of Hitt. Runyan and Archer's Subdivision (commonly known as 2814, 2816, 2847 -- 2861, and 2616 -- 2618 North Milwaukee Avenue) as a Low-Affordability Community, which was *Referred to the Committee on Housing and Real Estate*.

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*Referred* -- STANDARDIZATION OF PORTION OF W. BELMONT AVE. AS "STEVE ALBINI WAY".

[O2024-0010999]

Also, a proposed ordinance directing the Commissioner of Transportation to take the necessary action for the standardization of the 2600 to 2700 block of West Belmont Avenue, from North Rockwell Avenue to North California Avenue, as "Steve Albini Way", which was *Referred to the Committee on Transportation and Public Way*.

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*Referred* -- ISSUANCE OF PERMIT FOR SIGN/SIGNBOARD AT 2934 N. MILWAUKEE AVE.

[Or2024-0011006]

Also, a proposed order for the issuance of a permit to install a sign/signboard at 2934 North Milwaukee Avenue, which was *Referred to the Committee on Zoning, Landmarks and Building Standards*.

Presented By

**ALDERPERSON RAMIREZ-ROSA (35<sup>th</sup> Ward)  
And OTHERS:**

*Referred* -- AMENDMENT OF TITLES 2, 5 AND 17 OF MUNICIPAL CODE BY MODIFYING VARIOUS SECTIONS AND ADDING NEW CHAPTER 5-11 ENTITLED "TENANT OPPORTUNITY TO PURCHASE BLOCK (606) DISTRICT PILOT PROGRAM" AND BY MODIFYING SECTION 17-7-0591 REDEFINING BOUNDARIES OF (606) DISTRICT.

[O2024-0011001]

A proposed ordinance, presented by Alderpersons Ramirez-Rosa, La Spata, Sigcho-Lopez, Fuentes, Cruz, Cardona and Rodríguez-Sánchez, to amend Title 5 of the Municipal Code of Chicago by adding new Chapter 5-11 entitled "Tenant Opportunity To Purchase Block (606) District Pilot Program" to allow tenants to purchase multi-family rental properties, at market prices, to minimize tenant displacement, stabilize households and promote the preservation of affordable housing in neighborhoods at risk of gentrification; and to amend Section 17-7-0591 of the Municipal Code defining the boundaries of the Block (606) District as all RS3 and RT3.5 zoned parcels within the area bounded by West Addison Street, the North Branch of the Chicago River, North Western Avenue, West Division Street, North California Avenue, West North Avenue, North Kedzie Avenue, West Hirsch Steet, North Kostner Avenue, West Fullerton Avenue and North Pulaski Road, which was *Referred to the Committee on Zoning, Landmarks and Building Standards*.

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Presented By

**ALDERPERSON VILLEGAS (36<sup>th</sup> Ward):**

*Referred* -- AMENDMENT OF CHAPTER 2-120 OF MUNICIPAL CODE BY ADDING NEW ARTICLE V ESTABLISHING SMALL BUSINESS ADVISORY COUNCIL.

[O2024-0010807]

A proposed ordinance to amend Title 2, Chapter 120 of the Municipal Code of Chicago by adding a new Article V entitled "Small Business Advisory Council" to facilitate regular communications between small business enterprises with diverse management and city officials; the council will be comprised of 15 members: the Deputy Mayor for Business Development, the Commissioner of Business Affairs and Consumer Protection, the Commissioner of Buildings, the Commissioner of Public Health, the Superintendent of Police, and 10 members appointed by the mayor with City Council approval; the council will meet at

least semiannually and will issue findings and recommendations to the Small Business Advocacy Division of the Department of Business Affairs and Consumer Protection and the Committee on Economic, Capital and Technology Development within 60 days of each meeting, and will act as a liaison between city departments, the Small Business Advocacy division, and small business enterprises, which was *Referred to the Committee on Economic, Capital and Technology Development*.

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*Referred* -- CALL ON DEPARTMENT OF PROCUREMENT SERVICES TO FACILITATE VENDOR-SELECTION FOR CITY TECHNOLOGY ASSESSMENT.

[R2024-0010928]

Also, a proposed resolution calling on the Department of Procurement Services to identify a qualified third-party vendor to conduct an assessment of City of Chicago technology that, at minimum, will examine topology, software and hardware, resource utilization, application tiering, cost forecasting, cybersecurity risks, strategies for new revenue generation, data duplicity, multi-cloud and private-cloud strategies, the existing data center footprint, and opportunities to increase participation of minority- and women-owned businesses, which was *Referred to the Committee on Economic, Capital and Technology Development*.

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*Referred* -- AMENDMENT OF SECTION 10-20-155 OF MUNICIPAL CODE BY REQUIRING CITY COORDINATION ON PAVEMENT RESTORATION WORK IMPACTING 60 PERCENT OR MORE OF SIDEWALK.

[O2024-0010913]

Also, a proposed ordinance to amend Title 10, Chapter 20, Section 155 of the Municipal Code of Chicago by requiring that work on the sidewalk which will result in removal of 60 percent or more of the sidewalk on a block, will require coordination with the Commissioner of Transportation, or her designee, and the City on a full restoration of the sidewalk on the impacted block, which was *Referred to the Committee on Transportation and Public Way*.

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*Referred* -- EXEMPTION OF VELEZ IRON WORKS, INC. FROM PHYSICAL BARRIER REQUIREMENT PERTAINING TO ALLEY ACCESSIBILITY FOR PARKING FACILITIES.

[O2024-0010834]

Also, a proposed ordinance to exempt Velez Iron Works, Inc. from the physical barrier

requirement pertaining to alley accessibility for the parking facilities for 2101 -- 2103 North Major Avenue, pursuant to the provisions of Title 10, Chapter 20, Section 430 of the Municipal Code of Chicago, which was *Referred to the Committee on Transportation and Public Way*.

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Presented By

**ALDERPERSON SPOSATO (38<sup>th</sup> Ward):**

*Referred -- EXEMPTION FROM PHYSICAL BARRIER REQUIREMENT PERTAINING TO ALLEY ACCESSIBILITY FOR PARKING FACILITIES AT 6334 -- 6338 W. IRVING PARK RD.*

[O2024-0010922]

A proposed ordinance to exempt from the physical barrier requirement pertaining to alley accessibility for the parking facilities for 6334 -- 6338 West Irving Park Road, pursuant to the provisions of Title 10, Chapter 20, Section 430 of the Municipal Code of Chicago, which was *Referred to the Committee on Transportation and Public Way*.

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Presented By

**ALDERPERSON VASQUEZ (40<sup>th</sup> Ward):**

*Referred -- TRANSFER OF YEAR 2024 FUNDS WITHIN 40<sup>TH</sup> WARD WAGE ALLOWANCE/ALDERMANIC EXPENSE ACCOUNT.*

[O2024-0010317]

A proposed ordinance authorizing and directing the City Comptroller to transfer Year 2024 funds within the 0017 Wage Allowance Account or 9008 Aldermanic Expense Account for the 40<sup>th</sup> Ward to meet the necessary obligations that have been or may be incurred during Year 2024, which was *Referred to the Committee on the Budget and Government Operations*.

7/17/2024

NEW BUSINESS PRESENTED BY ALDERPERSONS

15475

*Referred* -- EXEMPTION OF BROADWAY SOLUTIONS FROM PHYSICAL BARRIER REQUIREMENT PERTAINING TO ALLEY ACCESSIBILITY FOR PARKING FACILITIES.

[O2024-0010179]

Also, a proposed ordinance to exempt Broadway Solutions from the physical barrier requirement pertaining to alley accessibility for the parking facilities for 2220 West Morse Avenue, pursuant to the provisions of Title 10, Chapter 20, Section 430 of the Municipal Code of Chicago, which was *Referred to the Committee on Transportation and Public Way*.

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Presented By

**ALDERPERSON VASQUEZ (40<sup>th</sup> Ward)  
And OTHERS:**

*Referred* -- CALL FOR HEARING(S) ON EXAMINATION AND IMPROVEMENT OF EXTREME WEATHER RESPONSE PLANS.

[R2024-0010357]

A proposed resolution, presented by Alderpersons Vasquez, Sigcho-Lopez, Rodríguez-Sánchez, Manaa-Hoppenworth and Hadden, calling for a subject matter hearing to examine the City of Chicago's extreme weather response plan's triggers and thresholds, successful operation metrics, channels of communication, and associated gaps with the aim of improving coordination, transparency, and timely public communication, which was *Referred to the Committee on Public Safety*.

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Presented By

**ALDERPERSON NAPOLITANO (41<sup>st</sup> Ward):**

*Referred* -- ISSUANCE OF PERMIT FOR SIGN/SIGNBOARD AT 838 PATTON DR.  
[Or2024-0010984]

A proposed order for the issuance of a permit to install a sign/signboard at 838 Patton Drive, which was *Referred to the Committee on Zoning, Landmarks and Building Standards*.

Presented By

**ALDERPERSON REILLY (42<sup>nd</sup> Ward):**

*Referred* -- APPROVAL OF FRIAR SERVANTS OF MARY & APARTMENT RESUBDIVISION.

[O2024-0010985]

A proposed ordinance directing the Commissioner of Transportation or his designee to approve the Friar Servants of Mary & Apartment Resubdivision in the block bounded by North Orleans Street, West Illinois Street, North Franklin Street, and West Hubbard Street, which was *Referred to the Committee on Transportation and Public Way*.

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*Referred* -- AMENDMENT TO PEDESTRIAN WALKS EASEMENT AGREEMENT AT BUILDING FORMERLY KNOWN AS JAMES R. THOMPSON CENTER (100 W. RANDOLPH ST.).

[O2024-0011048]

Also, a proposed ordinance authorizing an amendment to pedestrian walks easement established in an ordinance passed by City Council on September 24, 1980, and published in the *Journal of the Proceedings of the City Council of the City of Chicago*, page 3994, which authorized the vacation of certain portions of North LaSalle Street and North Clark Street, by providing a reduction in the pedestrian walks easement and providing additional public improvements, including the reconfiguration of the existing CTA station, which was *Referred to the Committee on Transportation and Public Way*.

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*Referred* -- EXEMPTION OF KKDD LLC FROM PHYSICAL BARRIER REQUIREMENT PERTAINING TO ALLEY ACCESSIBILITY FOR PARKING FACILITIES.

[O2024-0011051]

Also, a proposed ordinance to exempt KKDD LLC from the physical barrier requirement pertaining to alley accessibility for the parking facilities for 1 West Huron Street, pursuant to the provisions of Title 10, Chapter 20, Section 430 of the Municipal Code of Chicago, which was *Referred to the Committee on Transportation and Public Way*.

*Referred* -- ISSUANCE OF PERMITS FOR SIGNS/SIGNBOARDS.

Also, four proposed orders for the issuance of permits to install signs/signboards at the locations specified, which were *Referred to the Committee on Zoning, Landmarks and Building Standards*, as follows:

- |   |                  |
|---|------------------|
| one sign/signboard at 41 East Oak Street;         | [Or2024-0010996] |
| one sign/signboard at 440 West Randolph Street;   | [Or2024-0010994] |
| one sign/signboard at 1 West Superior Street; and | [Or2024-0010997] |
| one sign/signboard at 225 North Wabash Avenue.    | [Or2024-0010995] |

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Presented By

**ALDERPERSON KNUDSEN (43<sup>rd</sup> Ward):**

*Referred* -- AMENDMENT OF SECTION 8-4-083 OF MUNICIPAL CODE BY PROHIBITING PLACEMENT OF MATERIAL ON PRIVATE OR PERSONAL PROPERTY THAT CAUSES INTIMIDATION OR THREATS OF PHYSICAL INJURY AGAINST PERSON OR GROUP.

[O2024-0011019]

A proposed ordinance to amend Title 8, Chapter 4, Section 083 of the Municipal Code of Chicago to declare it unlawful for any person to knowingly place on private or personal property material that causes intimidation, contains threats of physical injury, violence, or causes a breach of peace against a person or group of people, which was *Referred to the Committee on Health and Human Relations*.

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*Referred* -- EXEMPTION OF LPAC HOLDINGS LLC FROM PHYSICAL BARRIER REQUIREMENT PERTAINING TO ALLEY ACCESSIBILITY FOR PARKING FACILITIES.

[O2024-0011049]

Also, a proposed ordinance to exempt LPAC Holdings LLC from the physical barrier

requirement pertaining to alley accessibility for the parking facilities for 1001 -- 1013 West Diversey Avenue, pursuant to the provisions of Title 10, Chapter 20, Section 430 of the Municipal Code of Chicago, which was *Referred to the Committee on Transportation and Public Way*.

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*Referred --* AMENDMENT OF SECTION 17-14-0301-A OF MUNICIPAL CODE BY ALLOWING DESIGNATION OF ALTERNATE MEMBER OF ZONING BOARD OF APPEALS IN EVENT OF VACANCY.

[O2024-0010982]

Also, a proposed ordinance to amend Title 17, Chapter 14, Section 0301-A of the Municipal Code of Chicago to allow the chairman or acting chairman of the Zoning Board of Appeals to designate an alternate member to take the place of a regular member in the event of vacancy or when a regular member is unable to attend a meeting, which was *Referred to the Committee on Zoning, Landmarks and Building Standards*.

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Presented By

**ALDERPERSON MARTIN (47<sup>th</sup> Ward):**

*Referred --* AMENDMENT OF SECTION 4-60-022 OF MUNICIPAL CODE BY DELETING SUBSECTION 47.35 TO ALLOW ISSUANCE OF ADDITIONAL ALCOHOLIC LIQUOR LICENSES ON PORTION OF W. LAWRENCE AVE.

[O2024-0010981]

A proposed ordinance to amend Title 4, Chapter 60, Section 022 of the Municipal Code of Chicago by deleting subsection 47.35 which restricted the issuance of additional alcoholic liquor licenses on West Lawrence Avenue, from North Ravenswood Avenue to North Damen Avenue, which was *Referred to the Committee on License and Consumer Protection*.

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*Referred --* EXEMPTION OF 2035 WEST IRVING ACQUISITION LLC FROM PHYSICAL BARRIER REQUIREMENT PERTAINING TO ALLEY ACCESSIBILITY FOR PARKING FACILITIES.

[O2024-0011050]

Also, a proposed ordinance to exempt 2035 West Irving Acquisition LLC from the physical

barrier requirement pertaining to alley accessibility for the parking facilities for 2035 West Irving Park Road, pursuant to the provisions of Title 10, Chapter 20, Section 430 of the Municipal Code of Chicago, which was *Referred to the Committee on Transportation and Public Way*.

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Presented By

**ALDERPERSON MANAA-HOPPENWORTH (48<sup>th</sup> Ward):**

*Referred --* ISSUANCE OF PERMIT FOR SIGN/SIGNBOARD AT 5937 N. BROADWAY.

[Or2024-0010986]

A proposed order for the issuance of a permit to install a sign/signboard at 5937 North Broadway, which was *Referred to the Committee on Zoning, Landmarks and Building Standards*.

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Presented By

**ALDERPERSON HADDEN (49<sup>th</sup> Ward),  
ALDERPERSON HOPKINS (2<sup>nd</sup> Ward) And  
ALDERPERSON CRUZ (30<sup>th</sup> Ward):**

*Referred --* CALL FOR HEARING(S) ON BIRD-FRIENDLY BUILDING DESIGN IN CITY OF CHICAGO.

[R2024-0010861]

A proposed resolution calling for a subject matter hearing with experts in avian conservation, urban planners, architects, relevant city departments on policy recommendations for bird-friendly building design in the City of Chicago, which was *Referred to the Committee on Environmental Protection and Energy*.

Presented By

**ALDERPERSON HADDEN (49<sup>th</sup> Ward) And  
ALDERPERSON TAYLOR (20<sup>th</sup> Ward):**

*Referred* -- CALL ON U.S. CONGRESS TO EXPAND SCOPE AND ENFORCEMENT OF RAILROAD SAFETY STANDARDS.

[R2024-0010855]

A proposed resolution calling for the consent decree established between Norfolk Southern Railroad Company, the United States Department of Justice, and the Environmental Protection Agency, to be expanded in scope to prevent future railroad derailment disasters by amending provisions related to operational improvements, transparency, and community involvement; and further, calling on the United States Congress, National Transportation Safety Board, and the Federal Railroad Administration, which was *Referred to the Committee on Environmental Protection and Energy*.

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Presented By

**ALDERPERSON SILVERSTEIN (50<sup>th</sup> Ward):**

*Referred* -- AMENDMENT OF SECTION 4-60-023 OF MUNICIPAL CODE BY ADDING NEW SUBSECTION 50.22 TO DISALLOW ISSUANCE OF ADDITIONAL PACKAGE GOODS LICENSES ON PORTION OF N. WESTERN AVE.

[O2024-0010313]

A proposed ordinance to amend Title 4, Chapter 60, Section 023 of the Municipal Code of Chicago by adding new subsection 50.22 to disallow the issuance of additional package goods licenses on North Western Avenue, from West Lunt Avenue to West Pratt Avenue, which was *Referred to the Committee on License and Consumer Protection*.

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*Referred* -- APPROVAL OF REGENTS PARK II RESUBDIVISION.

[O2024-0010769]

Also, a proposed ordinance directing the Commissioner of Transportation or her designee to approve the Regents Park II Resubdivision in the block bounded by West Pratt Avenue, North Whipple Street, North Kedzie Avenue, and West Albion Avenue, which was *Referred to the Committee on Transportation and Public Way*.

**APPROVAL OF JOURNAL OF PROCEEDINGS.**

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JOURNAL (June 12, 2024)

The Honorable Andrea M. Valencia, City Clerk, submitted the printed official *Journal of the Proceedings of the City Council of the City of Chicago* for the regular meeting held on Wednesday, June 12, 2024 at 10:00 A.M., signed by her as such City Clerk.

Aldersperson Mitchell moved to *Approve* said printed official *Journal* and to dispense with the reading thereof. The question being put, the motion *Prevailed*.

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**UNFINISHED BUSINESS.**

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AMENDMENT OF TITLE 17 OF MUNICIPAL CODE BY RECLASSIFICATION OF AREA SHOWN ON MAP NO. 7-I.

(As Amended)  
(Application No. 22389T1)  
(Common Address: 2418 -- 2426 N. Milwaukee Ave.)

[SO2024-0008452]

On motion of Aldersperson Lawson, the City Council took up for consideration the report of the Committee on Zoning, Landmarks and Building Standards, deferred and ordered published in the *Journal of the Proceedings of the City Council of the City of Chicago* of June 12, 2024, page 13512, recommending that the City Council *Pass* the proposed substitute ordinance printed on pages 13512 through 13531 amending Title 17 of the Municipal Code by reclassifying the area shown on Map Number 7-I.

On motion of Aldersperson Lawson, the said proposed substitute ordinance was *Passed* by a viva voce vote.

Aldersperson Mitchell moved to reconsider the foregoing vote. The motion was lost.

The following is said ordinance as passed:

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, be amended by changing all the C2-2 Motor Vehicle-Related Commercial District symbols and indications as shown on Zoning Map/Grid Index Number 7-I in the area bounded by:

beginning at a line 259.40 feet northwest of the intersection of North Milwaukee Avenue and West Fullerton Avenue, as measured at the southwest right-of-way line of North Milwaukee Avenue and perpendicular thereto; North Milwaukee Avenue; a line 109.40 feet northwest of the intersection of North Milwaukee Avenue and West Fullerton Avenue, as measured at the southwesterly right-of-way line of North Milwaukee Avenue and perpendicular thereto; a line 121.60 feet west of the intersection of West Fullerton Avenue and North Milwaukee Avenue, as measured at the north right-of-way line of West Fullerton Avenue and perpendicular thereto; West Fullerton Avenue; the easterly right-of-way line of the Chicago Transit Authority Elevated Tracks; and the alley next east of and parallel to North Sacramento Avenue,

to those of a C1-5 Neighborhood Commercial District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

[Site Plan; Basement Floor Plan; Levels 01, 02, 03, 04,  
05 and 06 Floor Plans; Building Elevations; and  
TSL Plans attached to this ordinance printed  
on pages 15488 through 15500  
of this *Journal*.]

Type 1 Narrative Rezoning Plans and Analysis attached to this ordinance reads as follows:

## Final for Publication

**17-13-0303-C (1) Type 1 Narrative & Plans - Zoning Map Amendment - SUBSTITUTE**  
2418-2426 North Milwaukee Avenue, Chicago, Illinois

Proposed Zoning: C1-5 Neighborhood Commercial District

Lot Area: 18,895 square feet (*irregular*)

Proposed Land Use: The Applicant is seeking a *Type 1 Zoning Map Amendment* with *Administrative Adjustment & Variation* relief, pursuant to Section 17-13-0303-D of the Chicago Zoning Ordinance, in order to permit the rehabilitation and expansion of the existing five-story (with basement) *orange-rated* warehouse/storage building, at the subject site. The programming for the proposed improvements, which includes the construction of a new six-story lateral addition, calls for the adaptive reuse and reactivation of the site and corresponding structure(s) into a newly rendered *mixed-use* development, that will offer divisible *commercial/retail* spaces (+/- 11,900 square feet) and off-street parking for nine (9) automobiles at grade level, with additional *commercial* space (+/- 5,490 square feet) on the 2<sup>nd</sup> floor and a total of sixty-two (62) *residential* dwelling units on and between the upper (2<sup>nd</sup> through 6<sup>th</sup>) floors, twelve (12) of which such dwelling units will be offered as "affordable" pursuant to the Chicago Affordable Requirements Ordinance ("ARO"). The new proposed improvements will be masonry in construction and will measure approximately 65 feet-1 inch in height, to match and retain physical consistency with the existing five-story building being preserved.

- (A) The Project's Floor Area Ratio: 77,875 square feet (4.12 FAR)
- (B) The Project's Density (Lot Area Per Dwelling Unit): 62 total dwelling units; 304 square feet per dwelling unit
- (C) The amount of off-street parking: \*9 automobile spaces; at least 64 bicycle spaces

*The subject property is located on a designated Pedestrian Street, within 2,640 linear feet of the entrance to the California/Milwaukee Blue Line (CTA) Train Station, thereby qualifying as a Transit Served Location. [17-10-0102-B], under the current Zoning Ordinance (as amended). The programming for the development calls for the provision of 12,350 square feet of commercial/retail space and a total of sixty-two (62) residential/dwelling units. In an effort to mitigate vehicular congestion in the neighborhood and to promote the use of public transit and other alternatives to private automobile ownership, the Applicant is seeking an Administrative Adjustment - in conjunction with this Type 1 Zoning Map Amendment, to reduce the minimum off-street automobile parking ratio, for a Transit-Served Location ("TSL"), by approximately 83% (in excess of 50%) - from 62 spaces to 9 spaces, to serve the proposed new mixed-use development. [Section 17-10-0102-B; Section 17-13-1003-EE]*

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- (D) Setbacks:     a. Front Setback: 0 foot-0 inches  
                  b. \*Rear Setback: 0 feet-0 inches

*\*The subject property is irregular in shape, with a varying rear property line. The existing orange-rated five-story building that the Applicant is seeking to rehabilitate and to expand, while also converting into commercial and residential use and occupancy, spans the entire depth of the site – i.e., zero rear setback. The proposed new lateral addition, which will also contain residential units above the ground floor, is designed to generally follow the lines/walls of the existing five-story building being preserved, as further dictated by the varying property lines. In order to permit the proposal and overcome these burdensome existing topographic/situs conditions, the Applicant is seeking an Administrative Adjustment to reduce the minimum rear setback – for floors containing dwelling units, from 30 feet to zero (0 feet). [Section 17-3-0405-A and Section 17-13-1101-B.] The proposed rear setback follows the existing rear setback of the building that is being preserved and expanded, and also matches the predominant rear yard depths of the other existing buildings that comprise the subject block.*

- c.     Side Setbacks:  
                          North: 0 feet-0 inches (proposed)  
                          South: 0 feet-0 inches (existing)
- (E) Building Height: 65 feet-1 inch (top of roof – existing + addition); 73 feet-7 inches (addition with rooftop enclosure/penthouse)

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**COMPLIANCE WITH SECTION 17-3-0308: Specific Criteria for Transit-Served Locations**

In all B and C districts, any new construction within 2,640 feet of a CTA or METRA rail station entrance must satisfy all of the following specific criteria:

**1. The project complies with the applicable standards of Section 17-10-0102-B.**

The project calls for the establishment and occupancy of a new *mixed-use* development at the subject property, that qualifies as a *Transit-Served Location* (TSL), which such development will feature over 17,390 square feet of divisible *commercial/retail* space on and between the ground (1<sup>st</sup>) floor and 2<sup>nd</sup> floor and a total of sixty-two (62) *dwelling units* on the upper (2<sup>nd</sup> through 6<sup>th</sup>) floors, with off-street accessory parking for nine (9) automobiles also located at grade level. Such proposed parking accommodations represents just about an 85% *reduction* in the otherwise minimum required one-to-one automobile parking ratio for *residential uses*, and which such reduction is encouraged and allowed pursuant to Sections 17-3-0308 and 17-10-0102-B(1) of the current *Zoning Ordinance*. Toward these same ends, the project calls for a large *Bike Storage Room* to be located within the Lower Level (basement) of the proposed *mixed-use* development, which will be for the exclusive use of the residents of the building for their personal bicycles and scooters, and which such room can accommodate the safe storage of at least sixty-two (62) bicycles. Additional bicycle racks are also located on the public way(s) (sidewalk) in front of and surrounding the subject site, which will be maintained and kept free from encumbrance by the Applicant. In addition to such parking accommodations, the development will also have two (2) designated off-street *loading areas* at the “rear” of the building – with direct access off of Fullerton Avenue and the Public Alley, which such areas will facilitate all deliveries, transports, move-ins/move-outs, and ride share drop-off/pick up, so to keep the public ways completely free of encumbrance, especially Milwaukee Avenue along which a new protected bicycle lane is being proposed by the City.

Furthermore, pursuant to the *2021 Affordable Requirements Ordinance (ARO)*, the Applicant is required to designate at least 20% of the total number of *dwelling units* for the proposed development as “affordable” – which equates to 12 of the 36 proposed new dwelling units being designated as *affordable units*. The programming for this particular project calls for ALL twelve (12) of the required *affordable units* to be located onsite, evenly represented and dispersed throughout the proposed development, at the subject property.

**2. The project complies with the standards and regulations of Section 17-3-0504, (except paragraph H if the project is not located along a *pedestrian street*), pertaining to *pedestrian streets* and *pedestrian retail streets*, even if the project is not located along a *pedestrian street* or a *pedestrian retail street*.**

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The design for the proposed *mixed-use* development, which includes a six-story lateral addition that will expand and connect to the existing five-story *orange-rated* building and will follow the lines/walls of the same accordingly, calls for the entirety of the Milwaukee Avenue (*street facing*) facade to directly abut the sidewalk (i.e., 0 feet-0 inches *setback*), with the three pedestrian entrances for the corresponding *commercial spaces* NOT exceeding 12 feet of the width of such facade, and – too, NOT exceeding two-stories in height. Similarly, the design for the new development calls for the entirety of the Fullerton Avenue (*street facing*) facade – which represents the west side of this “through lot”, to directly abut the sidewalk (i.e., 0 feet-0 inches *setback*), with the single primary pedestrian entrance for the *residential lobby* (and access to the corresponding dwelling units) and 2<sup>nd</sup> floor *commercial tenant(s)*, NOT exceeding 12 feet of the width of such facade, and – too, NOT exceeding two-stories in height. Toward these same ends, per the design, a minimum of 60% of each such street facing facades will be comprised of *transparent non-reflective windows* and/or *doors*. Lastly, all of the required off-street *parking* and *loading* will be located wholly within the four-corners of the 1<sup>st</sup> Floor of the new proposed building (*garage*) – at the rear (off the Public Alley), so to NOT be visible from Lincoln Avenue or Fullerton Avenue (*pedestrian streets / public ways*), while – too, vehicular access to such parking/loading will be accommodated via the Public Alley, that runs along a portion of the “rear” (west side) of the site, which is the primary means of vehicular access for the other existing improvements with their primary frontage on this abbreviated block of Milwaukee Avenue.

**3. The project complies with the general goals set forth in the Transit Friendly Development Guide: Station Area Typology, and any other station-specific plans, designs or guidelines adopted by the Chicago Plan Commission.**

The *Transit Friendly Development Guide* defines ‘transit friendly development’ as [d]evelopment which is oriented towards and integrated with adjacent transit. By way of relevant example, the proposed new development incorporates pedestrian accessibility and connectivity just over 1,500 linear feet from the entrance to the *California/Milwaukee Blue Line CTA Train Station* and directly on one of the City’s most exploited *CTA Bus Routes* (Milwaukee Avenue), which also features a fully designated and functioning “protected bicycle lane” that was installed by and through the Chicago Department of Transportation (CDOT). The proposed mixed-use development will also be activating over 150 feet of significant, presently and perpetually dormant, street frontage along Milwaukee Avenue (and an additional almost 120 feet of disrupted frontage along Fullerton Avenue), which two public ways serve as the predominant transition/pedestrian connection between the lower-density family-oriented *residential neighborhoods* surrounding the subject property and the many *retail-commercial-hospitality* establishments that comprise this vital *Six-Corners Retail Corridor* - with the potential for at least three new locally-owned *businesses* that will be intended to service the *residents* of the immediate community and patrons of the same. Along these same lines, the new proposed improvements are situated in the heart of the neighborhood’s most robust *retail and hospitality* corridor, which extends for at least five blocks to the north and south, providing an immediate connection to the other nearby communities via a short bus or train ride, or – weather pending, via bicycle (personal or with multiple *Divvy Bicycle Stations* along the way).

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- 4. Residential building projects shall not have a number of parking spaces in excess of 50% of the Minimum Automobile Parking Ratio for the applicable district listed in Section 17-10-0207 with any fractional result rounded up to the next higher whole number, unless additional parking spaces are approved as an *administrative adjustment* under the provisions of Section 17-13-1003-EE.**

The project calls for the establishment and occupancy of a new *mixed-use* development that will contain a total of sixty-two (62) *dwelling units* and off-street accessory parking for nine (9) vehicles, which represents just about a 15% *Automobile-to-Unit Parking Ratio*, as mandated and encouraged by the current *Zoning Ordinance* [Sections 17-3-0308 and 17-10-0102-B(1)].

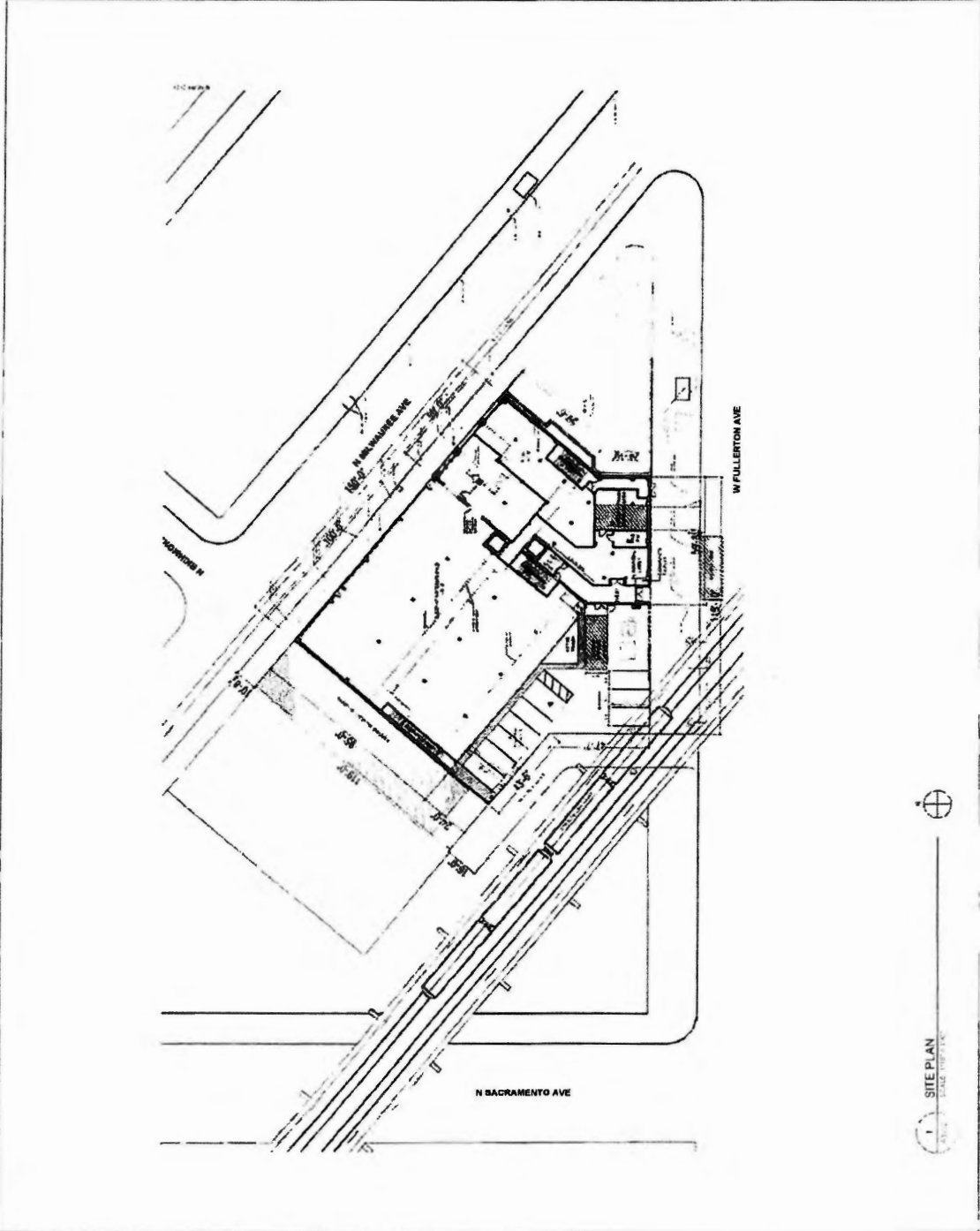
- 5. The project complies with the Travel Demand Study and Management Plan rules of the Chicago Department of Transportation. The City's Commissioner of Transportation is authorized to issue Travel Demand Study and Management Plan rules consistent with this section.**

In a direct and deliberate effort to promote public forms of transportation, and – too, to mitigate vehicular congestion and traffic in this pedestrian-oriented neighborhood, while still balancing the express interests and demands of the existing residents of the community, the proposed new development will provide one (1) designated off-street *parking* space for every seven (7) *dwelling units*, with priority being offered to tenants of the larger (*two-bedroom* and *three-bedroom*) units in the building, on a first come basis, and additional conscientious consideration being given to the diverse mix of unit types for this development, which included ten (10) *efficiency units* and twelve (12) affordable units, the intended beneficiaries/tenants for which will likely not have a personal automobile. These fundamental conditions should (and have been shown to) inherently dissuade residents who require and/or rely on individual automobile ownership from leasing a unit within the proposed new building, thereby attracting those residents who desire to rely on public and/or non-vehicular (carbon-neutral) forms of transit. As well, the proposed development includes a sizeable *Bike Storage Room*, within the Lower Level (basement) of the building that can accommodate secure interior parking for at least sixty-two (62) bicycles and/or scooters. Beyond these onsite accommodations, there are additional bicycle racks located on the sidewalk in front of and surrounding the subject site and the Applicant is committed to working with the local Alderman and representatives from the CTA and CDOT, toward providing additional public bicycle racks and/or *Divvy Stations*, should such improvements be desired. In further effort to promote more reliance on the City's bountiful public transit, the Applicant is also committed to working with the local Alderman and the CTA toward installing electronic CTA trackers within the common areas of the development, to allow for more efficient and enjoyable trip planning.

*\*Pursuant to the recently ratified City of Chicago – Travel Demand Study & Management Plan (TDM), the Applicant will submit the corresponding Site Plan and Project Narrative to the Chicago Department of Transportation (CDOT) Plan Review Committee for a (Tier 1) determination as to any additional requirements that may be deemed necessary to ensure compliance with all such standards and guidelines.*

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**The Hollander**  
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**NORR**  
 222 North LaSalle Street, Suite 800  
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SITE PLAN  
 SCALE: 1/8" = 1'-0"  
 DATE: 7/17/2024  
 A1-00

Final for Publication

2418 N. Milwaukee  
 C-CHICAGO, ILL. 60647  
**The Hollander**  
 ARCHITECTS

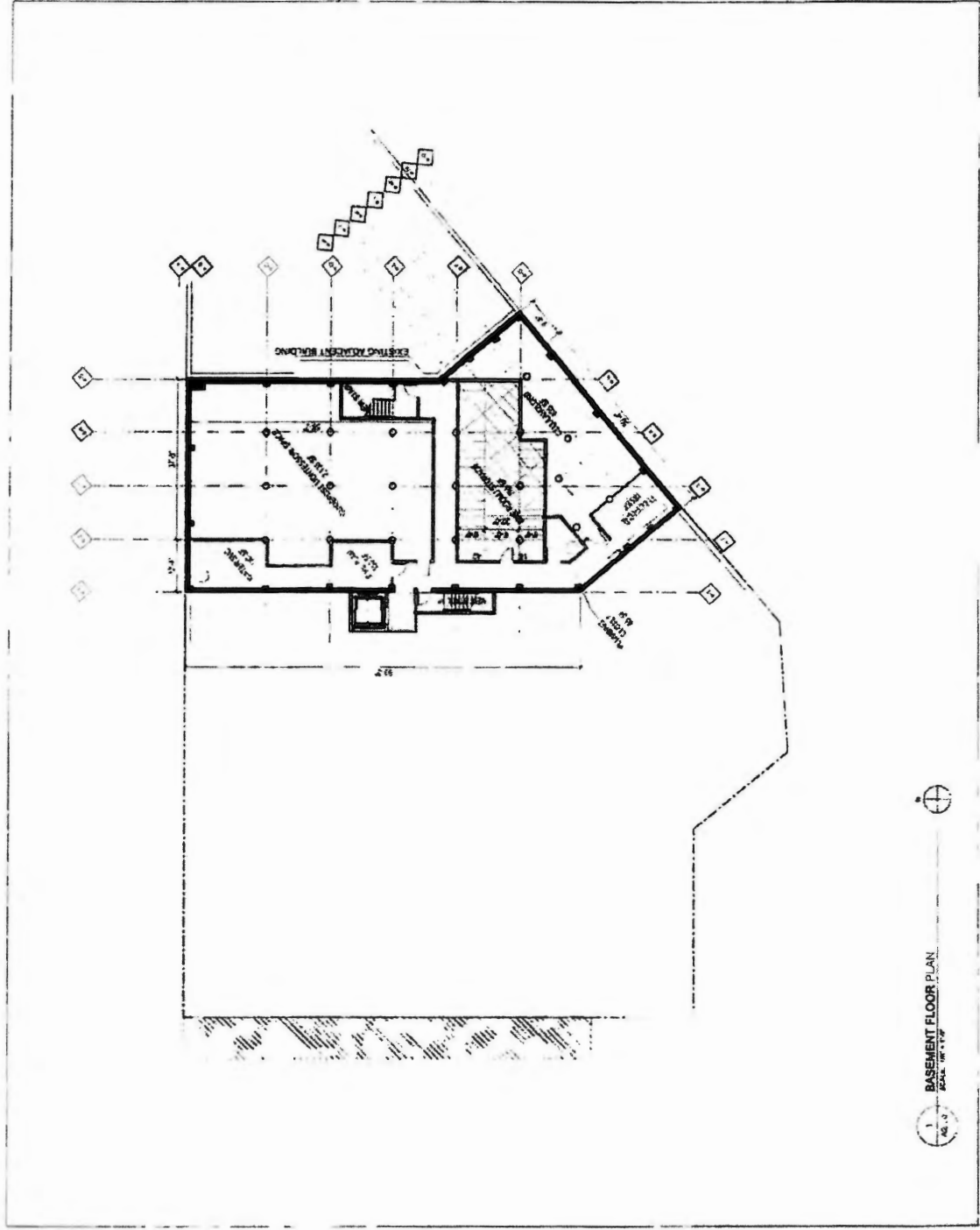
2418 N. Milwaukee  
 C-CHICAGO, ILL. 60647  
 311 N. ELSTON AVE., SUITE 304  
 CHICAGO, IL 60614  
 P 312.467.4444

**NORR**  
 ARCHITECTS  
 224 W. WASHINGTON ST., SUITE 200  
 CHICAGO, IL 60601  
 P 312.557.7400

PROJECT NO. 15489  
 SHEET NO. A2-00  
 DATE 07/17/24

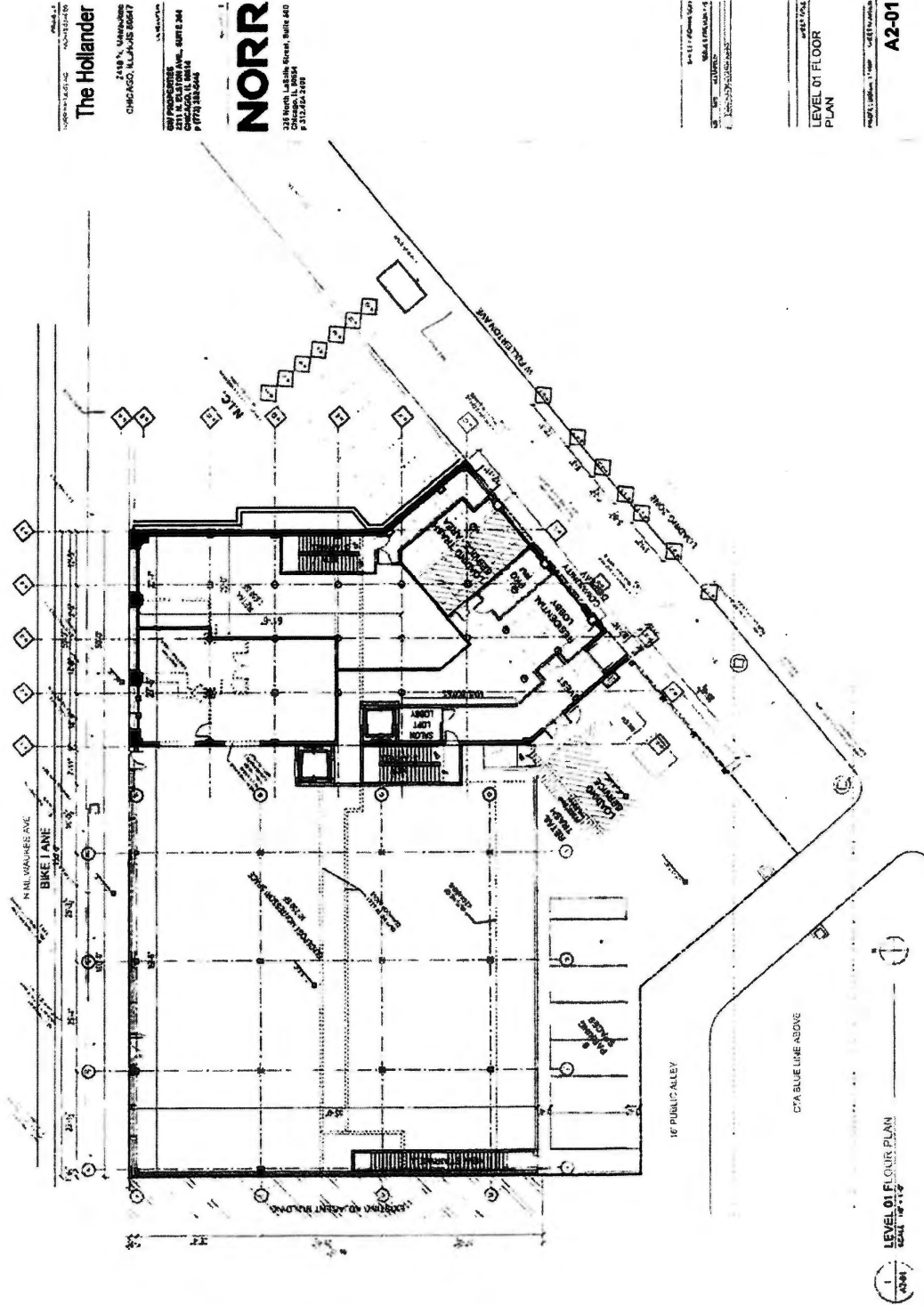
**BASEMENT FLOOR PLAN**

PROFESSIONAL SEAL  
**A2-00**



1  
 BASEMENT FLOOR PLAN  
 07/17/24

Final for Chicago



**The Hollander**  
 2141 N. University  
 CHICAGO, ILLINOIS 60614

**NORR**  
 338 North LaSalle Street, Suite 400  
 Chicago, IL 60654  
 P 312.526.3100

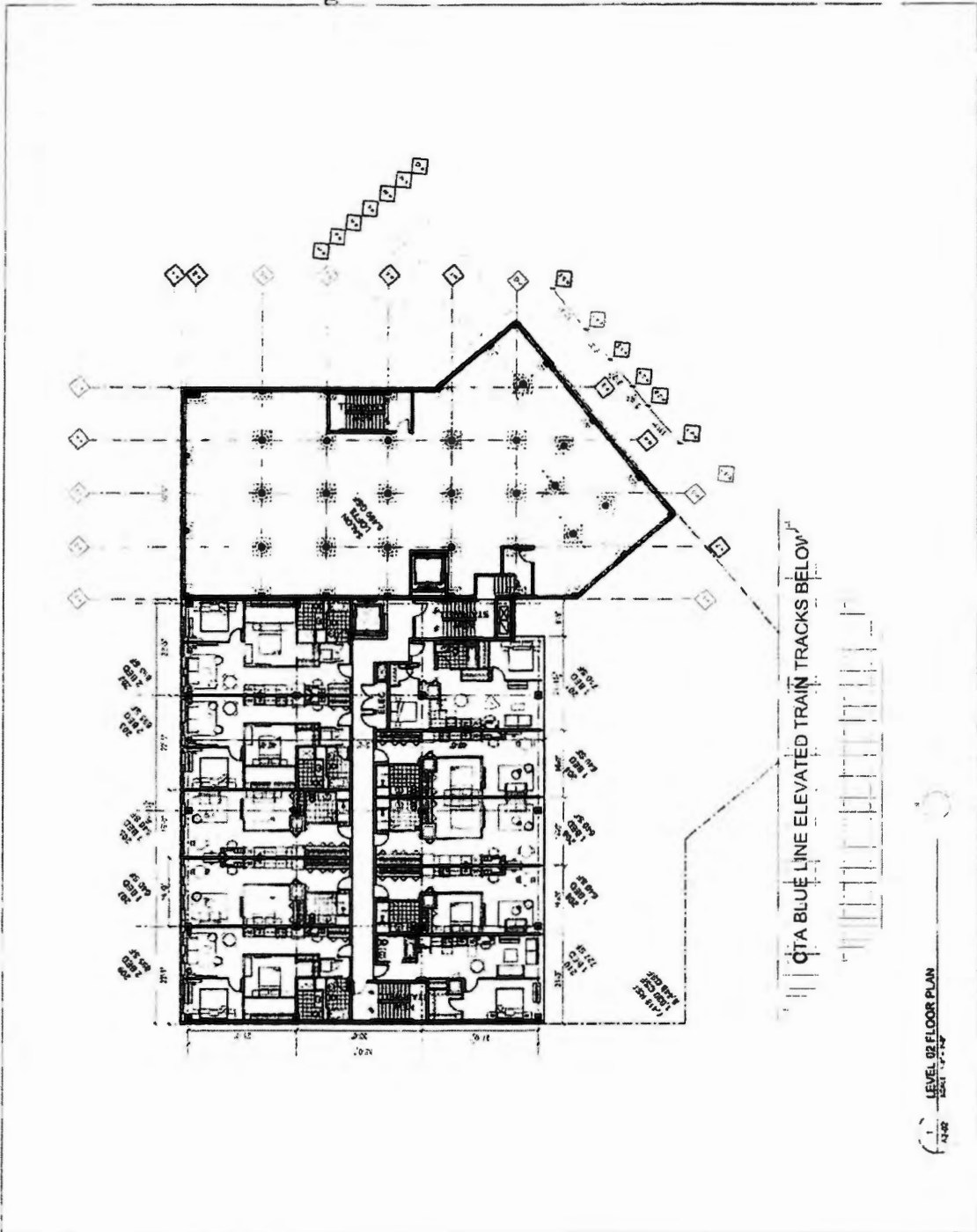
LEVEL OF FLOOR PLAN  
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THE HOLLANDER

**The Hollander**  
2418 N. SHAWNEE  
CHICAGO, ILLINOIS 60614

2418 N. SHAWNEE  
CHICAGO, ILLINOIS 60614

**NORR**  
232 NORTH LA SALLE STREET, SUITE 800  
CHICAGO, ILLINOIS 60601



QTA BLUE LINE ELEVATED TRAIN TRACKS BELOW

LEVEL 02 FLOOR PLAN  
15491-02-01

LEVEL 02 FLOOR PLAN

A2-02

PLANNING DEPARTMENT

The Hollander

2418 N. Milwaukee  
C. POINTE, ILLINOIS 60641

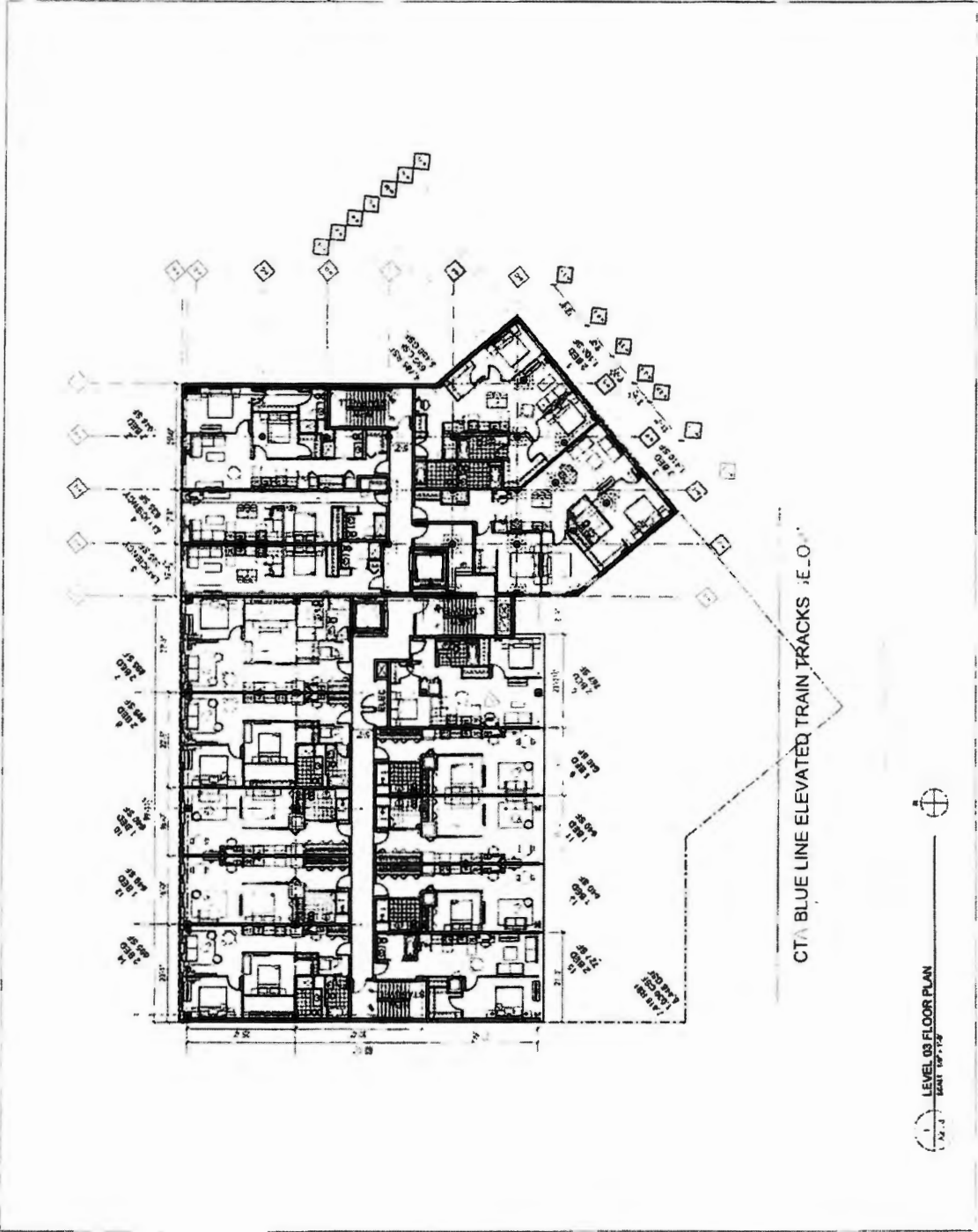
OWN PROJECTS  
2311 N. ELSTON AVE., SUITE 304  
CHICAGO, ILLINOIS 60614  
P (773) 343-3444

**NORR**  
2311 North Elston Street, Suite 304  
Chicago, IL 60614  
P 312.264.4200

DATE: 07/17/24  
BY: [Signature]  
PROJECT: [Signature]

LEVEL 03 FLOOR  
PLAN

A2-03



CTA BLUE LINE ELEVATED TRAIN TRACKS (E.O.)

Field Indicator

**The Hollander**

2428 N. Milwaukee  
CHICAGO, IL 60647

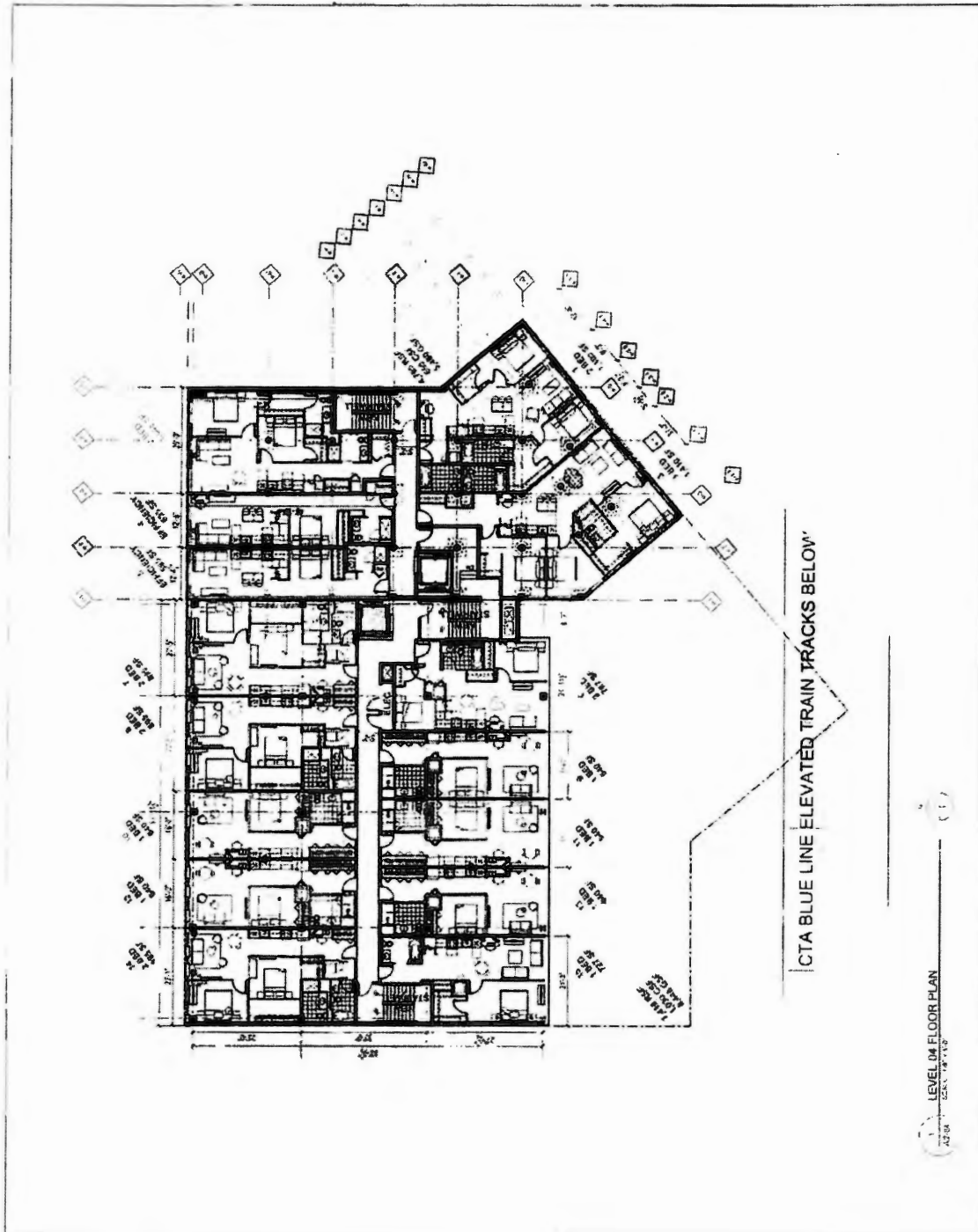
200 PROGRESSIVE  
311 N. BOSTON AVE., SUITE 304  
CHICAGO, IL 60610  
P 773.352.4400

**NORR**  
105 N. LaSalle Street, Suite 100  
CHICAGO, IL 60610  
P 312.421.2600

DATE: 07/17/2024  
DRAWN BY: [Name]  
CHECKED BY: [Name]

LEVEL 04 FLOOR  
PLAN

**A2-04**



CTA BLUE LINE ELEVATED TRAIN TRACKS BELOW

LEVEL 04 FLOOR PLAN  
DATE: 07/17/2024

Final for Publication

**The Hollander**

2418 N. Milwaukee  
CHICAGO, ILLINOIS 60647

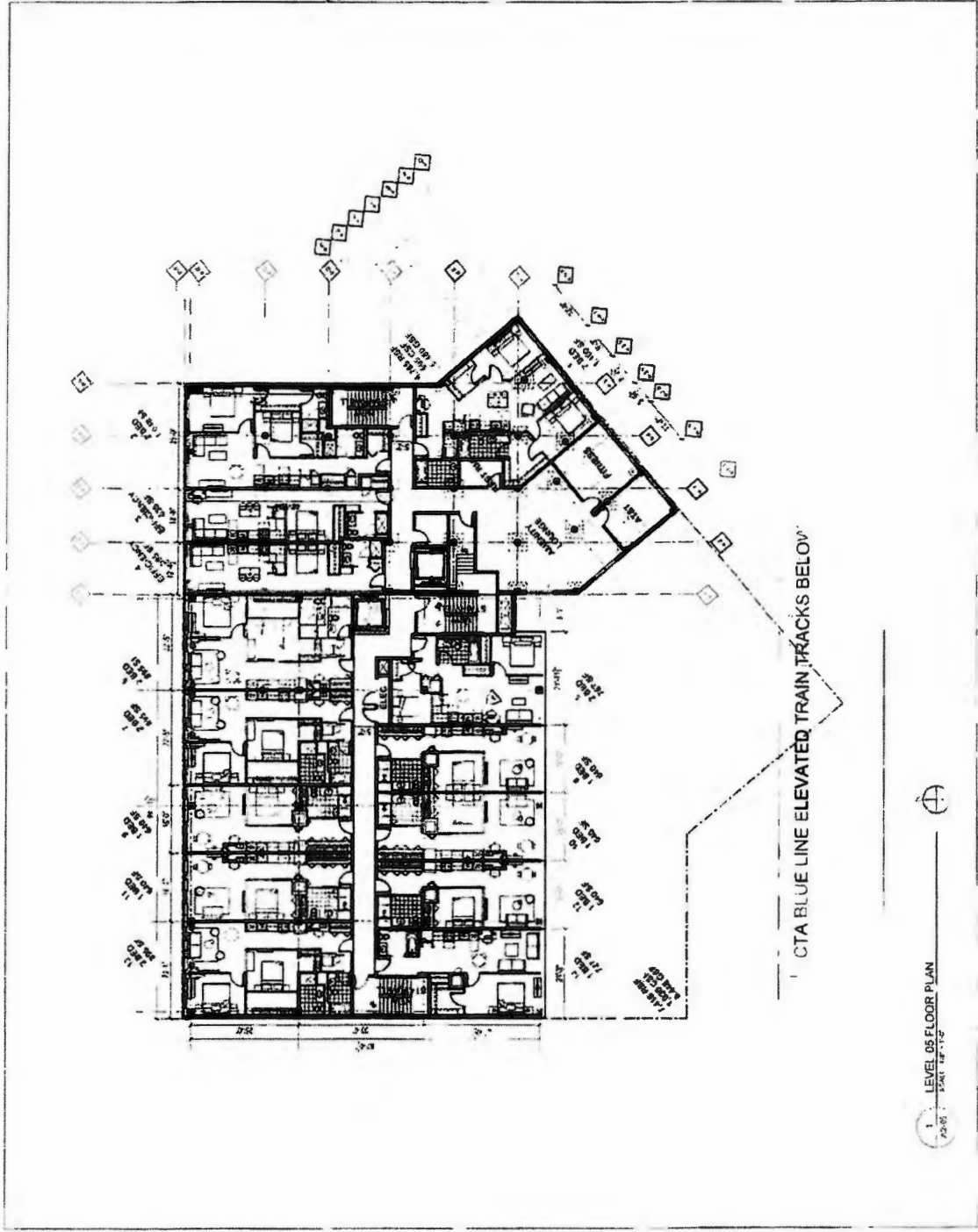
**CONTRACTOR**  
2311 N. ELSTON AVE., SUITE 304  
CHICAGO, IL 60614  
P: (773) 235-0400

**NORR**  
224 W. WASHINGTON STREET, SUITE 210  
CHICAGO, IL 60601  
P: (312) 751-2429

DATE: 07/17/2024  
DRAWN BY: [Name]  
CHECKED BY: [Name]

LEVEL 05 FLOOR  
PLAN

**A2-05**



1 LEVEL 05 FLOOR PLAN  
7/2/24 15:00:14

7/17/2024 10:00 AM

**The Hollander**  
 218 N. LAUREL ST.  
 CHICAGO, ILLINOIS 60610  
 312.467.1000

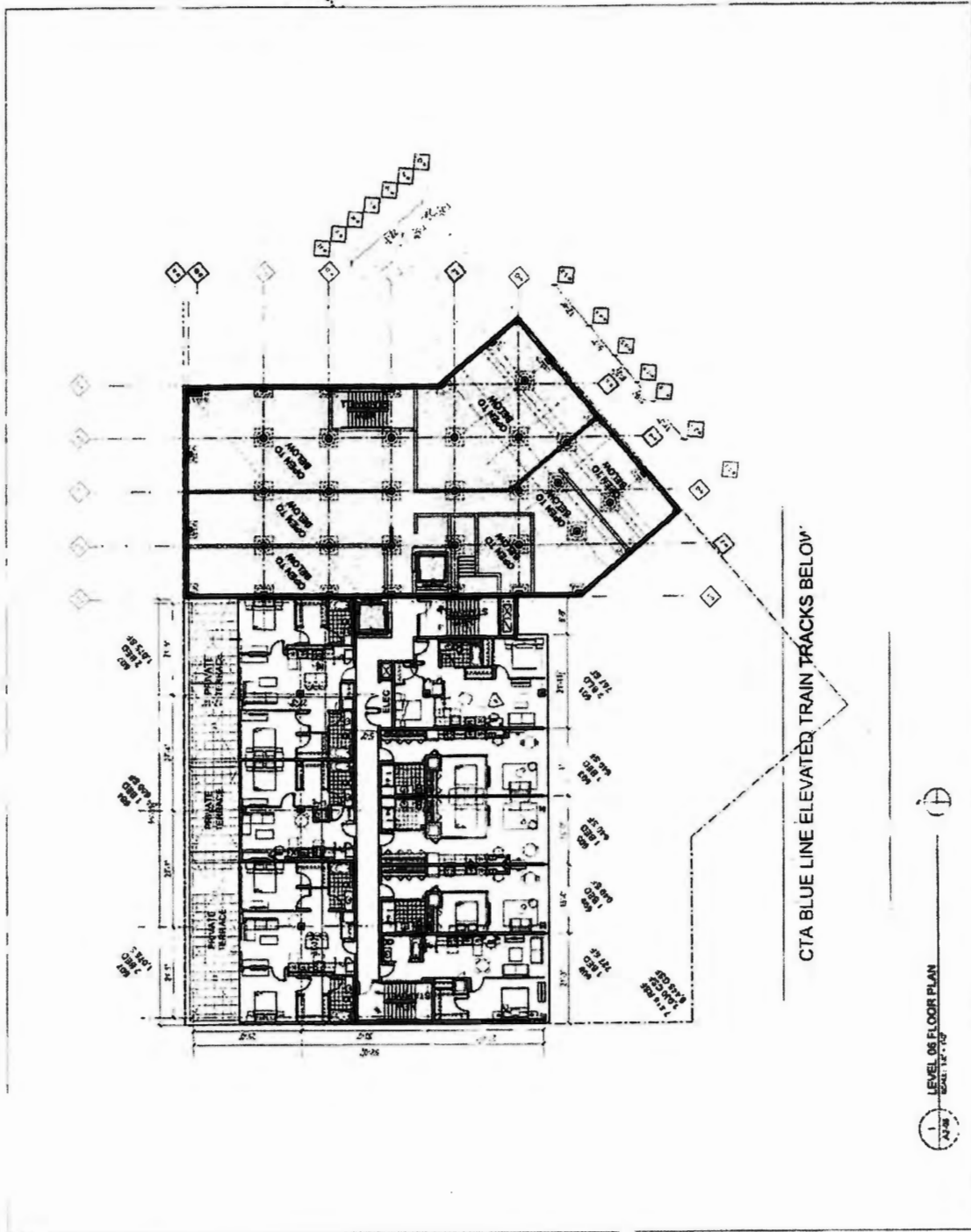
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 CHICAGO, ILLINOIS 60610  
 312.467.1000

**NORR**  
 218 N. LAUREL ST.  
 CHICAGO, ILLINOIS 60610  
 312.467.1000

DATE: 7/17/2024  
 BY: J. HOLLANDER  
 PROJECT: 15495

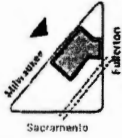
LEVEL 06 FLOOR  
 PLAN

A2-06



LEVEL 06 FLOOR PLAN  
 SCALE: 1/8" = 1'-0"

Final for Publication



- Keynote Legend**
- A - Existing Hollander Building
  - B - New Window Wall System to Replace Existing
  - C - Not In Scope - Neighbouring Building
  - D - New Window Wall System
  - E - Metal Panel
  - F - Corrugated Metal Panel
  - G - New Storefront System to Match Existing
  - H - New Storefront System
  - J - Grey Brick
  - K - Red Brick
  - L - Metal Divider Beam

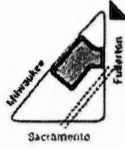
**The Hollander**  
 2118 N. ELSTON AVE., SUITE 304  
 CHICAGO, IL 60614  
 773.328.9999

**NORR**  
 238 North LaSalle Street, Suite 800  
 CHICAGO, IL 60610  
 312.521.1400

**NORTH ELEVATION (MILWAUKEE AVE)**

**A3-01**

Final for Publication



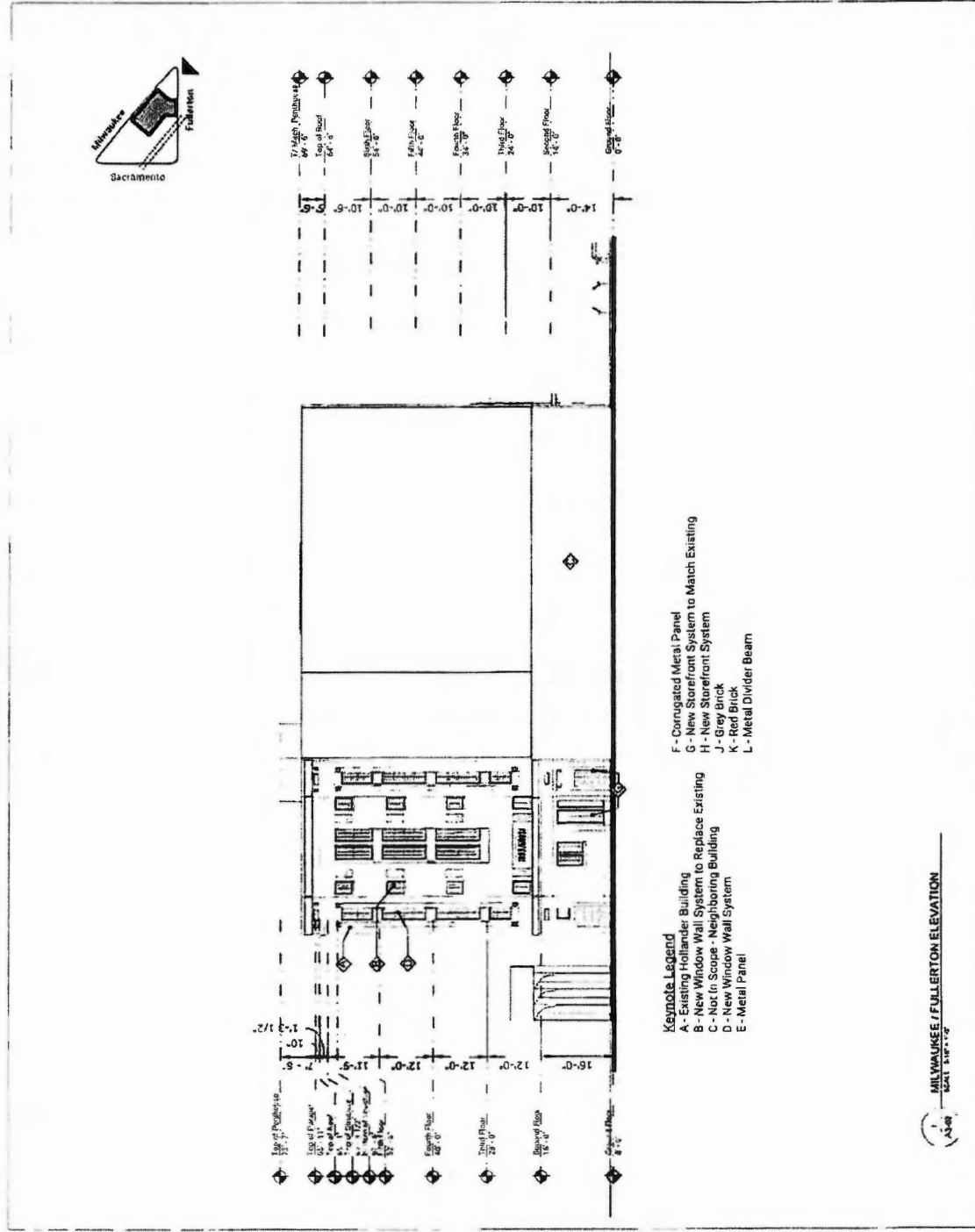
**The Hollander**  
 2118 N. Milwaukee  
 CHICAGO, ILLINOIS 60647

OW ARCHITECTS  
 2111 N. ELSTON AVE., SUITE 304  
 CHICAGO, ILLINOIS 60614  
 P (773) 383-8444

**NORR**  
 121 West Lincoln Street, Suite 400  
 CHICAGO, IL 60602  
 P 312.554.2100

DATE	7/17/24
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PROJECT	...
DESCRIPTION	...

**MILWAUKEE / FULLERTON ELEVATION**  
 A3-02



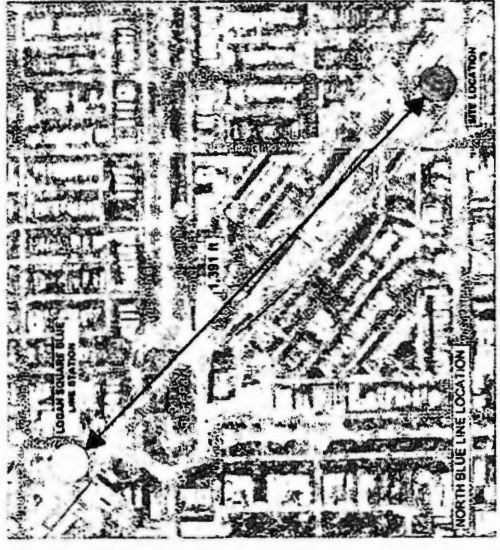
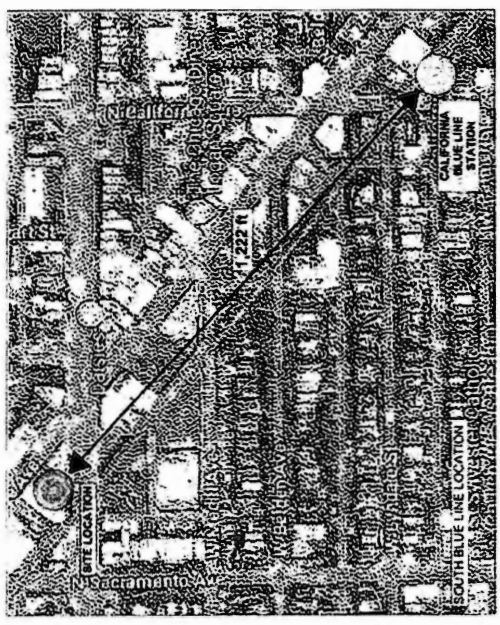
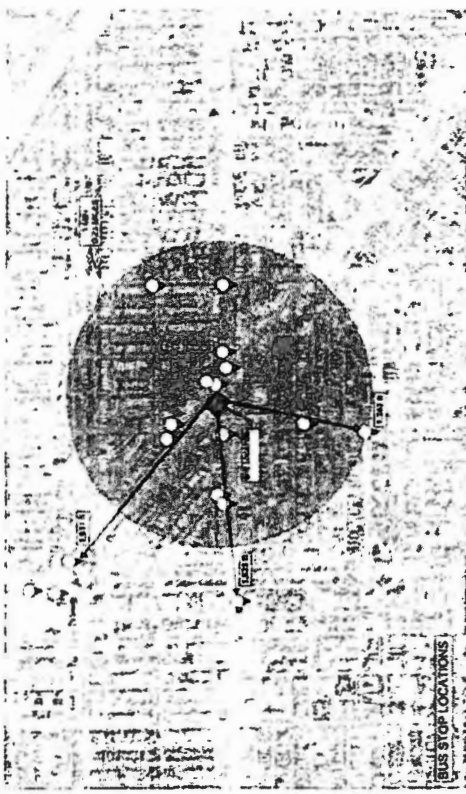
- Keyhole Legend**
- A - Existing Hollander Building
  - B - New Window Wall System to Replace Existing
  - C - Not In Scope - Neighboring Building
  - D - New Window Wall System
  - E - Metal Panel
  - F - Corrugated Metal Panel
  - G - New Storefront System to Match Existing
  - H - New Storefront System
  - J - Gray Brick
  - K - Red Brick
  - L - Metal Divider Beam

MILWAUKEE / FULLERTON ELEVATION  
 A3-02





Chicago, Illinois



**The Hollander**  
 24161  
 CHICAGO, ILLINOIS 60647

**NORR**  
 221 N. LAUREL AVE., SUITE 304  
 CHICAGO, ILLINOIS 60614  
 312.462.3400

DATE: 7/17/2024  
 TIME: 10:00 AM  
 PROJECT: TSL PLANS  
 SHEET: G0-04

ISSUANCE OF TAX-EXEMPT MULTI-FAMILY HOUSING REVENUE BONDS TO HPUMC REDEVELOPMENT LIMITED PARTNERSHIP FOR CONSTRUCTION OF LOW-INCOME HOUSING DEVELOPMENT AT 2120 N. MOZART ST.

[O2024-0009600]

On motion of Alderperson Dowell, the City Council took up for consideration the report of the Committee on Finance, deferred and ordered published in the *Journal of the Proceedings of the City Council of the City of Chicago* of June 12, 2024, page 13112, recommending that the City Council Pass the proposed ordinance printed on pages 13112 through 13114, concerning the issuance of multi-family housing revenue bonds to HPUMC Redevelopment Limited Partnership for construction of low-income housing development at 2120 North Mozart Street in the 1<sup>st</sup> Ward, in an amount up to \$10,000,000.

On motion of Alderperson Dowell, the said proposed ordinance was *Passed* by a viva voce vote.

Alderperson Mitchell moved to reconsider the foregoing vote. The motion was lost.

The following is said ordinance as passed:

WHEREAS, The City of Chicago (the "City"), a home rule unit of government under Section 6(a), Article VII of the 1970 Constitution of the State of Illinois, has heretofore found and does hereby find that there exists within the City a serious shortage of decent, safe and sanitary rental housing available for persons of low- and moderate-income; and

WHEREAS, The City has determined that the continuance of a shortage of affordable rental housing is harmful to the health, prosperity, economic stability and general welfare of the City; and

WHEREAS, HPUMC Redevelopment Limited Partnership, an Illinois limited partnership (the "Borrower"), whose managing partner is 2120 Mozart LLC, an Illinois limited liability company, the sole member of which is Latin United Community Housing Association, an Illinois not-for-profit corporation, intends to acquire the property located at 2120 North Mozart Street, Chicago, Illinois 60647 (the "Property"); and

WHEREAS, The Borrower has proposed to construct a certain low-income housing development on the Property consisting of a building that will contain 22 rental dwelling units (the "Project"); and

WHEREAS, The Borrower has requested that the City issue multi-family housing revenue bonds, notes or other indebtedness in an amount not to exceed \$10,000,000 (the "Bonds") for the purpose of financing a portion of the Project costs, including the Eligible Project Costs (as defined herein); and

WHEREAS, It is intended that the interest on the Bonds will be excluded from gross income for federal income tax purposes; and

WHEREAS, It is intended that this ordinance shall constitute a declaration of intent to reimburse certain eligible expenditures for the Project made prior to the issuance of the Bonds ("Eligible Project Costs") from the proceeds of the Bonds (if and when issued) within the meaning of Section 1.150-2 of the Treasury Regulations promulgated under the Internal Revenue Code of 1986, as amended (the "Treasury Regulations"); now, therefore,

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. The above recitals are expressly incorporated in and made a part of this ordinance as though fully set forth herein.

SECTION 2. The City intends to issue the Bonds and lend all of the proceeds thereof ("Bond Proceeds") to the Borrower for the purpose of financing a portion of the Project costs, as well as costs incurred in connection with the issuance of the Bonds and funding certain reserves, if required, subject to the City and the Borrower agreeing to the terms and conditions necessary to issue the Bonds and further approval by the City Council of the City. The maximum principal amount of Bonds which the City intends to issue for the Project will not exceed \$10,000,000.

SECTION 3. Certain Eligible Project Costs will be incurred by the Borrower and/or its affiliates in connection with the Project prior to the issuance of the Bonds. The City reasonably expects to reimburse such Eligible Project Costs with Bond Proceeds.

SECTION 4. The Eligible Project Costs to be reimbursed with Bond Proceeds will be paid initially from funds of the Borrower.

SECTION 5. This ordinance is consistent with the budgetary and financial circumstances of the City. No funds from sources other than Bond Proceeds are, or are reasonably expected to be, reserved, allocated on a long-term basis or otherwise set aside by the City for the Project for costs to be paid from Bond Proceeds.

SECTION 6. This ordinance constitutes a declaration of official intent under Section 1.150-2 of the Treasury Regulations.

SECTION 7. To the extent that any ordinance, resolution, rule, order or provision of the Municipal Code of Chicago, or any part thereof, is in conflict with the provisions of this ordinance, the provisions of this ordinance shall control. If any section, paragraph, clause or provision of this ordinance shall be held invalid, the invalidity of such section, paragraph, clause or provision shall not affect any of the other provisions of this ordinance.

SECTION 8. This ordinance shall be effective as of the date of its passage and approval.

**MISCELLANEOUS BUSINESS.**

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*Rules Suspended* -- AMENDMENT OF SECTION 2-92-010 OF MUNICIPAL CODE REGARDING CHIEF PROCUREMENT OFFICER'S POWERS, FUNCTIONS, DUTIES AND OBLIGATIONS.

[O2024-0010931]

At this point in the proceedings, Alderperson Ervin informed the City Council that notice had been previously provided of his intent to introduce for immediate consideration a proposed ordinance to amend Section 2-92-010 of the Municipal Code regarding the Chief Procurement Officer's powers, functions, duties and obligations.

Alderperson Ervin then moved to suspend the rules temporarily for the immediate consideration of that proposed ordinance.

Alderperson Lopez rose to raise a point of inquiry and to recommend that the ordinance be referred to committee for deliberation before any final action is taken.

The Chair stated that a preliminary motion to suspend the rules was pending before the body and therefore any motion pertaining to the ordinance itself would be premature.

Alderperson Lopez thereupon moved to call the previous question on the motion to suspend the rules.

The Clerk called the roll on the motion to call the previous question and the yeas and nays were as follows:

*Yeas* -- Alderpersons La Spata, Hopkins, Dowell, Robinson, Yancy, Hall, Mitchell, Harris, Beale, Chico, Lee, Ramirez, Quinn, Gutiérrez, Lopez, Coleman, Moore, Curtis, O'Shea, Taylor, Mosley, Rodríguez, Tabares, Scott, Sigcho-Lopez, Fuentes, Burnett, Ervin, Taliaferro, Cruz, Cardona, Waguespack, Conway, Ramirez-Rosa, Villegas, Mitts, Sposato, Nugent, Vasquez, Napolitano, Reilly, Knudsen, Lawson, Gardiner, Clay, Martin, Manaa-Hoppenworth, Hadden, Silverstein -- 49.

*Nays* -- Alderperson Rodríguez-Sánchez -- 1.

The Clerk then called the roll on the motion to *Suspend the Rules Temporarily*. The motion *Prevailed* by yeas and nays as follows:

*Yeas* -- Alderpersons La Spata, Hopkins, Dowell, Robinson, Yancy, Hall, Mitchell, Harris, Lee, Ramirez, Quinn, Gutiérrez, Coleman, Moore, Curtis, O'Shea, Taylor, Mosley, Rodríguez, Scott, Sigcho-Lopez, Fuentes, Burnett, Ervin, Taliaferro, Cruz, Waguespack, Rodríguez-Sánchez, Conway, Ramirez-Rosa, Villegas, Mitts, , Nugent, Vasquez, Reilly, Knudsen, Lawson, Gardiner, Clay, Martin, Manaa-Hoppenworth, Hadden, Silverstein -- 43.

*Nays* -- Alderpersons Beale, Chico, Lopez, Tabares, Cardona, Napolitano -- 6.

After debate on the matter, Alderperson Ervin moved to pass the said proposed ordinance.

The Clerk called the roll and the said proposed ordinance *Passed* by yeas and nays as follows:

*Yeas* -- Alderpersons La Spata, Hopkins, Dowell, Robinson, Yancy, Hall, Mitchell, Harris, Beale, Chico, Lee, Ramirez, Quinn, Gutiérrez, Lopez, Coleman, Moore, Curtis, O'Shea, Taylor, Mosley, Rodríguez, Tabares, Scott, Sigcho-Lopez, Fuentes, Burnett, Ervin, Taliaferro, Cruz, Cardona, Waguespack, Rodríguez-Sánchez, Conway, Ramirez-Rosa, Villegas, Mitts, Sposato, Nugent, Vasquez, Napolitano, Reilly, Knudsen, Lawson, Gardiner, Clay, Martin, Manaa-Hoppenworth, Hadden, Silverstein -- 50.

*Nays* -- None.

Alderperson Mitchell moved to reconsider the foregoing vote. The motion was lost.

The following is said ordinance as passed

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. Section 2-92-010 of the Municipal Code of Chicago is hereby amended by deleting the language struck through and by inserting the language underscored, as follows:

2-92-010 Establishment -- Composition -- Chief Procurement Officer.

There is hereby established an executive department of the City which shall be known as the Department of Procurement Services (for purposes of this chapter, "D.P.S." or "DPS"). The department shall include such assistants and employees as may be provided for in the annual appropriation ordinance. The head of the department shall be the Chief Procurement Officer (for purposes of this chapter, "CPO"). Except as otherwise provided in this Code, the CPO's ~~whose appointment,~~ powers, functions, duties and obligations are provided for by the "Municipal Purchasing Act for Cities of 500,000 or More Population",

codified at 65 ILCS 5/8-10-1, et seq., as amended (for purposes of this chapter, "Municipal Purchasing Act"). The Chief Procurement Officer shall be appointed by the Mayor, subject to approval by the City Council. The Chief Procurement Officer shall provide direction and require assistance and input from other City departments to develop and implement department procurement plans. The Chief Procurement Officer is authorized to engage one or more agents in the performance of the CPO's functions, including, but not limited to, conducting procurements using innovative methods as provided in Section 2-92-640 of this Code, or the disposal of City surplus goods and equipment, old fleet vehicles or salvage and scrap.

The Chief Procurement Officer is authorized to: (i) administer Article II of Chapter 1-23 of this Code, as supplemented by Section 2-92-320; (ii) implement standards for ineligibility under said Article II comparable to those set forth in Section 8-10-11 of the Municipal Purchasing Act; and (iii) promulgate rules to administer and enforce the foregoing Code provisions and standards.

SECTION 2. Section 2-92-015 of the Municipal Code of Chicago is hereby repealed in its entirety.

SECTION 3. Notwithstanding any other City ordinance to the contrary, the Corporation Counsel is authorized to negotiate, enter into, and execute a severance or settlement agreement, including a payment package, for the termination of the current Chief Procurement Officer's employment with the City.

SECTION 4. This ordinance shall take effect upon its passage and approval.

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#### PRESENCE OF VISITORS NOTED.

The following individuals were in attendance and recognized by the City Council:

Kenneth Meyer, retiring Commissioner of the Department of Business Affairs and Consumer Protection, accompanied by Eileen Meyer, mother; Chuck Finn, friend; and colleagues with the Department of Business Affairs and Consumer Protection: Ivan Capifali, First Deputy Commissioner; AJ Lee, Assistant Commissioner; Miguel Campos, Director of Labor Standards; Jennie Cruz Garriga, Executive Administrative Assistant; Chris Jessup, Assistant Commissioner; Deputy Commissioners: Jerel Dawson; Max Budovitch; Elisa Sledizinska;

guests in support of memorial resolution honoring the late Commissioner Dennis Deer: Barbara Deer, widow; Kanaan Deer, son; Kaleb Deer, son, Trinity Deer, daughter, Melva Brownlee, Chief of Staff;

guest in support of resolution honoring NASCAR Chicago Street Race: Julie Giese, President of NASCAR Street Race;

guests in support of resolution honoring Pilsen Pillars, 25<sup>th</sup> Ward Community Activists: family members of Lucy Gutierrez: Richard Gutierrez; Maryjane Andrade; Judy Ann Villareal; Lucia Villareal; Valerie Santiago; family members of Micaela Ibarra: Esteban Tinoco; Octavia Ochoa; Anita Salgado; Maricela Tinoco; Conce Rodriguez; family members of Walter Coleman: Tanya Lozano Washington; Allen Washington Lozano; Joline Lozano; Emma Lozano; Bryan Jackson, Jr.;

guests of City Clerk Anna Valencia: student interns: Kate Freeman; Leanna Ho; Zoe Harges; Julia Salinas; Aniya Ross; Natalya Miner; Samuel Barnes; Georgia Mayer; Kathya Grau; Mojadesola Suleiman; Kyra Palmer; Alyssa Owens; Aria Valani; Casey Calva-Harri;

guests of Alderperson Stephanie Coleman: Aldermanic Intern: Makilah Coole; Mikva Challenge Interns: Keyveon Russell; Brian Williams; Jazmine Washington; Chicago Public Schools Interns: Marquis Causey; Sophia Conorquie; Fatamah Muhammad; Niamari Williams; One Summer Chicago Interns: Makayla Jenkins; Princess Burress; Terry Gay; Nichali Hoskin; Summer Youth Employment Program Interns: Tommie Parnell; Unia Davis; Marjae Austin;

guests of Alderperson Desmon Yancy in support of proclamation declaring July 29<sup>th</sup> as Joan Gray African Culture Day: Turiya Gray, daughter of Joan Gray; from the Historical Preservation Society of the Illinois Chapter of the Black Panther Party: Honorable Bobby L. Rush, former Illinois Black Panther Party member; Lonnie Hall, former Illinois Black Panther Party member; Wanda Ross, former Illinois Black Panther Party member; Leila Wills;

guests of Alderperson Julia Ramirez in support of resolution honoring M&G Graphics: Robert Meyer, son of owner; Angela Weiss, daughter of owner; John Weiss, husband of Angela Weiss; family members: Nolan Meyer; Ellen Weiss; 12<sup>th</sup> Ward Intern, Oscar Nevarez;

guests of Alderperson Michelle Harris in support of resolution honoring former Assistant Sergeant-at-Arms, Torian "TC" Cox: family members: Nikki Hayes; Shaunna Davis; Toya Land; Taryn Keith; Anthony Binion; Lincoln Hayes; Kennedy Hayes; Kathryn Elliott; Ashley Thomas; Carl Harris;

guests of Alderperson Gilbert Villegas from UCAN: Irene Zamora, Career Specialist, Nichols Center; summer interns for 36<sup>th</sup> Ward: Araceli Styles; Krystalle Torres; Ethan Vazquez; Raymond Fontanez; Michael Martinez; Emanuel Torres; Kayla Vargas; Edward Monk; Muhammed Isbad; Jesus Banda.

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**Time Fixed For Next Succeeding Regular Meeting.**

[O2024-0011038]

By unanimous consent, Alderperson Mitchell presented a proposed ordinance which reads as follows:

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. The next regular meeting of the City Council of the City of Chicago shall be held on Wednesday, September 18, 2024, beginning at 10:00 A.M., in the Council Chamber on the second floor in City Hall, 121 North LaSalle Street, Chicago, Illinois.

SECTION 2. This ordinance shall take effect and be in force from and after its passage.

On motion of Alderperson Mitchell, the foregoing proposed ordinance was *Passed* by yeas and nays as follows:

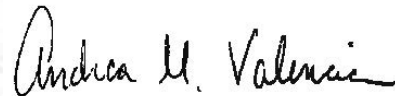
*Yeas* -- Alderpersons La Spata, Hopkins, Dowell, Robinson, Yancy, Hall, Mitchell, Harris, Beale, Chico, Lee, Ramirez, Quinn, Gutiérrez, Lopez, Coleman, Moore, Curtis, O'Shea, Taylor, Mosley, Rodríguez, Tabares, Scott, Sigcho-Lopez, Fuentes, Burnett, Ervin, Taliaferro, Cruz, Cardona, Waguespack, Rodríguez-Sánchez, Conway, Ramirez-Rosa, Villegas, Mitts, Sposato, Nugent, Vasquez, Napolitano, Reilly, Knudsen, Lawson, Gardiner, Clay, Martin, Manaa-Hoppenworth, Hadden, Silverstein -- 50.

*Nays* -- None.

Alderperson Mitchell moved to reconsider the foregoing vote. The motion was lost.

**Adjournment.**

Thereupon, Alderperson Mitchell moved that the City Council do *Adjourn*. The motion *Prevailed* and the City Council *Stood Adjourned* to meet in regular meeting on Wednesday, September 18, 2024, at 10:00 A.M., in the Council Chamber in City Hall.

A handwritten signature in black ink that reads "Andrea M. Valencia". The signature is written in a cursive style with a large initial 'A'.

ANDREA M. VALENCIA,  
*City Clerk.*